



# AGENDA

## Town Planning Committee

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Tuesday, 3 December 2019 at 6.30pm

### Disclaimer

The purpose of this Committee meeting is to discuss and, where possible, make resolutions about items appearing on the agenda.

Whilst the Committee has the power to resolve such items and may in fact, appear to have done so at the meeting, no person should rely on or act on the basis of such decision or on any advice or information provided by a member or officer, or on the content of any discussion occurring, during the course of the meeting.

Persons should be aware that the provisions of the Local Government Act 1995 (section 5.25 (e)) establish procedures for revocation or rescission of a Committee decision. No person should rely on the decisions made by the Committee until formal advice of the Committee decision is received by that person.

The Town of East Fremantle expressly disclaims liability for any loss or damage suffered by any person as a result of relying on or acting on the basis of any resolution of the Committee, or any advice or information provided by a member or officer, or the content of any discussion occurring, during the course of the Committee meeting.

### Copyright

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### **Procedure for Deputations, Presentations and Public Question Time at Council Meetings**

Council thanks you for your participation in Council Meetings and trusts that your input will be beneficial to all parties. Council has a high regard for community input where possible, in its decision making processes.

<b>Deputations</b> A formal process where members of the community request permission to address Council or Committee on an issue.	<b>Presentations</b> An occasion where awards or gifts may be accepted by the Council on behalf of the community, when the Council makes a presentation to a worthy recipient or when agencies may present a proposal that will impact on the Local Government.
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#### **Procedures for Deputations**

The Council allows for members of the public to make a deputation to Council on an issue related to Local Government business.

Notice of deputations need to be received by 5pm on the day before the meeting and agreed to by the Presiding Member. Please contact Executive Support Services via telephone on 9339 9339 or email [admin@eastfremantle.wa.gov.au](mailto:admin@eastfremantle.wa.gov.au) to arrange your deputation.

Where a deputation has been agreed to, during the meeting the Presiding Member will call upon the relevant person(s) to come forward and address Council.

A Deputation invited to attend a Council meeting:

- (a) is not to exceed five (5) persons, only two (2) of whom may address the Council, although others may respond to specific questions from Members;
- (b) is not to address the Council for a period exceeding ten (10) minutes without the agreement of the Council; and
- (c) additional members of the deputation may be allowed to speak with the agreement of the Presiding Member.

Council is unlikely to take any action on the matter discussed during the deputation without first considering an officer's report on that subject in a later Council agenda.

#### **Procedure for Presentations**

Notice of presentations being accepted by Council on behalf of the community, or agencies presenting a proposal, need to be received by 5pm on the day before the meeting and agreed to by the Presiding Member. Please contact Executive Support Services via telephone on 9339 9339 or email [admin@eastfremantle.wa.gov.au](mailto:admin@eastfremantle.wa.gov.au) to arrange your presentation.

Where the Council is making a presentation to a worthy recipient, the recipient will be advised in advance and asked to attend the Council meeting to receive the award.

All presentations will be received/awarded by the Mayor or an appropriate Councillor.

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### Procedure for Public Question Time

The Council extends a warm welcome to you in attending any meeting of the Council. Council is committed to involving the public in its decision making processes whenever possible, and the ability to ask questions during 'Public Question Time' is of critical importance in pursuing this public participation objective.

Council (as required by the *Local Government Act 1995*) sets aside a period of 'Public Question Time' to enable a member of the public to put up to three (3) questions to Council. Questions should only relate to the business of Council and should not be a statement or personal opinion. Upon receipt of a question from a member of the public, the Mayor may either answer the question or direct it to a Councillor or an Officer to answer, or it will be taken on notice.

Having regard for the requirements and principles of Council, the following procedures will be applied in accordance with the *Town of East Fremantle Local Government (Council Meetings) Local Law 2016*:

1. Public Questions Time will be limited to ten (10) minutes.
2. Public Question Time will be conducted at an Ordinary Meeting of Council immediately following "Responses to Previous Public Questions Taken on Notice".
3. Each member of the public asking a question will be limited to two (2) minutes to ask their question(s).
4. Questions will be limited to three (3) per person.
5. Please state your name and address, and then ask your question.
6. Questions should be submitted to the Chief Executive Officer in writing by 5pm on the day before the meeting and be signed by the author. This allows for an informed response to be given at the meeting.
7. Questions that have not been submitted in writing by 5pm on the day before the meeting will be responded to if they are straightforward.
8. If any question requires further research prior to an answer being given, the Presiding Member will indicate that the "question will be taken on notice" and a response will be forwarded to the member of the public following the necessary research being undertaken.
9. Where a member of the public provided written questions then the Presiding Member may elect for the questions to be responded to as normal business correspondence.
10. A summary of the question and the answer will be recorded in the minutes of the Council meeting at which the question was asked.

**During the meeting, no member of the public may interrupt the meetings proceedings or enter into conversation.**

**Members of the public shall ensure that their mobile telephone and/or audible pager is not switched on or used during any meeting of the Council.**

**Members of the public are hereby advised that use of any electronic, visual or audio recording device or instrument to record proceedings of the Council is not permitted without the permission of the Presiding Member.**

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**NOTICE OF MEETING**

Elected Members

An Ordinary Meeting of the Town Planning Committee will be held on Tuesday, 3 December 2019 at East Fremantle Town Hall, 135 Canning Highway, East Fremantle commencing at 6.30 pm and your attendance is requested.

GARY TUFFIN  
Chief Executive Officer

28 November 2019

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**AGENDA**

**1. DECLARATION OF OPENING OF MEETING/ANNOUNCEMENTS OF VISITORS**

**2. ACKNOWLEDGEMENT OF COUNTRY**

*"On behalf of the Council I would like to acknowledge the Whadjuk Nyoongar people as the traditional custodians of the land on which this meeting is taking place and pay my respects to Elders past and present."*

**3. RECORD OF ATTENDANCE**

**3.1 Attendance**

**3.2 Apologies**

**3.3 Leave of Absence**

**4. MEMORANDUM OF OUTSTANDING BUSINESS**

**5. DISCLOSURES OF INTEREST**

**5.1 Financial**

**5.2 Proximity**

**5.3 Impartiality**

**6. PUBLIC QUESTION TIME**

**6.1 Responses to previous questions from members of the public taken on notice**

**6.2 Public Question Time**

**7. PRESENTATIONS/DEPUTATIONS**

**7.1 Presentations**

**7.2 Deputations**

**8. CONFIRMATION OF MINUTES OF PREVIOUS MEETING**

**8.1 Town Planning Committee (5 November 2019)**

**9.1 OFFICER RECOMMENDATION**

That the minutes of the Town Planning Committee meeting held on Tuesday 5 November 2019 be confirmed as a true and correct record of proceedings.

**9. ANNOUNCEMENTS BY THE PRESIDING MEMBER**

**10. REPORTS OF COMMITTEES**

Nil

**11. REPORTS OF OFFICERS (COMMITTEE DELEGATION)**

**11.1 Woodhouse Road No 7 (Lot 288) Proposed alterations and additions including a second storey (amendments to previous DA P072/18)**

<b>Owner</b>	Donna Charlesworth
<b>Applicant</b>	Tangent Nominees Pty Ltd
<b>File ref</b>	P085/19; W007
<b>Prepared by</b>	James Bannerman Planning Officer
<b>Supervised by</b>	Andrew Malone, Executive Manager Regulatory Services
<b>Meeting date</b>	3 December 2019
<b>Voting requirements</b>	Simple Majority
<b>Documents tabled</b>	Nil
<b>Attachments</b>	<ol style="list-style-type: none"><li>1. Location plan</li><li>2. Site photos</li><li>3. Plans date stamped 4 November 2019</li><li>4. Cover letter with explanation of proposed amendments to previous development approval</li></ol>

**Purpose**

The purpose of this report is for Council to consider a planning application for proposed alterations and additions (including a second storey) at an existing dwelling at No 7 (Lot 288) Woodhouse Street, East Fremantle.

**Executive Summary**

The applicant is seeking Council approval for the following variations to the Residential Design Codes and the Residential Design Guidelines;

- (i) Building height – 6.5m required, more than 6.5m provided; and
- (ii) Privacy setbacks – 7.5m required, 5.0m provided

A previous approval is in place (P072/18) and this application considers variations to that approval. It is considered that the above variations can be supported subject to conditions of planning approval being imposed.

**Background**

Zoning: Residential R17.5

Site area: 749m<sup>2</sup>

Previous Decisions of Council and/or History of an Issue or Site

P072/18 development approval for alterations and additions to an existing dwelling 6 November 2018

**Consultation**

Advertising

The application was advertised to surrounding land owners 25 October to 11 November 2019. Letters of support for the proposal were received from 2, 6 and 8 View Terrace and 5 Woodhouse Road. No submissions opposing the proposal were received.

Community Design Advisory Committee (CDAC)

The application was previously referred to CDAC for DA P072/18.

External Consultation

Nil

**Statutory Environment**

*Planning and Development Act 2005*

*Residential Design Codes of WA*

*Town of East Fremantle Local Planning Scheme No. 3 (LPS No. 3)*

**Policy Implications**

*Town of East Fremantle Residential Design Guidelines 2016 (as amended)*

**Financial Implications**

Nil

**Strategic Implications**

The Town of East Fremantle Strategic Community Plan 2017 – 2027 states as follows:

Built Environment

*Accessible, well planned built landscapes which are in balance with the Town's unique heritage and open spaces.*

- 3.1 *Facilitate sustainable growth with housing options to meet future community needs.*
  - 3.1.1 *Advocate for a desirable planning and community outcome for all major strategic development sites.*
  - 3.1.2 *Plan for a mix of inclusive diversified housing options.*
- 3.2 *Maintaining and enhancing the Town's character.*
  - 3.2.1 *Ensure appropriate planning policies to protect the Town's existing built form.*
- 3.3 *Plan and maintain the Town's assets to ensure they are accessible, inviting and well connected.*
  - 3.3.1 *Continue to improve asset management practices.*
  - 3.3.2 *Optimal management of assets within resource capabilities.*
  - 3.3.3 *Plan and advocate for improved access and connectivity.*

Natural Environment

*Maintaining and enhancing our River foreshore and other green, open spaces with a focus on environmental sustainability and community amenity.*

- 4.1 *Conserve, maintain and enhance the Town's open spaces.*
  - 4.1.1 *Partner with Stakeholders to actively protect, conserve and maintain the Swan River foreshore.*
  - 4.1.2 *Plan for improved streetscapes parks and reserves.*
- 4.2 *Enhance environmental values and sustainable natural resource use.*
  - 4.2.1 *Reduce waste through sustainable waste management practices.*
- 4.3 *Acknowledge the change in our climate and understand the impact of those changes.*
  - 4.3.1 *Improve systems and infrastructure standards to assist with mitigating climate change impacts.*

## Risk Implications

Risk	Risk Likelihood (based on history & with existing controls)	Risk Impact / Consequence	Risk Rating (Prior to Treatment or Control)	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
That Council does not approve the proposed development	Possible (3)	Minor (2)	Moderate (5-9)	COMPLIANCE Minor regulatory or statutory impact	Accept Officer Recommendation

## Risk Matrix

Consequence Likelihood		Insignificant	Minor	Moderate	Major	Extreme
		1	2	3	4	5
Almost Certain	5	Moderate (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Moderate (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Moderate (6)	Moderate (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Moderate (6)	Moderate (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Moderate (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; occupational health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating is provided below. Any items with a risk rating over 16 will be added to the Risk Register, and any item with a risk rating over 16 will require a specific risk treatment plan to be developed.

Risk Rating	6
Does this item need to be added to the Town's Risk Register	No
Is a Risk Treatment Plan Required	No

## Site Inspection

A site inspection was undertaken.

## Comment

### Statutory Assessment

The proposal has been assessed against the provisions of Local Planning Scheme No. 3 and the Town's Local Planning Policies including the Residential Design Guidelines, as well as the Residential Design Codes. A summary of the assessment is provided in the following tables.

<b>Legend</b> <i>(refer to tables below)</i>	
A	Acceptable
D	Discretionary
N/A	Not Applicable

#### Residential Design Codes Assessment

<b>Design Element</b>	<b>Required</b>	<b>Proposed</b>	<b>Status</b>
Street Front Setback			N/A
Secondary Street Setback			N/A
Lot boundary setbacks			
Eastern wall- terrace	1.1m	1.61m	A
Master bed – upper storey	1.5m	1.61m	A
Fireplace – upper storey	1.3m	2m	A
Balcony 2 – southern boundary	3m	8.33m	A
Ensuite – southern boundary	1.2m	13.4m	A
Bed 3 – southern boundary	1.2m	12.8m	A
Bed 3, bath, lift	1.2m	5.2m	A
Open Space	50%	61%	A
<b>Wall height</b>	<b>6.5m</b>	<b>&gt; 6.5m</b>	<b>D</b>
Setback of Carport			N/A
Car Parking			N/A
Site Works			N/A
<b>Visual Privacy</b>	<b>7.5m</b>	<b>5m</b>	<b>D</b>
Overshadowing	<25%	1%	A
Drainage		To be conditioned	A

#### Local Planning Policies Assessment

<b>LPP Residential Design Guidelines Provision</b>	<b>Status</b>
3.7.2 Additions and Alterations to Existing Buildings	A
3.7.3 Development of Existing Buildings	A
3.7.4 Site Works	A
3.7.5 Demolition	A
3.7.6 Construction of New Buildings	N/A
3.7.7 Building Setbacks and Orientation	A
3.7.8 Roof Form and Pitch	A
3.7.9 Materials and Colours	A
3.7.10 Landscaping	A
3.7.11 Front Fences	N/A
3.7.12 Pergolas	N/A
3.7.13 Incidental Development Requirements	N/A
3.7.14 Footpaths and Crossovers	N/A
3.7.15.4.3.1 Fremantle Port Buffer Area	N/A
3.7.15.3.3 Garages and Carports	N/A

This development application proposes amendments to an existing development approval (DA P072/18) at the subject property. A new development application was submitted to seek approval for the amendments. Many of the modifications have no planning implications (including additions of larger windows, internal door locations, changes to an internal staircase), while some have reduced the impact

on the neighbouring properties (additional wall length to balcony 2 and substitution of the front balcony roof with a smaller awning). The report will only consider changes to the design that have planning implications.

#### Maximum Wall Height

There are slight changes in the heights of the proposed dwelling. Given a concealed roof the maximum building height is required to be 6.5m in accordance with clause 3.7.17.4.1.3 A1.4 of the Residential Design Guidelines. In this case the maximum height is exceeded in the following areas;

- The north-eastern corner of the dwelling is 7.69 m above natural ground level
- The south-western corner of the dwelling is 6.74m above natural ground level
- The north-western corner of the dwelling is 8.5m above natural ground level

In each case the design is responsive to the adjacent development and established character of the area, more than 50% of the site is set aside for landscaping and privacy requirements are met for each section of the dwelling that exceeds the maximum heights.

Although the building may seem to be relatively bulky there are a number of arguments that support the proposal, including the increased building height. The proposed dwelling is on a site that slopes up from the street. Attempts have been made with the design to mitigate the impact the property will have on the views from neighbouring properties. If the existing dwelling was demolished it would have been possible to have the development built closer to the street front. The dwelling currently has a setback of 8.2m versus a possible setback of 6m for a new dwelling. As a result the views looking west from the eastern neighbour's front balcony would have been virtually eliminated if a new dwelling had been proposed. The design is responsive to the existing dwelling and maintains the existing property setbacks and potential views. The existing house is being retained which in turn will maintain the streetscape and character of the area.

There is considerable open space on the site with at least 61% of the site available for landscaping. The proposal is not seeking excessive use of the site for development.

With regards to privacy there are no issues in each of the sections of the dwelling where height is above that required by the Residential Design Guidelines. Privacy between properties is maintained through the use of solid walls on the front terrace and this ensures that users of the area do not look into the neighbouring properties balconies that lie to the east and the west.

For these reasons the proposed heights above the maximum levels set by the Residential Design Guidelines can be supported.

#### Privacy Setbacks

The rear balcony (labelled balcony 2 on the plans) has a longer wall facing the rear yard of the property. As the wall has been lengthened compared to the previously approved development plans the privacy setback has increased. In this case the privacy setback is 5m where it should be 7.5m. Although the privacy setback is not met in accordance with deemed to comply clause 5.4.1 C1.1i of the Residential Design Codes this is greater than previously approved (3.2m). In accordance with the design principles of clause 5.4.1 P1.1 there is minimal direct overlooking of active habitable spaces and outdoor living areas. The design of the balcony area and the inclusion of the wall on the southern edge of the balcony provides privacy screening and minimises direct overlooking. Overlooking is confined to the southwest corner of the eastern neighbouring lot. For this reason the reduced privacy setback can be supported.

## Conclusion

Based on the assessment that has been completed for this development and the explanation provided in this report, the variations that have been proposed to the Residential Design Codes and the Residential Development Guidelines are considered acceptable. It is noted that there were a number of surrounding properties that provided written support for the proposal. As such it is recommended that the proposed development be supported subject to planning conditions.

### 11.1 OFFICER RECOMMENDATION:

That development approval is granted and Council exercises its discretion in regard to the following;

- (i) Clause 3.7.17.4.1.3– Residential Design Guidelines – Building Height – 6.5m required, more than 6.5m provided and
- (ii) Clause 5.1.3 – Residential Design Code – Privacy Setbacks – 7.5m required, 5.0 m provided;

for alterations and additions at No. 7 (Lot 288) Woodhouse Road, East Fremantle, in accordance with the plans date stamped received 4 November 2019, subject to the following conditions:

- (1) No external fixtures, fittings, masts, satellite dishes, telecommunications devices, solar collectors, solar hot water systems or appliances or the like are to be installed on the roof of the dwelling without the submission of a development application and the consideration of the Town.
- (2) The crossover widths are not to exceed the width of the crossovers indicated on the plans date stamped received 4 November 2019 and to be in accordance with Council's crossover policy as set out in the Residential Design Guidelines (2016).
- (3) All fencing within the street setback area is to be in compliance with the front fence provisions of the Residential Design Guidelines. Any proposed new fencing or walls in the front setback area will require the submission of a development application for the consideration of the Town.
- (4) Retaining walls in excess of 0.5m above natural ground level will require the submission of a development application for the consideration of the Town.
- (5) The works are to be constructed in conformity with the drawings and written information accompanying the application for planning approval other than where varied in compliance with the conditions of this planning approval or with Council's further approval.
- (6) The proposed works are not to be commenced until Council has received an application for a Building Permit and the Building Permit issued in compliance with the conditions of this planning approval unless otherwise amended by Council.
- (7) With regard to the plans submitted with respect to the Building Permit application, changes are not to be made in respect of the plans which have received planning approval, without those changes being specifically marked for Council's attention.
- (8) All stormwater is to be disposed of on site, an interceptor channel installed if required and a drainage plan be submitted to the satisfaction of the Chief Executive Officer in consultation with the Building Surveyor prior to the issue of a Building Permit.
- (9) If requested by Council within the first two years following installation, the roofing to be treated to reduce reflectivity. The treatment to be to the satisfaction of the Chief Executive Officer in consultation with relevant officers and all associated costs to be borne by the owner.
- (10) All introduced filling of earth to the lot or excavated cutting into the existing ground level of the lot, either temporary or permanent, shall be adequately controlled to prevent damage to structures on adjoining lots or in the case of fill, not be allowed to encroach beyond the lot boundaries. This shall be in the form of structurally adequate retaining walls and/or sloping of



fill at the natural angle of repose and/or another method as approved by the Town of East Fremantle.

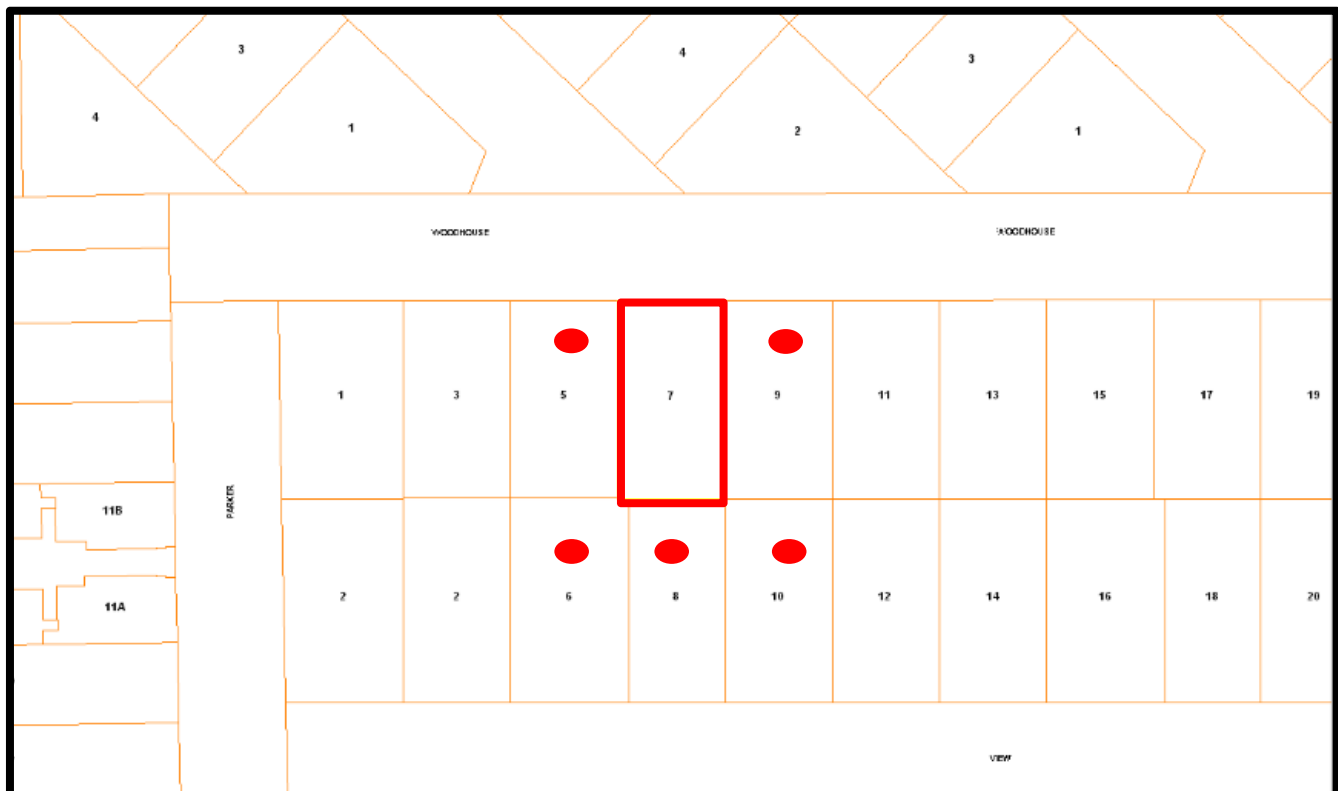
- (11) Where this development requires that any facility or service within a street verge (street trees, footpath, crossover, light pole, drainage point or similar) is to be removed, modified or relocated then such works must be approved by Council and if approved, the total cost to be borne by the applicant. Council must act reasonably and not refuse any reasonable proposal for the removal, modification or relocation of such facilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (12) This planning approval is to remain valid for a period of 24 months from date of this approval.

**Footnote:**

*The following are not conditions but notes of advice to the applicant/owner:*

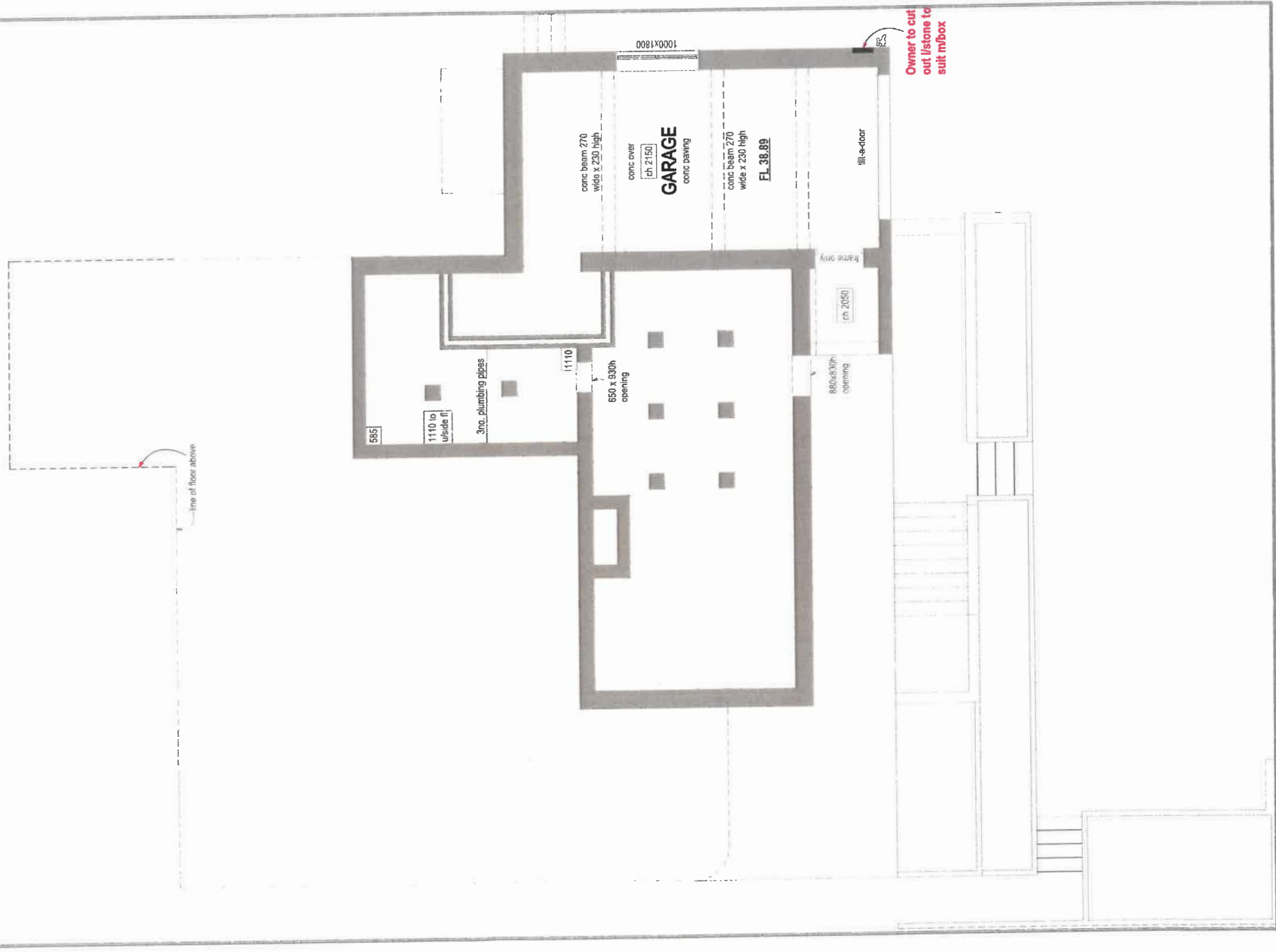
- (i) *this decision does not include acknowledgement or approval of any unauthorised development which may be on the site.*
- (ii) *a copy of the approved plans as stamped by Council are attached and the application for a Building Permit is to conform with the approved plans unless otherwise approved by Council.*
- (iii) *it is recommended that the applicant provides a Structural Engineer's dilapidation report, at the applicant's expense, specifying which structures on adjoining sites may be adversely affected by the works and providing a record of the existing condition of the structures. Two copies of each dilapidation report should be lodged with Council and one copy should be given to the owner of any affected property.*
- (iv) *all noise levels produced by the construction of the development are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).*
- (v) *matters relating to dividing fences are subject to the Dividing Fences Act 1961.*

**NO. 7 (LOT 288) WOODHOUSE ROAD – P085/19 – AMENDMENTS TO EXISTING APPROVAL FOR ALTERATIONS & ADDITIONS, INCLUDING SECOND STOREY EXTENSION**









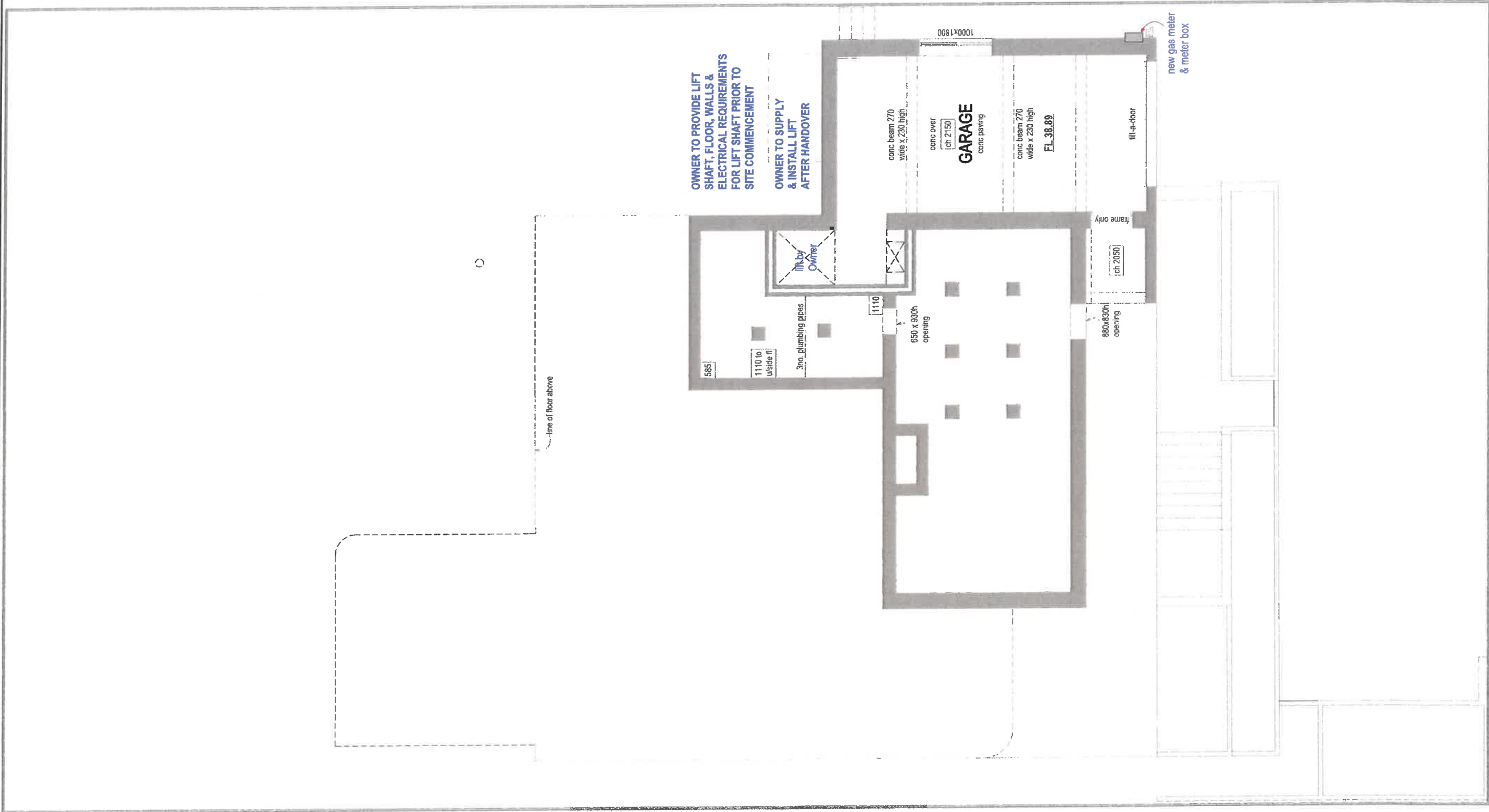
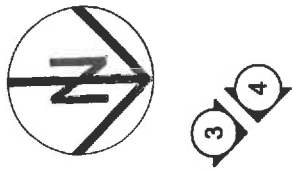
Town of East Fremantle  
04 NOV 2019  
RECEIVED

EXISTING UNDERCROFT PLAN

<p>PROPOSED IMPROVEMENTS FOR: <b>Donna CHARLESWORTH</b></p>		<p>VARIATION NO: 001, 11/10/2019 CC</p>		<p>ISSUED: 11/10/2019</p>		<p>LAST OPENED: 4/11/2019</p>	
<p>ADDRESS: <b>7 WOODHOUSE ROAD, EAST FREMANTLE, 6158</b></p>		<p>SCALE: UNO 1:100 PRINTED AT A3</p>		<p>DRAWN: DA:CC</p>		<p>CHECKED: MJ DESIGNED: J.BELTON</p>	
<p><b>SUMMIT</b> HOME IMPROVEMENTS © 2019</p>		<p>SHEET 1 OF 11</p>		<p>JOB NO 156141</p>		<p>EXISTING UNDERCROFT PLAN</p>	

Tangent Nominees Pty Ltd (A.C.N. 006 865 585)  
Trustee For The Summit Homes Group Trust  
242 Leach Highway, Myaree, W.A. 6154.  
Telephone(08) 9333 0808





OWNER TO PROVIDE LIFT  
SHAFT, FLOOR, WALLS &  
ELECTRICAL REQUIREMENTS  
FOR LIFT SHAFT PRIOR TO  
SITE COMMENCEMENT

OWNER TO SUPPLY  
& INSTALL LIFT  
AFTER HANDOVER

**GARAGE**

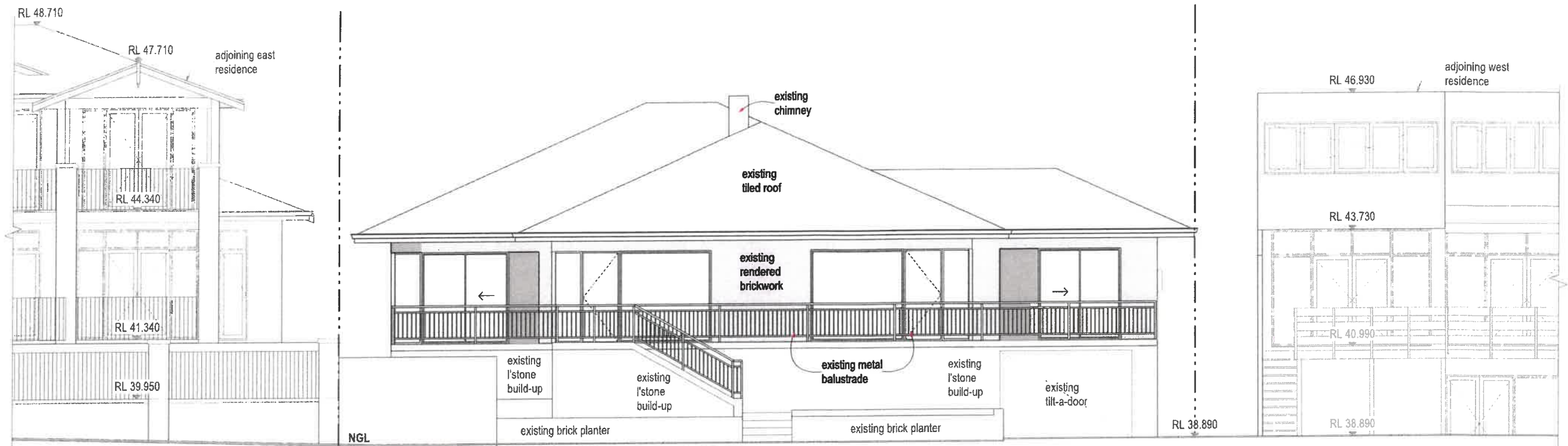
FL 38.89

Town of East Fremantle  
04 NOV 2019  
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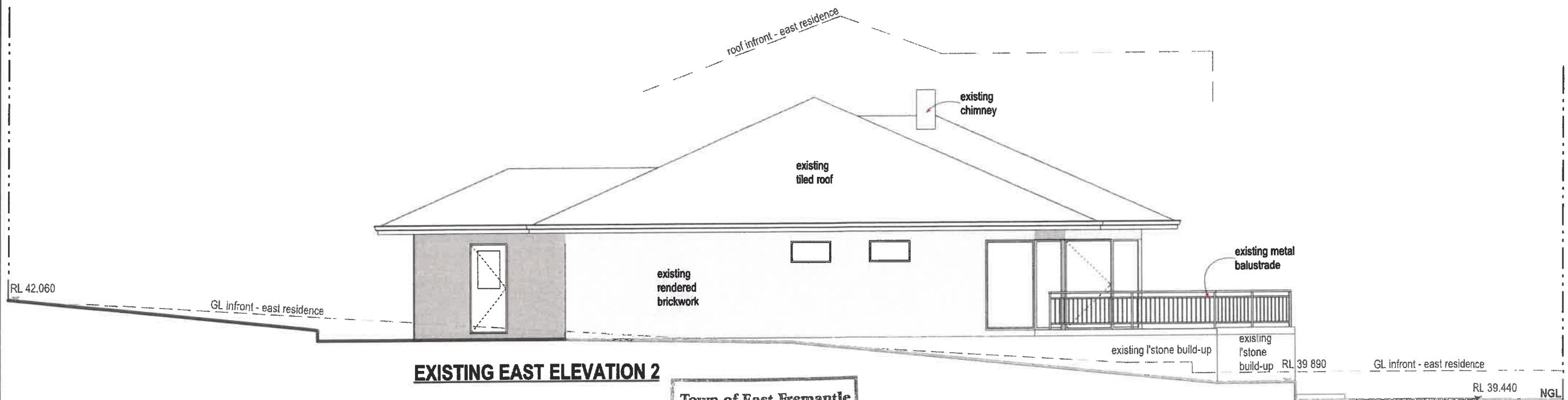


PROPOSED UNDERCROFT PLAN

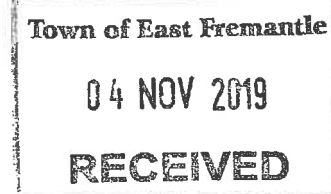
<b>PROPOSED IMPROVEMENTS FOR:</b>  <b>Donna CHARLESWORTH</b>  <b>ADDRESS:</b> <b>7 WOODHOUSE ROAD, EAST FREMANTLE, 6158</b>		<b>VARIATION No:</b> <b>001, 11/10/2019 CC</b>  ,	
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**EXISTING NORTH ELEVATION 1**

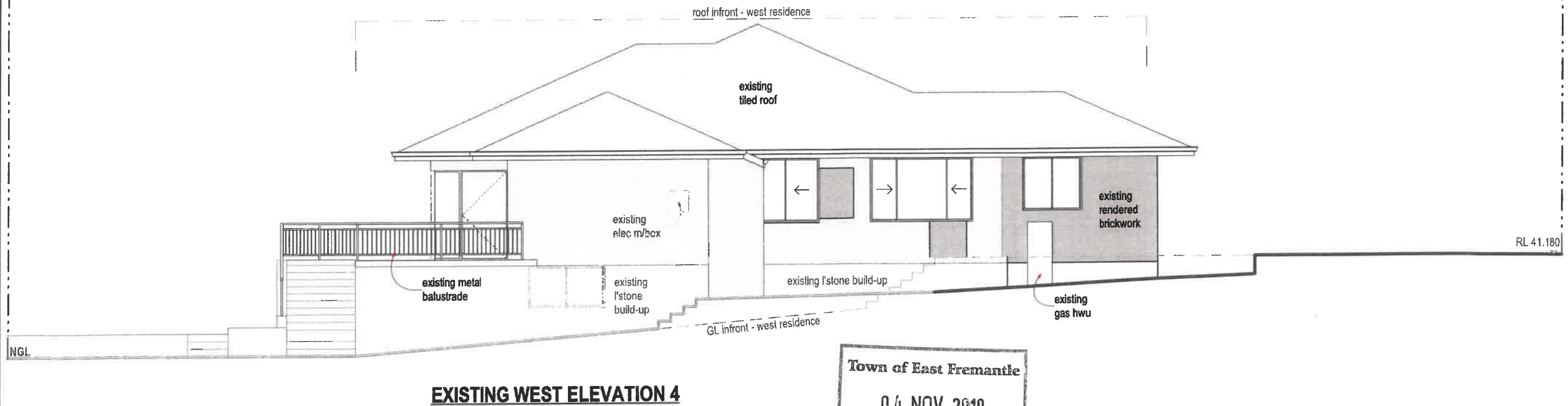
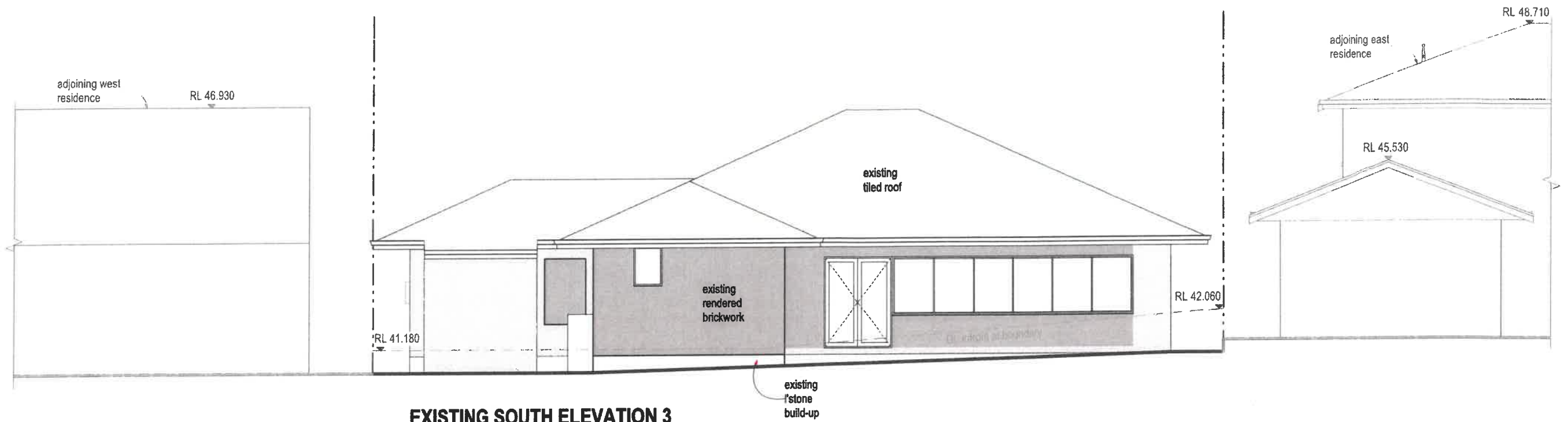


**EXISTING EAST ELEVATION 2**



**EXISTING ELEVATIONS 1 & 2**

ISSUED: 11/10/2019		LAST OPENED: 4/12/2019	
SCALE: UNO 1:100		PRINTED AT: A3	
SHEET 6 OF 11		JOB NO 156141	
DRAWN: DA:CC		CHECKED: MJ	
DESIGNED: J.BELTON		DESIGNER: J.BELTON	
VARIATION NO: 001, 11/10/2019 CC			
PROPOSED IMPROVEMENTS FOR: <b>Donna CHARLESWORTH</b> ADDRESS: <b>7 WOODHOUSE ROAD, EAST FREMANTLE, 6158</b>			
<b>SUMMIT</b> HOME IMPROVEMENTS © 2019 Tangent Nominees Pty Ltd (A.C.N. 008 985 585) Trustee For The Summit Homes Group Trust. 242 Leach Highway, Myaree, W.A. 6154. Telephone (08) 9333 0808			



Town of East Fremantle  
04 NOV 2019  
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EXISTING ELEVATIONS 3 &amp; 4

ISSUED: 11/10/2019	LAST OPENED: 4/12/2019
SCALE: 1:100	SCALE: 1:100
PRINTED AT: A3	PRINTED AT: A3
SHEET 7 OF 11	SHEET 7 OF 11
JOB NO 156141	JOB NO 156141

PROPOSED IMPROVEMENTS FOR:  
**Donna CHARLESWORTH**  
ADDRESS:  
**7 WOODHOUSE ROAD, EAST FREMANTLE, 6158**

**SUMMIT**  
HOME IMPROVEMENTS  
© 2019  
Tangent Nominees Pty Ltd (A.C.N. 008 665 585)  
Trustee For The Summit Homes Group Trust.  
202 Leach Highway, Myer, W.A. 6154.  
Telephone (08) 9333 0808

JOB NO 156141





**ELEVATIONS 1 & 2**

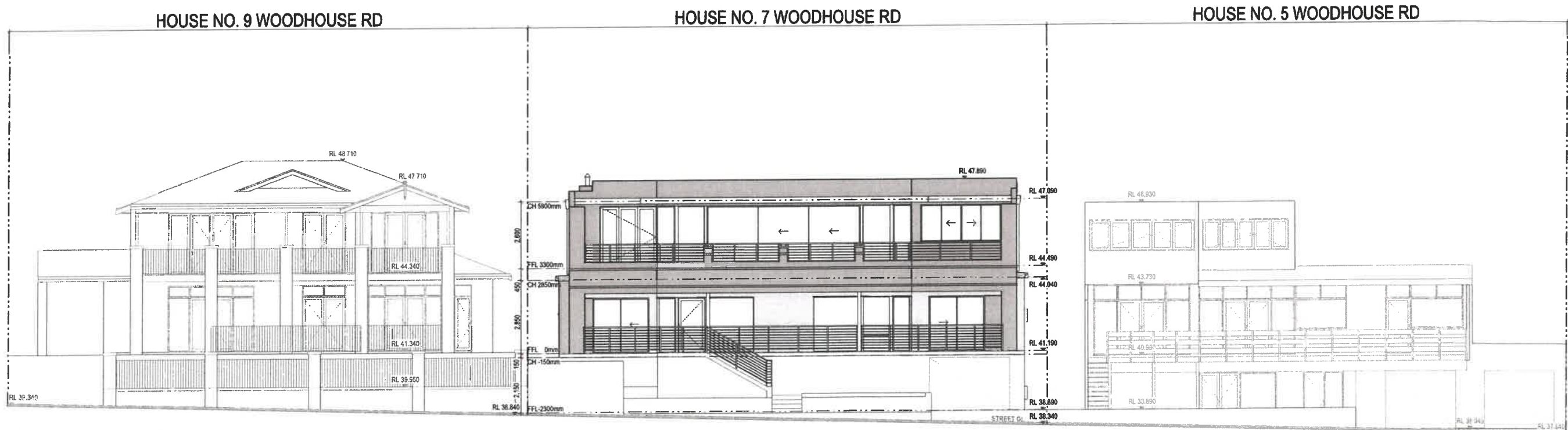
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**Town of East Fremantle**  
**04 NOV 2019**  
**RECEIVED**

**NOTE:**  
NEIGHBOURS RESIDENCES PLOTTED APPROXIMATELY  
ONLY & HEIGHTS SHOULD BE CONFIRMED BY COUNCIL



**STREETSCAPE NORTH ELEVATION**  
SCALE 1:165

Town of East Fremantle  
04 NOV 2019  
RECEIVED

**STREETSCAPE ELEVATION**

<b>PROPOSED IMPROVEMENTS FOR:</b> <b>Donna CHARLESWORTH</b> <b>ADDRESS:</b> <b>7 WOODHOUSE ROAD, EAST FREMANTLE, 6158</b>	<b>VARIATION NO:</b> 001, 11/10/2019 CC	<b>DRAWN:</b> DA/CC <b>WPC:</b> CHECKED: MJ DESIGNER: J.BELTON	<b>ISSUED:</b> 11/10/2019 <b>LAST OPENED:</b> 4/11/2019 <b>SCALE:</b> UNO 1:165 <b>PRINTED AT:</b> A3 <b>SHEET</b> 10 OF 11	<b>JOB NO</b> 156141
	<b>STREETSCAPE ELEVATION</b>			

Tangent Nominees Pty Ltd (A.C.N. 008 865 595)  
Trustee For The Summit Homes Group Trust.

**SUMMIT**

242 Leach Highway, Myaree, W.A. 6154.  
Telephone (08) 9333 9898

**HOME IMPROVEMENTS**

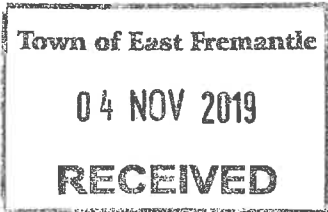
**© 2019**

**JOB NO 156141**





AREA OF SHADOW CAST FROM EXISTING BUILDING & PROPOSED ADDITIONS ON THE 21st OF JUNE @ MIDDAY  
EXPRESSED AS A PERCENTAGE = 1%



- OWNER TO SUPPLY & INSTALL STORMWATER SOAKWELLS TO LOCAL AUTHORITY REQUIREMENTS & SPECIFICATIONS
- OWNER TO PROVIDE POOL FENCE AS NECESSARY TO LOCAL GOVERNMENT REQUIREMENTS
- OWNER TO SUPPLY & INSTALL ALL NEW LANDSCAPING & RETAINING WALLS

HOUSE # 5  
LOT 2

Two Storey Building  
Constructed of  
Various Materials

OPEN SPACE CALCULATIONS

TOTAL AREA GROUND FLOOR = 253.87 m<sup>2</sup>(existing) + 37.43 m<sup>2</sup>(new)  
Total Area = 291.30 m<sup>2</sup>  
TOTAL AREA OF OPEN SPACE =  
Total Lot Area = 749 m<sup>2</sup> - 291.30 m<sup>2</sup> = 457.70 m<sup>2</sup>  
expressed as percentage = 457.70/749 x 100 = 61 %

LOT 500  
700m<sup>2</sup>

Two Storey  
Brick & Colorbond  
Roof Building

1,610 5,300 7,970 5,240

8,330

5,000

11,970

3,650

8,270

17,340 1,170

TERRACE / BALCONY 1

WOODHOUSE ROAD

HOUSE # 7  
LOT 288  
749m<sup>2</sup>

Swimming  
Pool

SITE PLAN

Tangerit Nominees Pty Ltd (A.C.N. 008 885 585)  
Trustee For The Summit Homes Group Trust.

**SUMMIT**  
HOME IMPROVEMENTS  
© 2019  
242 Leach Highway, Myaree, W.A. 6154.  
Telephone(08) 9333 0808

PROPOSED IMPROVEMENTS FOR:

Donna CHARLESWORTH

ADDRESS:

7 WOODHOUSE ROAD, EAST FREMANTLE, 6158

VARIATION N°:

001, 11/10/2019 CC

DRAWN

DA:CC

WO:

CHECKED: INJ

DESIGNER

J.BELTON

ISSUED:

11/10/2019

LAST OPENED:

4/11/2019

SCALE UNO 1:200

PRINTED AT A3

SHEET 11 OF 11

JOB N° 156141

SITE PLAN

A 242 Leach Hwy, Myaree WA 6154  
PA PO Box 4028, Myaree BC, WA 6960  
T 08 9317 0100  
W [summithomes.com.au](http://summithomes.com.au)



15 October 2019

Town of East Fremantle  
P O Box 1097  
FREMANTLE WA 6959

**ATTENTION : ANDREW MALONE**

Dear Andrew,

**RE: 7 WOODHOUSE ROAD, EAST FREMANTLE**  
**Our Contract No: 156141**

Please find attached amendments to existing Approved Planning Approval, and a new DA as discussed on Monday 14<sup>th</sup> October 2019 at your office with myself, Jim Belton on behalf of Summit Home Improvements.

Please find amendments listed on following page, and as per hi-lited drawings attached to Development Application.

Please do not hesitate to contact the office if further information or discussion is required.

Yours faithfully,

A handwritten signature in blue ink that reads 'Belton for' with a stylized flourish at the end.

**Robyn Winter**  
Admin & Planning Manager

[robynw@summithomesgroup.com.au](mailto:robynw@summithomesgroup.com.au)



A 242 Leach Hwy, Myaree WA 6154  
 PA PO Box 4028, Myaree BC, WA 6960  
 T 08 9317 0100  
 W [summithomes.com.au](http://summithomes.com.au)



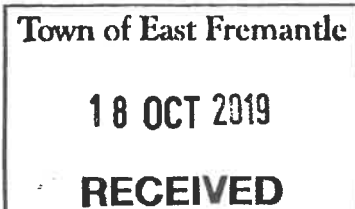
## Amendments to Original Planning Approval.

### Ground Floor:

1. Alfresco Area: South East wall has been extended 2000mm and South West corner change from pole to a curved brick corner.
2. Lounge: Southern solid wall changed to a sliding door.
3. Dumb Waiter: has been removed.
4. Bedroom 1: Hinged doors have been changed to sliding doors.
5. Study: Entry door has been enlarged.
6. Bedroom 2: Brick up East curved corner window and provide high window and sliding door.
7. Stairwell: Direction has changed.
8. Side Setbacks: East side changed from 1400 to larger setback of 1610. Noted : Boundary was not in correct position.
9. Ceiling Height: Existing ceiling height @2850 AFL maintained in lieu of reducing to a height of 2400.

### Upper Floor:

1. Improved Privacy: From Balcony 2.
2. Balcony 2: South East wall extended to 2000mm long and now curved in lieu of post. In addition no roof cover to Balcony.
3. Master Bedroom: External doors now open inwards, additional window (high) to Eastern wall.
4. Ensuite: Larger window in Ensuite.
5. Bedroom 3: Window seat and windows adjusted.
6. Bathroom 2: Internal layout of bathroom changed with an additional window now 2 windows to Ensuite
7. Powder Room 2: Internal layout changed.
8. Bar / Family / Dining :
  - a. Ceiling change has been made to provide raking in order to reduce overall height.
  - b. Fireplace has been added.
  - c. Multi-fold doors to bar changed opening direction.
  - d. Nib wall added to Stair.
9. Stairwell: Direction has changed and window larger and now obscure glazed.
10. Balcony 1: Roof removed and replaced with narrow awning. East & West wall height reduced and piers added to balustrade.
11. Side Setbacks: Set back changed to Stairwell / Bar wall 2510mm to smaller setback of 2300mm. Noted : Boundary was not in correct position.



## 11.2 George Street No 38 (Lot 412 & 414) Proposed signage

<b>Owner</b>	Climax & Joanne D'Souza
<b>Applicant</b>	Jacinta Athersmith
<b>File ref</b>	P093/19; GEO38
<b>Prepared by</b>	James Bannerman Planning Officer
<b>Supervised by</b>	Andrew Malone, Executive Manager Regulatory Services
<b>Meeting date</b>	3 December 2019
<b>Voting requirements</b>	Simple Majority
<b>Documents tabled</b>	Nil
<b>Attachments</b>	<ol style="list-style-type: none"><li>1. Location plan</li><li>2. Site photos</li><li>3. Place record form</li><li>4. Plans date stamped 13 &amp; 18 November 2019</li></ol>

### Purpose

Council is to consider a planning application for signage at No 38 (Lot 412 & 414) George Street, East Fremantle.

### Executive Summary

The applicant is seeking Council approval for two projecting signs with a vertical orientation. There are variations requested from the requirements of the Signage Design Guidelines - Local Planning Policy 3.1.3.

It is considered that the proposed signage can be supported subject to conditions of planning approval being imposed.

### Background

Zoning: Mixed Use  
Site area: 268m<sup>2</sup>

### Previous Decisions of Council and/or History of an Issue or Site

Nil

### Consultation

#### Advertising

The application was not advertised.

### Community Design Advisory Committee (CDAC)

The application was not referred to CDAC.

### Statutory Environment

*Planning and Development Act 2005*  
*Town of East Fremantle Local Planning Scheme No. 3 (LPS No. 3)*

### Policy Implications

*Signage Design Guidelines - Local Planning Policy 3.1.3*

### Financial Implications

Nil

## Strategic Implications

The Town of East Fremantle Strategic Community Plan 2017 – 2027 states as follows:

### Built Environment

*Accessible, well planned built landscapes which are in balance with the Town's unique heritage and open spaces.*

- 3.1 *Facilitate sustainable growth with housing options to meet future community needs.*
  - 3.1.1 *Advocate for a desirable planning and community outcome for all major strategic development sites.*
  - 3.1.2 *Plan for a mix of inclusive diversified housing options.*
- 3.2 *Maintaining and enhancing the Town's character.*
  - 3.2.1 *Ensure appropriate planning policies to protect the Town's existing built form.*
- 3.3 *Plan and maintain the Town's assets to ensure they are accessible, inviting and well connected.*
  - 3.3.1 *Continue to improve asset management practices.*
  - 3.3.2 *Optimal management of assets within resource capabilities.*
  - 3.3.3 *Plan and advocate for improved access and connectivity.*

### Natural Environment

*Maintaining and enhancing our River foreshore and other green, open spaces with a focus on environmental sustainability and community amenity.*

- 4.1 *Conserve, maintain and enhance the Town's open spaces.*
  - 4.1.1 *Partner with Stakeholders to actively protect, conserve and maintain the Swan River foreshore.*
  - 4.1.2 *Plan for improved streetscapes parks and reserves.*
- 4.2 *Enhance environmental values and sustainable natural resource use.*
  - 4.2.1 *Reduce waste through sustainable waste management practices.*
- 4.3 *Acknowledge the change in our climate and understand the impact of those changes.*
  - 4.3.1 *Improve systems and infrastructure standards to assist with mitigating climate change impacts.*

## Risk Implications

Risk	Risk Likelihood (based on history & with existing controls)	Risk Impact / Consequence	Risk Rating (Prior to Treatment or Control)	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
That Council does not approve the proposed development and the applicant appeals to SAT	Unlikely (2)	Minor (2)	Moderate (5-9)	COMPLIANCE Minor regulatory or statutory impact	Accept Officer Recommendation

### Risk Matrix

Consequence Likelihood		Insignificant	Minor	Moderate	Major	Extreme
		1	2	3	4	5
Almost Certain	5	Moderate (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Moderate (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Moderate (6)	Moderate (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Moderate (6)	Moderate (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Moderate (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; occupational health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating is provided below. Any items with a risk rating over 16 will be added to the Risk Register, and any item with a risk rating over 16 will require a specific risk treatment plan to be developed.

Risk Rating	4
Does this item need to be added to the Town's Risk Register	No
Is a Risk Treatment Plan Required	No

### Site Inspection

A site inspection was undertaken.

### Comment

#### Heritage

The subject property is a Category B building on the Town's heritage list and heritage inventory.

#### Statutory Assessment

The proposal has been assessed against the provisions of Local Planning Scheme No. 3 and the Town's Signage Design Guidelines - Local Planning Policy 3.1.3.

The application proposes signage for the shop at No 38 (Lot 412 & 414) George Street, East Fremantle. It includes a proposal for 2 projecting signs (vertical).

The table below lists the requirements of the Signage Design Guidelines, as well as the details of the proposed sign and whether the proposed sign complies with these requirements.

Signage Guidelines - Alternative Performance Criteria	Proposed Sign	Complies or Not
Maximum vertical dimension 1m or 5% height of building wall	0.95m frame 0.6m sign	Discretionary
Maximum projection 450mm	0.87m frame 0.76m sign	Discretionary
Number of signs - maximum of 1 per site	2	Discretionary
2.5m clearance from pavement	2.19m	Discretionary



Illumination - may be illuminated	Not illuminated	Complies
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### **Sign 1 & 2 - Projecting Sign (Vertical)**

Two identical vertical projecting signs are proposed. The signs measure 0.6m projection from the wall by 0.76m high and are proposed to be hung from a decorative frame mounted to the south facing wall that overlooks the footpath at the western and eastern ends of the subject property. The frame measures 0.95m in length and projects 0.87m from the wall. The signs have "Doffie, bespoke, local loved" written on both sides in black print with a white background. According to the LPP 3.1.3 one projecting sign (vertical) measuring a maximum length of 1m or 5% of the wall height and maximum projection of 0.45m is permitted. The sign is proposed to be 2.19m from the pavement which is less than the 2.5m minimum requirement. A condition has been recommended that requires the signs to be a minimum of 2.5m from the pavement in accordance with the Town's Signage Guidelines and it has been discussed with the applicant. The sign exceeds the maximum size permissible under LPP 3.1.3 and is lower than what would normally be accepted, however, the sign is supported, as it is part of a sign regime for the subject property and no other signs are being proposed for the shop.

### **Conclusion**

Both Sign 1 - Projecting Sign (Vertical) and Sign 2 - Projecting Sign (Vertical) are supported. The frames that support the signs are larger and lower than permissible according to LPP 3.1.3 and there are 2 signs proposed rather than 1 permitted by LPP 3.1.3, however, as this is the only signage that is proposed it is felt that this is an acceptable compromise.

Although the subject property is listed as a Category B property on the heritage list and heritage inventory the signage does not affect the heritage nature of the property and is relatively unobtrusive acknowledging that the building is being used as an approved shop, is located in the Mixed Use zone as indicated in Local Planning Scheme No 3 Scheme map and positioned along George Street on the western portion of the commercial precinct in close proximity to a number of other commercial businesses. The shop has been unoccupied for some time and the return of a business to the premises is welcomed at the western end of George Street.

The development application is recommended for approval subject to conditions.

### **11.2 OFFICER RECOMMENDATION**

**That Council grant development approval for two projecting signs at No. 38 (Lot 412 & 414) George Street, East Fremantle, in accordance with the plans date stamped received 13 & 18 November 2019, subject to the following conditions:**

- (1) All signage proposed being in accordance with the correspondence, elevations and accompanying notations and plans in regard to signage dimensions, wording, materials and graphics submitted with the application and date stamped received 13 & 18 November 2019 other than where varied by Council and in compliance with conditions of this approval.**
- (2) The signage shall be a minimum of 2.5m vertical distance from the pavement below.**
- (3) Any change to the type, design, location or illumination of the signage regime shall be the subject of a further development approval application for the consideration of Council.**
- (4) All signage to be kept clean and free of graffiti and vandalism at all times and any such graffiti or vandalism to be remedied within 48 hours to the satisfaction of the Chief Executive Officer.**
- (5) No other unauthorised signage is to be displayed. Additional signage will require the submission of a development application for the consideration of Council.**
- (6) The device shall not contain fluorescent, reflective or retro reflective colours or materials.**

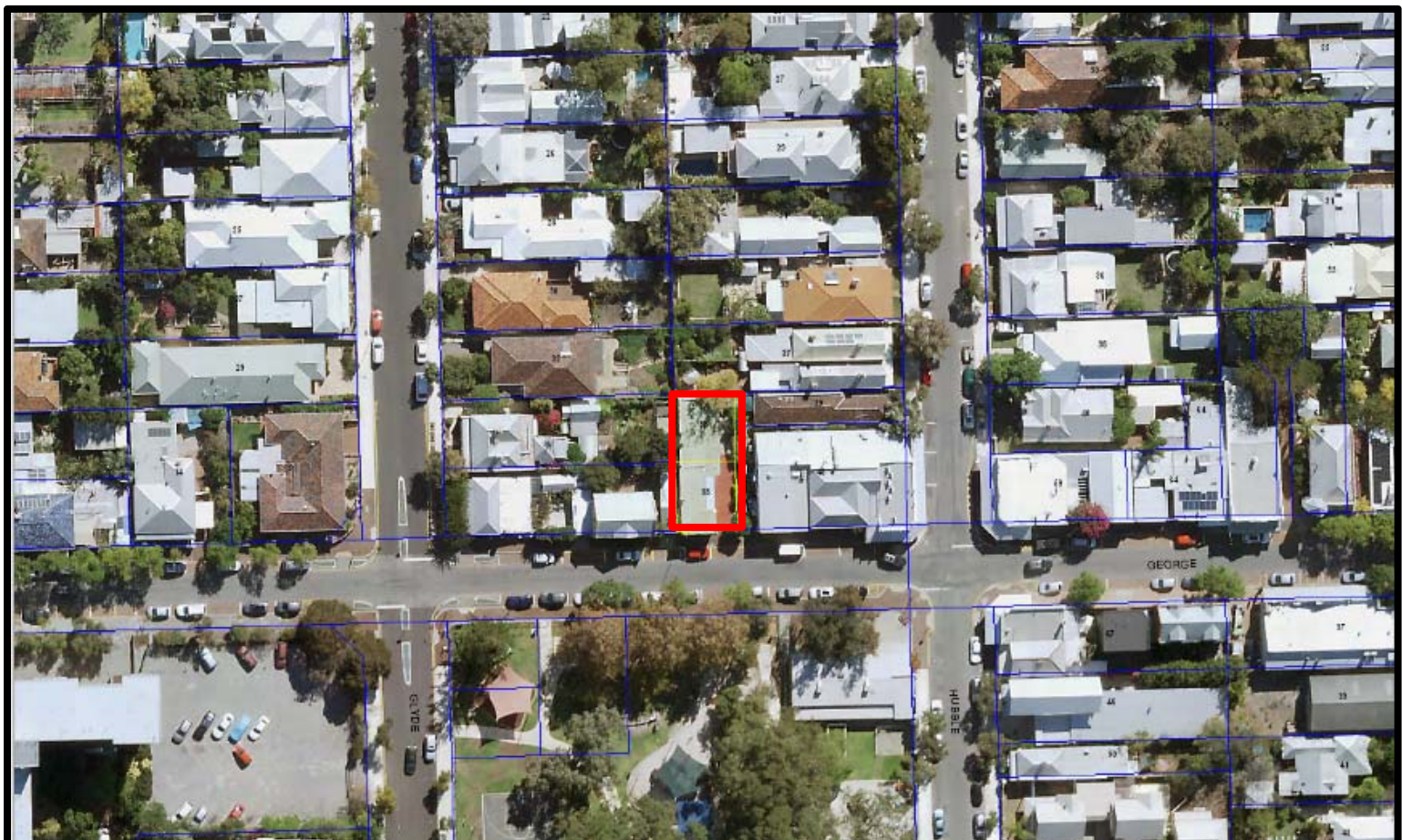
- (7) The proposed works are not to be commenced until Council has received an application for a Building Permit and the Building Permit issued in compliance with the conditions of this planning approval unless otherwise amended by Council.
- (8) With regard to the plans submitted with respect to the Building Permit application, changes are not to be made in respect of the plans which have received planning approval, without those changes being specifically marked for Council's attention.
- (9) All introduced filling of earth to the lot or excavated cutting into the existing ground level of the lot, either temporary or permanent, shall be adequately controlled to prevent damage to structures on adjoining lots or in the case of fill, not be allowed to encroach beyond the lot boundaries. This shall be in the form of structurally adequate retaining walls and/or sloping of fill at the natural angle of repose and/or another method as approved by the Town of East Fremantle.
- (10) Where this development requires that any facility or service within a street verge (street trees, footpath, crossover, light pole, drainage point or similar) is to be removed, modified or relocated then such works must be approved by Council and if approved, the total cost to be borne by the applicant. Council must act reasonably and not refuse any reasonable proposal for the removal, modification or relocation of such facilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (11) This planning approval is to remain valid for a period of 24 months from date of this approval.

**Footnote:**

*The following are not conditions but notes of advice to the applicant/owner:*

- (i) *this decision does not include acknowledgement or approval of any unauthorised development which may be on the site.*
- (ii) *a copy of the approved plans as stamped by Council are attached and the application for a Building Permit is to conform with the approved plans unless otherwise approved by Council.*
- (iii) *all noise levels produced by the construction of the development are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).*

## NO. 38 (LOTS 412 &amp; 414) GEORGE STREET – P093/19 –SIGNAGE– CATEGORY B







## PLACE RECORD FORM

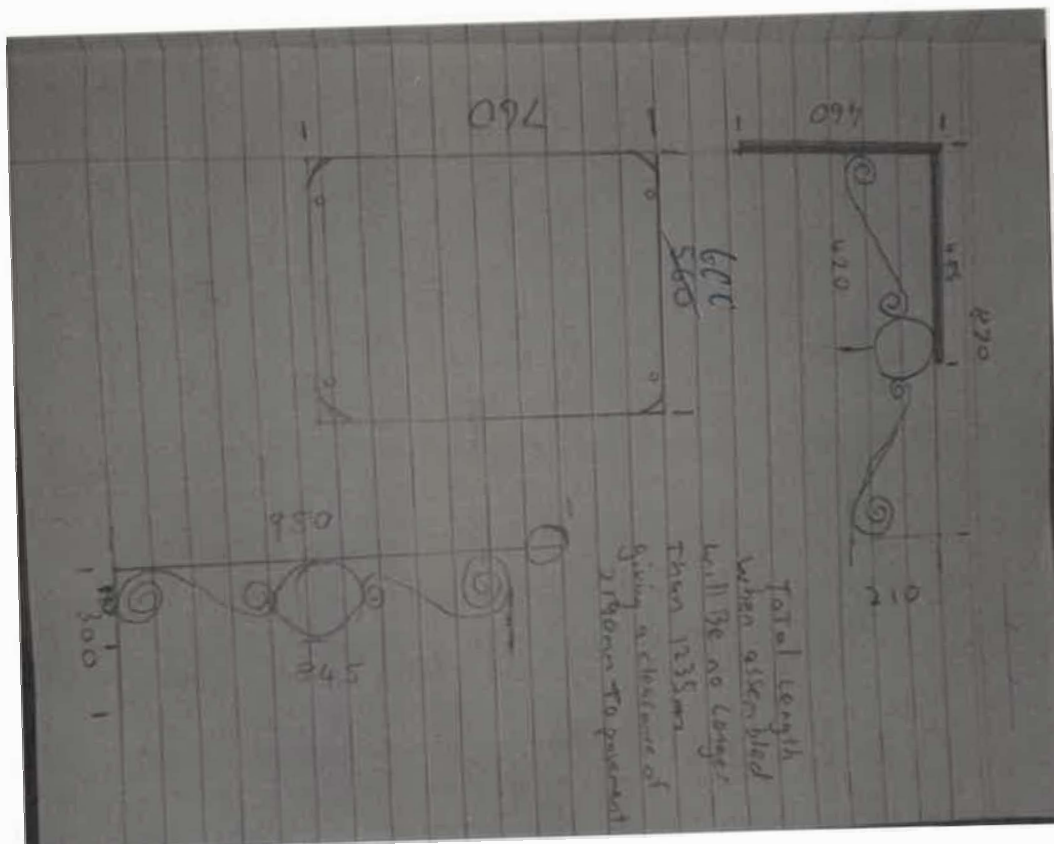
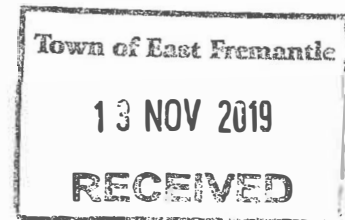
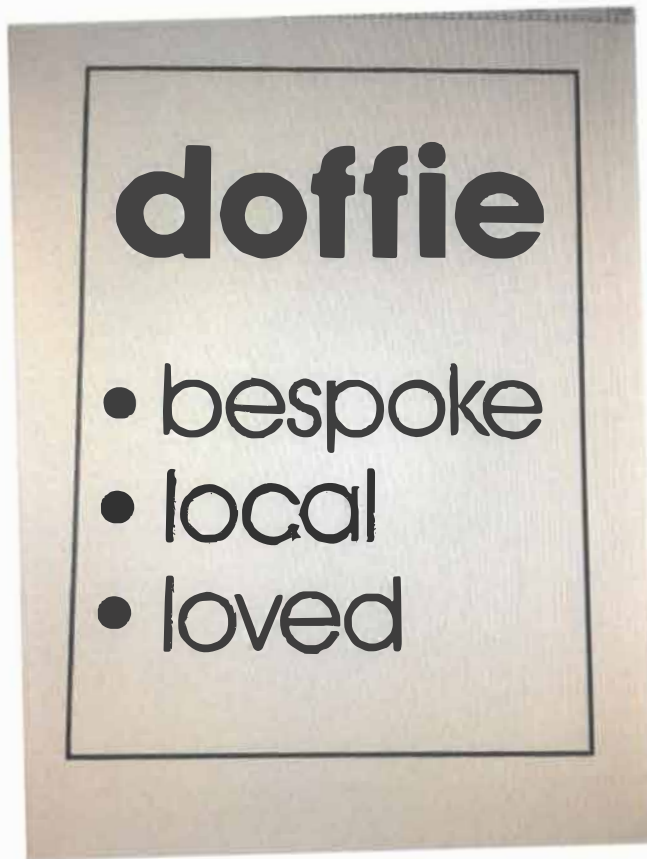


PRECINCT	Plympton
ADDRESS	38 George Street
PROPERTY NAME	N/A
LOT NO	Lots 412 & 414
PLACE TYPE	Commercial premises adapted for residential use
CONSTRUCTION DATE	C 1896
ARCHITECTURAL STYLE	Federation Free Classical
USE/S	Original Use: Shop and residence/ Current Use: Residence
STATE REGISTER	N/A
OTHER LISTINGS	N/A
MANAGEMENT CATEGORY	Category B
PHYSICAL DESCRIPTION	<p>No 38 George Street is a former single storey shop and residence adapted for residential use. It is constructed of rendered masonry with skillion roofs behind a classically derived parapet wall. The front elevation is symmetrically planned with a centrally located front door flanked by arched head windows. The original shop fronts have been removed to make way for more domestic scaled windows and doors. These were most likely installed in the Post-World War II period.</p> <p>There are additions to the rear.</p> <p>The place is consistent with the pattern of development in Plympton and</p>

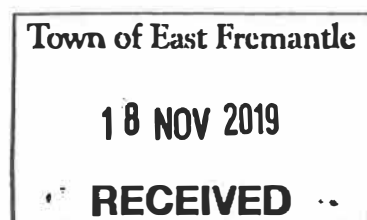
	plays an important role in the pattern of development of a working class suburb and an example of the capacity for adaptation of the first generation buildings.
HISTORICAL NOTES	<p>Plympton is a cohesive precinct where most of the places were constructed in the late nineteenth century and the first quarter of the twentieth century. It is comprised primarily of homes for workers and their families with a high concentration of small lots with timber, brick and stone cottages.</p> <p>No 38 George Street is a fair example of a shop and house in the Federation Free Classical style adapted to become a residence.</p>
OWNERS	Unknown
HISTORIC THEME	Occupation - Commercial services
CONSTRUCTION MATERIALS	<p>Walls – Rendered masonry</p> <p>Roof – Corrugated iron sheeting</p>
PHYSICAL SETTING	The building is located on a lot boundary with steel fences and gates spanning the remainder of the lot frontage.
STATEMENT OF SIGNIFICANCE	<p>No 38 George Street is a single storey residence constructed in rendered masonry construction with a corrugated iron roof. The place has historic and aesthetic value with its contribution to Plympton's high concentration of worker's cottages and associated buildings. It contributes to the local community's sense of place.</p> <p>The place has some heritage value for its intrinsic aesthetic value as a Federation Free Classical style shop and house. It retains a moderate to low degree of authenticity and a moderate degree of integrity. It makes a strong visual contribution to the George Street precinct.</p> <p>The rear additions have no significance.</p>
AESTHETIC SIGNIFICANCE	No 38 George Street has considerable aesthetic value as a fair example of a Federation Free Classical style shop and house. The place has been restyled but has retained its key characteristic features of the original style.
HISTORIC SIGNIFICANCE	No 38 George Street has considerable historic value. It was part of the suburban residential development associated with the expansion of East Fremantle during the Goldrush period of the 1880s and 1890s.
SCIENTIFIC SIGNIFICANCE	N/A
SOCIAL SIGNIFICANCE	No 38 George Street has considerable social value. It is associated with a significant area of worker's cottages and the George Street precinct which contributes to the community's sense of place.
RARITY	No 38 George Street is not rare in the immediate context but Plympton has rarity value as a working class suburb.
CONDITION	No 38 George Street is in fair condition.
INTEGRITY	No 38 George Street retains a moderate degree of integrity.
AUTHENTICITY	No 38 George Street retains a moderate to low degree of authenticity.
MAIN SOURCES	



## 38 George Street – Proposed Signage



38 George Street





### 11.3 Sewell Street No 62 (Lot 306) Proposed new residence

<b>Owner</b>	Jamie & Kate Nancarrow
<b>Applicant</b>	John Chisholm Design
<b>File ref</b>	P080/19; SEW62
<b>Prepared by</b>	James Bannerman Planning Officer
<b>Supervised by</b>	Andrew Malone, Executive Manager Regulatory Services
<b>Meeting date</b>	3 December 2019
<b>Voting requirements</b>	Simple Majority
<b>Documents tabled</b>	Nil
<b>Attachments</b>	<ol style="list-style-type: none"><li>1. Location plan</li><li>2. Site photographs</li><li>3. Plans date stamped 14 October 2019</li><li>4. Colour and materials chart date stamped 22 November 2019</li></ol>

#### **Purpose**

This report considers a planning application for the proposed construction of a new two storey residence at No 62 (Lot 306) Sewell Street, East Fremantle.

#### **Executive Summary**

The applicant is seeking Council approval for the new storey residence with the following variations to the Residential Design Codes and the Residential Design Guidelines;

- (iii) Boundary Setback - Kitchen/Dining Room Wall – 1m required, 0m provided
- (iv) Boundary Setback – Studio – 1m required, 0m provided
- (v) Bedroom 3, 2 & Bathroom – 1.5m required, 1.3m provided
- (vi) Maximum Wall Height – 6m required, 6.3m provided
- (vii) Garage Width – 30% required, 50% provided
- (viii) Roof Pitch – 28 to 36 degrees required, 20 and 25 degrees provided

The current proposal is an altered design from the previous approval (P044/16) but has a similar intent.

It is considered that the above variations can be supported subject to conditions of planning approval being imposed.

#### **Background**

Zoning: Residential R20

Site area: 508m<sup>2</sup>

#### Previous Decisions of Council and/or History of an Issue or Site

P044/16 Development approval granted for a 2 storey dwelling 5 July 2016

#### **Consultation**

##### Advertising

The application was advertised to surrounding land owners from 10 to 25 October 2019. No responses were received.

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Community Design Advisory Committee

(a) *The overall built form merits;*

- The Committee comment that the design possesses limited merit with specific reference to the comments provided below.

(b) *The quality of architectural design including its impact upon the heritage significance of the place and its relationship to adjoining development;*

- The Committee note that the use of various materials and colours on the front façade seem to conflict with each other and the wider heritage character of the area. There appears to be five separate materials utilised on the front façade which may reduce the design and overall built form merit of the proposal. The Committee suggest that the applicant provides a colour and materials board to supplement their documentation as to demonstrate consistency with the immediate locality.

(c) *The relationship with and impact on the broader public realm and streetscape;*

- The Committee appreciate that the modern design of the new dwelling which is located adjoining two other recently completed properties with modern designs.

(d) *The impact on the character of the precinct, including its impact upon heritage structures, significant natural features and landmarks;*

- No further comment at this time.

(e) *The extent to which the proposal is designed to be resource efficient, climatically appropriate, responsive to climate change and a contribution to environmental sustainability;*

- The dwelling does demonstrate the principles of climatic appropriate design, however, it is noted the building does overshadow the southern neighbour due to being located primarily on the southern boundary. The Committee do note the height and design of the adjoining dwelling, noting the limitations to improve solar gain to the neighbouring property.

(f) *The demonstration of other qualities of best practice urban design including "Crime Prevention" Through Environmental Design performance, protection of important view corridors and lively civic places;*

- No further comment at this time.

Applicant Comment

The applicant provided comments for Items (b) and (e).

(b) The clients and I thought that the materials were quite harmonious with the area, and worked on a fairly minimalist palette – white brickwork, now complemented with white Dulux Acratex coating to all framed walls, a Colorbond Surfmist or Shale Grey garage door (not the timber door as illustrated) and real timber vertical lining as a natural feature. The low front boundary wall is to be built from natural limestone that has been found on site. Apart from the window frames which are an essential component, the design works fairly hard to present a calm, natural and honest presentation of materials consistent with the character of the local area.

Of course, the clients and I will be more than happy to submit a colour and materials sample board.

(e) No comment, other than it would appear to be somewhat difficult for this design, with 2.9m high boundary walls to 'overshadow' the adjoining southern property with 6.9m to 7.6m high boundary walls. The adjoining property has no solar design considerations, the one opportunity it had to invite solar access into the home is given over to a small service courtyard.

#### Officer Comment

The comments are noted. Sewell Street has many heritage properties as well as numerous more contemporary dwellings with an eclectic variety of architectural colours and styles. The proposed development at the subject property adjoins properties that are not heritage listed and have used contemporary architectural features and materials. This proposal has utilised contemporary design features and styles including steep and low pitched roofs, as well as a combination of materials which follow a similar pattern to the neighbouring properties. The applicant has submitted a colour and materials chart as requested by CDAC. The colours and materials are complementary to the surrounding dwellings.

#### External Consultation

Nil

#### **Statutory Environment**

*Planning and Development Act 2005*

*Residential Design Codes of WA*

*Town of East Fremantle Local Planning Scheme No. 3 (LPS No. 3)*

#### **Policy Implications**

*Town of East Fremantle Residential Design Guidelines 2016 (as amended)*

#### **Financial Implications**

Nil

#### **Strategic Implications**

The Town of East Fremantle Strategic Community Plan 2017 – 2027 states as follows:

##### *Built Environment*

*Accessible, well planned built landscapes which are in balance with the Town's unique heritage and open spaces.*

*3.1 Facilitate sustainable growth with housing options to meet future community needs.*

*3.1.1 Advocate for a desirable planning and community outcome for all major strategic development sites.*

*3.1.2 Plan for a mix of inclusive diversified housing options.*

*3.2 Maintaining and enhancing the Town's character.*

*3.2.1 Ensure appropriate planning policies to protect the Town's existing built form.*

*3.3 Plan and maintain the Town's assets to ensure they are accessible, inviting and well connected.*

*3.3.1 Continue to improve asset management practices.*

*3.3.2 Optimal management of assets within resource capabilities.*

*3.3.3 Plan and advocate for improved access and connectivity.*

### Natural Environment

*Maintaining and enhancing our River foreshore and other green, open spaces with a focus on environmental sustainability and community amenity.*

#### 4.1 Conserve, maintain and enhance the Town's open spaces.

4.1.1 Partner with Stakeholders to actively protect, conserve and maintain the Swan River foreshore.

4.1.2 Plan for improved streetscapes parks and reserves.

#### 4.2 Enhance environmental values and sustainable natural resource use.

4.2.1 Reduce waste through sustainable waste management practices.

#### 4.3 Acknowledge the change in our climate and understand the impact of those changes.

4.3.1 Improve systems and infrastructure standards to assist with mitigating climate change impacts.

### Risk Implications

Risk	Risk Likelihood (based on history & with existing controls)	Risk Impact / Consequence	Risk Rating (Prior to Treatment or Control)	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
That Council does not approve the proposed development	Possible (3)	Minor (2)	Moderate (5-9)	COMPLIANCE Minor regulatory or statutory impact	Accept Officer Recommendation

### Risk Matrix

Consequence		Insignificant	Minor	Moderate	Major	Extreme
Likelihood		1	2	3	4	5
Almost Certain	5	Moderate (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Moderate (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Moderate (6)	Moderate (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Moderate (6)	Moderate (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Moderate (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; occupational health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating is provided below. Any items with a risk rating over 16 will be added to the Risk Register, and any item with a risk rating over 16 will require a specific risk treatment plan to be developed.

<b>Risk Rating</b>	<b>6</b>
<b>Does this item need to be added to the Town's Risk Register</b>	<b>No</b>
<b>Is a Risk Treatment Plan Required</b>	<b>No</b>

### Site Inspection

A site inspection was undertaken.

### Comment

#### Statutory Assessment

The proposal has been assessed against the provisions of Local Planning Scheme No. 3 and the Town's Local Planning Policies including the Residential Design Guidelines, as well as the Residential Design Codes. A summary of the assessment is provided in the following tables.

<b>Legend</b> (refer to tables below)	
A	Acceptable
D	Discretionary
N/A	Not Applicable

#### Residential Design Codes Assessment

Design Element	Required	Proposed	Status
Street Front Setback	6m	6.2m	A
Secondary Street Setback	-	-	N/A
Lot boundary setbacks			
Garage	0m	0m	A
Laundry	1m	2.3m	A
Kitchen/dining	1m	0m	D
Studio – south	1m	0m	D
Studio - east	1m	2.53m	A
Studio - north	1.5m	7.5m	A
Living - east	1.5m	16m	A
Living - north	1.5m	1.8m	A
Kitchen - north	1.5m	3.9m	A
Ensuite & master bedroom	1m	1m	A
Master bedroom/side wall - north	1m	1.5m	A
Bedroom 3, 2 & bathroom - south	1.5m	1.3m	A
Bathroom & linen cupboard	2.8m	11.5m	A
Linen cupboard - north	1.2m	4.9m	A
Bed 4, family	1.2m	1.5m	A
Open Space	50%	58.7%	A
Wall height	6m	6.3m	D
Roof height	9m	8.2m	A
Setback of Garage	4.5m	6.2m	A
Car Parking	2 car bays	2 car bays	A
Site Works	Less than 500mm	Less than 500mm	A
Visual Privacy	4.5m bedroom 4	4.5m	A
Overshadowing	≤25%	2.75%	A
Drainage	On-site	To be conditioned	A

#### Local Planning Policies Assessment

LPP Residential Design Guidelines Provision	Status
3.7.2 Additions and Alterations to Existing Buildings	N/A

3.7.3 Development of Existing Buildings	N/A
3.7.4 Site Works	A
3.7.5 Demolition	A
3.7.6 Construction of New Buildings	A
<b>3.7.7 Building Setbacks and Orientation</b>	<b>D</b>
<b>3.7.8 Roof Form and Pitch</b>	<b>D</b>
3.7.9 Materials and Colours	A
3.7.10 Landscaping	A
3.7.11 Front Fences	A
3.7.12 Pergolas	N/A
3.7.13 Incidental Development Requirements	N/A
3.7.14 Footpaths and Crossovers	A
3.7.15.4.3.1 Fremantle Port Buffer Area	A
3.7.15.3.3 Garages and Carports	A

This development application proposes a new double storey dwelling at the subject property. There was a previous development approval for the demolition of the existing dwelling onsite and the construction of a new two storey dwelling (P044/16) which had some similarities to the proposal that is the subject of this report. The demolition of the original building was carried out, but the development of the dwelling was not commenced. The development approval was extended twice for twelve month periods and is valid to May 2020.

In terms of the current proposal that is before the Town five variations are requested to the requirements of the Residential Design Codes and two variations are requested to the requirements of the Residential Design Guidelines.

#### Kitchen/Dining Room Wall – Southern Boundary

The kitchen and dining room wall which is 9m long and 3m high partially abuts a parapet wall of the neighbouring property. The section of the wall that aligns with the dining area and 4.9m long abuts a parapet wall that is 6.6m in length. As a result there is no impact on the neighbouring property as this wall is only 3m high and corresponds to the abutting parapet wall. The remaining section corresponds with the kitchen and is adjacent to a service courtyard at the southern neighbouring property which is enclosed by retaining walls and boundary fencing that is 2.4m in height. The parapet wall is 3m high only 0.6m higher than the boundary fence and retaining wall at this section of the boundary. The parapet wall ensures privacy, has little effect on ventilation, but does impact on sunlight. On balance the location of the wall achieves Clause 5.1.3 design principles P3.2. The design makes effective use of space for enhanced privacy of occupants and outdoor living areas, reduces impacts of building bulk on adjoining properties, provides adequate direct sunlight and ventilation to the building and open spaces of the site and adjoining properties, and overlooking and loss of privacy is minimised. For these reasons the reduced setback to the boundary is supported.

#### Studio – Southern Boundary

The studio located in the rear yard is also located along the boundary. A 4.3m long wall that is 2.9m high is adjacent to a boundary fence and retaining wall where it should be 1m from the boundary. The studio is adjacent to a retaining wall and boundary fence that is approx. 0.1m lower than the proposed wall of the studio and has minimal impact on the southern neighbouring property in terms of building bulk, privacy, open space, sunlight or ventilation in accordance with clause 5.1.3 clause design principles P3.1. The reduced setback to the boundary of the studio wall is supported.

#### Bed 3, 2 & Bathroom – Southern Boundary

A wall 10.3m long and 5.8m high is located 1.3m from the boundary rather than 1.5m as required by clause 5.1.3 of the R Codes. This represents a small difference and in accordance with design principles P3.1 there has been an attempt to reduce the building bulk on the neighbouring property by setting the wall back from the boundary, there is adequate sunlight and ventilation provided to the building and adjacent property and there is no loss of privacy as the wall has highlight windows that permit light into habitable rooms but limits any ability to overlook the southern property. Along the boundary the southern neighbouring property has constructed a parapet wall that is higher than the wall that is proposed by the property that is the subject of this report. This parapet wall is between 6.7m and 7.8m high. The reduced setback to the boundary is supported.

#### Wall Height

The maximum wall height (to the top of wall from NGL) is 6.3m where it should be 6m in accordance with clause 5.1.6 of the R Codes. The additional height on the north western corner of the proposed development is due to the slope of the lot. It is only for a small section of the building and it still complies with the maximum roof height of 9m. In this location there is minimal impact on the northern neighbouring property as the wall is setback 1.8m which is more than the minimum distance required by the R Codes (1.2m). There is no impact on access to sunlight into the building, major openings or open spaces of the neighbouring property and it has no impact on access to views of significance. For this reason the additional wall height can be supported.

#### Garage Width

The garage has a width as a percentage of lot frontage that is equivalent to 50%. Clause 3.7.16.3.3.A3 of the Residential Design Guidelines requires that garages be a maximum of 30% of the lot width. The garage is compatible with the building and does not dominate the streetscape as a result of designing the opening to be 3.8m wide which is 31% of lot width which reduces dominance of garage. In accordance with performance criteria 3.7.16.3.3 P3 where garages are required they are to be designed to be incorporated into and compatible with the design of the dwelling. In this case this is achieved through the addition of an inset in the otherwise blank wall to the north of the garage opening and the use of different colours and materials for the garage to the rest of the dwelling. For this reason the additional garage width is supported.

#### Roof Pitch

The roof pitch varies between 5 degrees to 30 degrees where it is required to be between 28 degrees to 36 degrees. It does not achieve the requirements of clause 3.7.8.3 A4.1 but achieves the performance criteria of clause 3.7.8.3 P3 & P4 in that the eaves of new developments are sympathetic with the immediate locality in regard to the size of overhang and the roof form complements the traditional form of surrounding development in the immediate locality. For this reason the proposed roof pitches are supported.

#### Fremantle Port Buffer Area 2 Requirements

There is a requirement that all new development achieves the Fremantle Port Buffer Area 2 requirements which are listed in the Residential Design Guidelines. These requirements include use of safety glass, quiet house design and minimum air conditioning requirements which have been included as conditions of development.

#### **Conclusion**

Based on the assessment that has been completed for this development and the explanation provided in this report, the variations that have been proposed to the Residential Design Codes and the Residential

Development Guidelines are considered acceptable. As such it is recommended that the proposed development be supported subject to planning conditions.

### 11.3 OFFICER RECOMMENDATION

That development approval is granted and discretion is exercised in regard to the following;

- (i) Clause 5.1.3 – Residential Design Code – Lot Boundary Setbacks – Kitchen Dining Room Wall - 1m required, 0m provided
- (ii) Clause 5.1.3 – Residential Design Code – Lot Boundary Setbacks – Studio Wall - 1m required, 0m provided
- (iii) Clause 5.1.3 – Residential Design Code – Lot Boundary Setbacks – Bedroom 3, 2 & Bathroom Wall – 1.5m required, 1.3m provided
- (iv) Clause 5.1.6 – Residential Design Code – Wall Height – - 6m required, 6.3m provided
- (v) Clause 3.7.16.3.3 – Residential design Guidelines - Garage Width – 30% required, 50% provided
- (vi) Clause 3.7.8.3 – Residential Design Guidelines – Roof Pitch – 28 to 36 degrees required, 5 to 30 degrees provided

for a proposed new residence at No. 62 (Lot 306) Sewell Street, East Fremantle, in accordance with the plans date stamped received 14 October 2019, subject to the following conditions:

- (1) The maximum width of the garage opening shall be 3.8m.
- (2) The maximum width of the crossover shall be 4.2m.
- (3) The works are to be constructed in conformity with the drawings and written information accompanying the application for planning approval other than where varied in compliance with the conditions of this planning approval or with Council's further approval.
- (4) The proposed works are not to be commenced until Council has received an application for a Building Permit and the Building Permit issued in compliance with the conditions of this planning approval unless otherwise amended by Council.
- (5) With regard to the plans submitted with respect to the Building Permit application, changes are not to be made in respect of the plans which have received planning approval, without those changes being specifically marked for Council's attention.
- (6) Any glass used for windows or openings shall be laminated safety glass of minimum thickness of 6mm or double glazed utilising laminated or toughened safety glass of a minimum thickness of 3mm and to be manufactured and installed in accordance with Australian Standards.
- (7) Multiple air conditioning systems are to have internally centrally located shut down point and associated procedures for emergency use and there is a preference for a split refrigerative systems.
- (8) Quiet house design principles are to be adopted.
- (9) Roof insulation is to be incorporated into the development.
- (10) All stormwater is to be disposed of on site, an interceptor channel installed if required and a drainage plan be submitted to the satisfaction of the Chief Executive Officer in consultation with the Building Surveyor prior to the issue of a Building Permit.
- (11) If requested by Council within the first two years following installation, the roofing to be treated to reduce reflectivity. The treatment to be to the satisfaction of the Chief Executive Officer in consultation with relevant officers and all associated costs to be borne by the owner.
- (12) All introduced filling of earth to the lot or excavated cutting into the existing ground level of the lot, either temporary or permanent, shall be adequately controlled to prevent damage to structures on adjoining lots or in the case of fill, not be allowed to encroach beyond the lot boundaries. This shall be in the form of structurally adequate retaining walls and/or sloping of



fill at the natural angle of repose and/or another method as approved by the Town of East Fremantle.

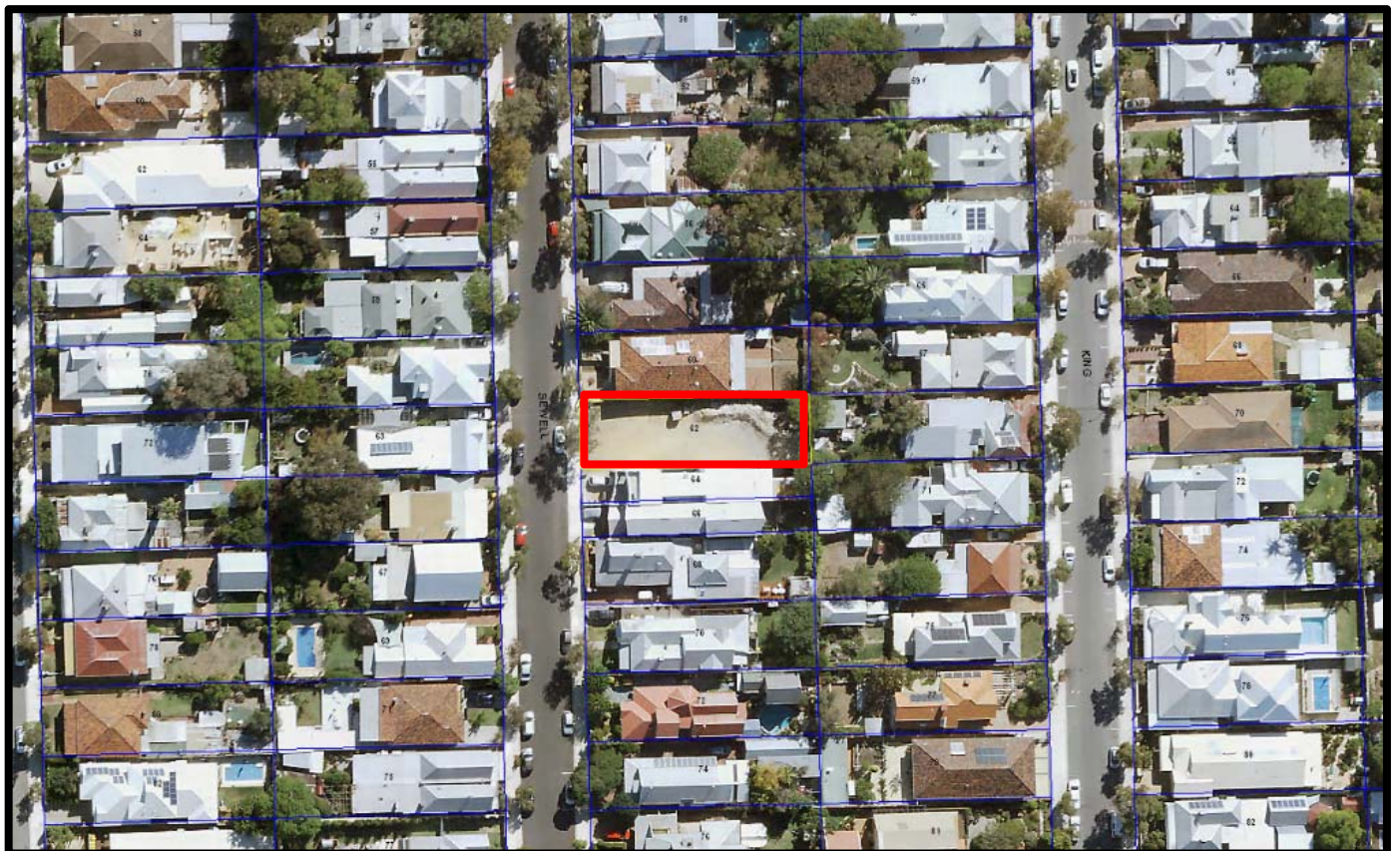
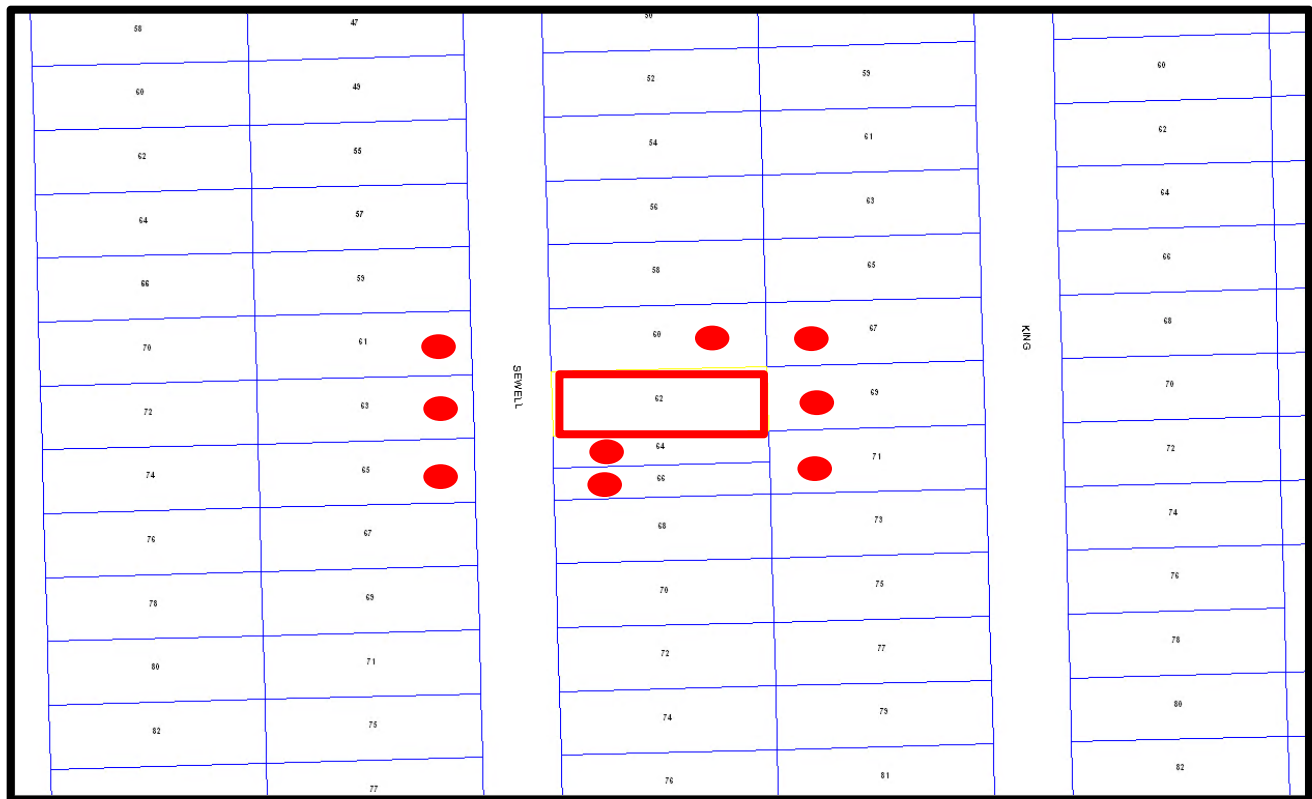
- (13) Where this development requires that any facility or service within a street verge (street trees, footpath, crossover, light pole, drainage point or similar) is to be removed, modified or relocated then such works must be approved by Council and if approved, the total cost to be borne by the applicant. Council must act reasonably and not refuse any reasonable proposal for the removal, modification or relocation of such facilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (14) This planning approval is to remain valid for a period of 24 months from date of this approval.

**Footnote:**

*The following are not conditions but notes of advice to the applicant/owner:*

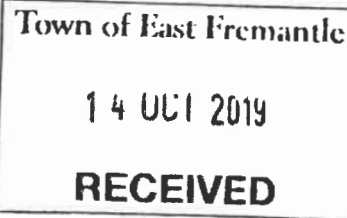
- (i) this decision does not include acknowledgement or approval of any unauthorised development which may be on the site.*
- (ii) a copy of the approved plans as stamped by Council are attached and the application for a Building Permit is to conform with the approved plans unless otherwise approved by Council.*
- (iii) it is recommended that the applicant provides a Structural Engineer's dilapidation report, at the applicant's expense, specifying which structures on adjoining sites may be adversely affected by the works and providing a record of the existing condition of the structures. Two copies of each dilapidation report should be lodged with Council and one copy should be given to the owner of any affected property.*
- (iv) all noise levels produced by the construction of the development are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).*
- (v) matters relating to dividing fences are subject to the Dividing Fences Act 1961.*
- (vi) under the Environmental Protection (Noise) Regulations 1997, the noise from an air-conditioner must meet assigned allowable noise levels at all times. The Environmental Protection Act 1986 sets penalties for non-compliance with the Regulations and the installer of a noisy air-conditioner can face penalties of up to \$5,000 under Section 80 of the Act. Refer to Department of Environmental Protection document – "An Installers Guide to Air Conditioner Noise".*

## NO. 62 (LOT 306) SEWELL STREET – P080/19 – TWO STOREY RESIDENCE











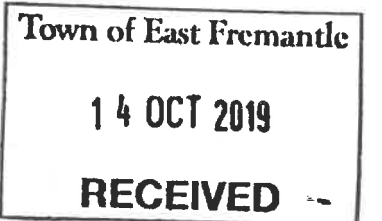
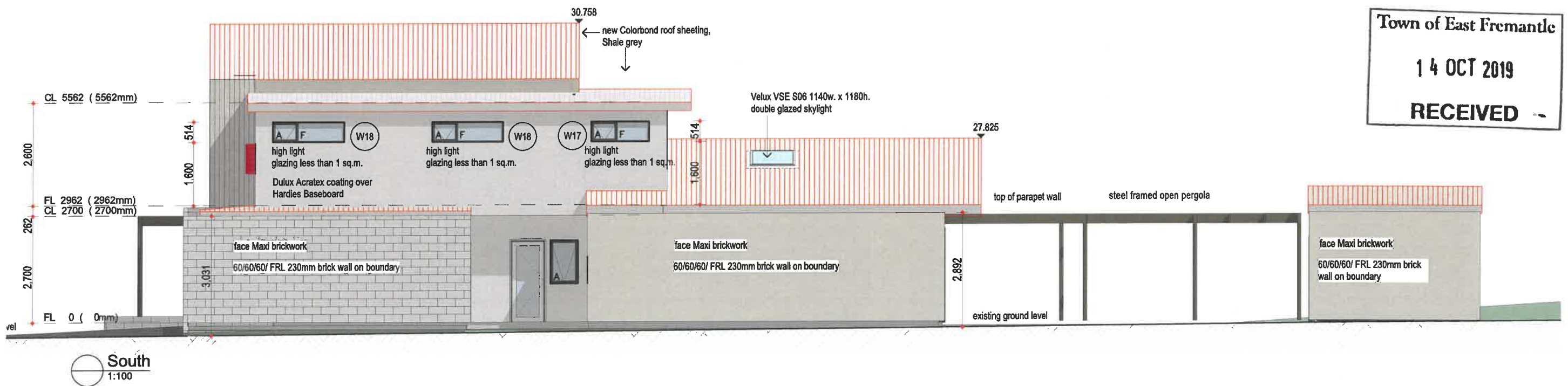
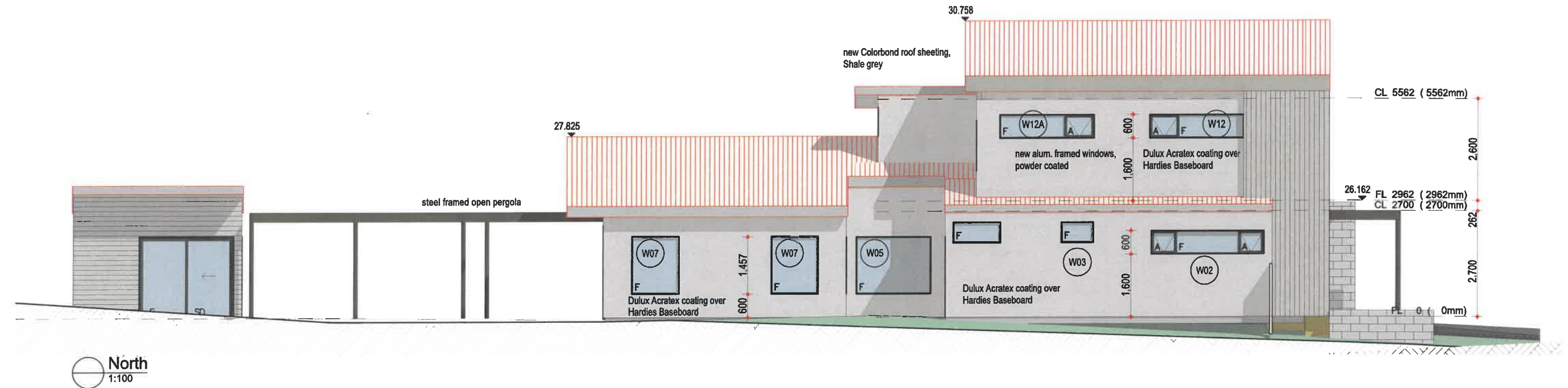
planning

14/10/2019



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14 OCT 2019  
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REV.	AMENDMENT	DATE
2	issued for planning	14/10/2019
1	issued for planning	5/10/2019




john chisholm design


BUILDING DESIGN & VISUALISATION

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BUILDING DESIGNERS ASSOCIATION  
OF WESTERN AUSTRALIA INC.

Project:

New Residence  
62 sewell st  
east fremantle

Drawing:

Elevations

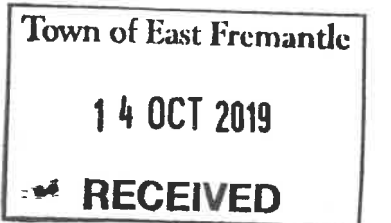
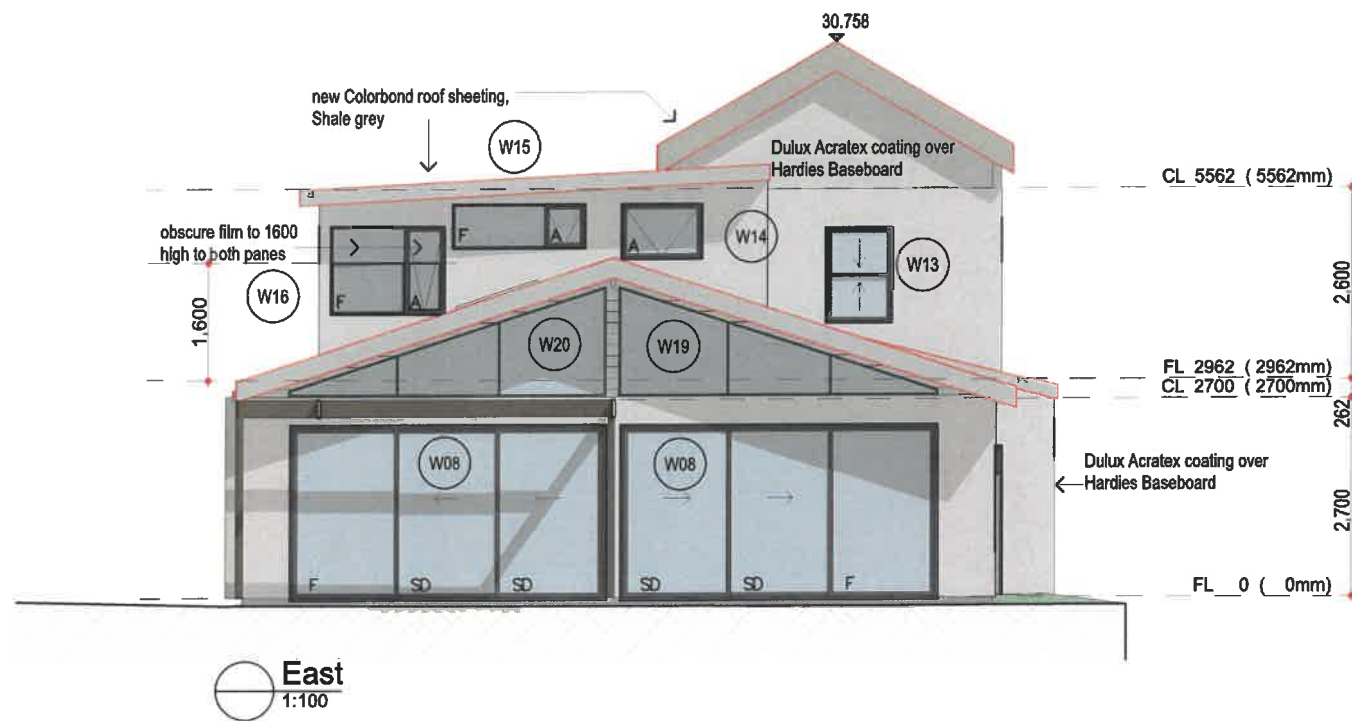
2	issued for planning	14/10/2019
1	issued for planning	5/10/2019
REV.	AMENDMENT	DATE

Date:	14/10/2019	Drwn:	jc
Job No:	1936	Dwg No.:	A301
The builder must verify all dimensions on site before commencing any work or shop dwgs.			

Rev

2

## planning







### Town of East Fremantle

14 OCT 2019

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planning

14/10/2019



1  
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2  
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Town of East Fremantle  
14 OCT 2019  
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REV.	AMENDMENT	DATE
2	issued for planning	14/10/2019
1	issued for planning	5/10/2019

Date: 14/10/2019	Drwn: jc	Rev 2
Job No: 1936	Dwg No.:	
The builder must verify all dimensions on site before commencing any work or shop dwgs.		



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ASSOCIATION  
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DESIGNERS

BUILDING DESIGNERS ASSOCIATION OF WESTERN AUSTRALIA INC.

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m. 0408 833 399

jc@jonchisholm.com

www.jonchisholm.com

john chisholm design  
environmental • heritage • contemporary

Main Feature wall – Mortlock Timber Ironbark Bandsawn faced Trendplank cladding.



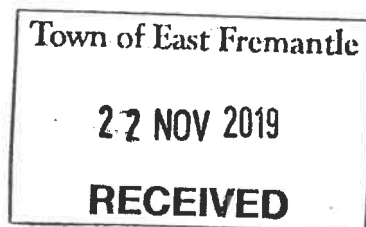
Front Garage wall –  
Austal Bricks Burlesque Majestic Grey or Midland Brick Estilio Blanco



Main walls clad with Buildit Eco insulating Orange board – Dulux Acratex in  
Lexicon

Lexicon™

Window frames in Colorbond Monument



Front Boundary Wall from Natural local limestone



**11.4 Oakover Street No 18 (Lot 15) Approval subsequent to development of patio**

<b>Owner</b>	Christopher Rowett
<b>Applicant</b>	Christopher Rowett
<b>File ref</b>	P089/19; OAK18
<b>Prepared by</b>	James Bannerman Planning Officer
<b>Supervised by</b>	Andrew Malone, Executive Manager Regulatory Services
<b>Meeting date</b>	3 December 2019
<b>Voting requirements</b>	Simple Majority
<b>Documents tabled</b>	Nil
<b>Attachments</b>	<ol style="list-style-type: none"><li>1. Location plan</li><li>2. Site photos</li><li>3. Place record form</li><li>2. Plans date stamped 25 October 2019</li></ol>

**Purpose**

Council is to consider a planning application for approval of a patio subsequent to development at No 18 (Lot 18) Oakover Street, East Fremantle.

**Executive Summary**

The applicant is seeking Council approval for a patio subsequent to development. The works have already been completed.

It is considered that the development can be supported subject to conditions of planning approval being imposed.

**Background**

Zoning: Residential R12.5  
Site area: 674m<sup>2</sup>

Previous Decisions of Council and/or History of an Issue or Site

Development application P30/12 for alterations and additions lodged 23 February 2012, but withdrawn 28 February 2012

**Consultation**

Advertising

The application was supported by the southern neighbouring property at 20 Oakover Street.

Community Design Advisory Committee (CDAC)

The application was not referred to CDAC as it has no streetscape impacts.

**Statutory Environment**

*Planning and Development Act 2005*

*Residential Design Codes of WA*

*Town of East Fremantle Local Planning Scheme No. 3 (LPS No. 3)*

**Policy Implications**

*Town of East Fremantle Residential Design Guidelines 2016 (as amended)*



## Financial Implications

Nil

## Strategic Implications

The Town of East Fremantle Strategic Community Plan 2017 – 2027 states as follows:

### Built Environment

*Accessible, well planned built landscapes which are in balance with the Town's unique heritage and open spaces.*

- 3.1 Facilitate sustainable growth with housing options to meet future community needs.*
  - 3.1.1 Advocate for a desirable planning and community outcome for all major strategic development sites.*
  - 3.1.2 Plan for a mix of inclusive diversified housing options.*
- 3.2 Maintaining and enhancing the Town's character.*
  - 3.2.1 Ensure appropriate planning policies to protect the Town's existing built form.*
- 3.3 Plan and maintain the Town's assets to ensure they are accessible, inviting and well connected.*
  - 3.3.1 Continue to improve asset management practices.*
  - 3.3.2 Optimal management of assets within resource capabilities.*
  - 3.3.3 Plan and advocate for improved access and connectivity.*

### Natural Environment

*Maintaining and enhancing our River foreshore and other green, open spaces with a focus on environmental sustainability and community amenity.*

- 4.1 Conserve, maintain and enhance the Town's open spaces.*
  - 4.1.1 Partner with Stakeholders to actively protect, conserve and maintain the Swan River foreshore.*
  - 4.1.2 Plan for improved streetscapes parks and reserves.*
- 4.2 Enhance environmental values and sustainable natural resource use.*
  - 4.2.1 Reduce waste through sustainable waste management practices.*
- 4.3 Acknowledge the change in our climate and understand the impact of those changes.*
  - 4.3.1 Improve systems and infrastructure standards to assist with mitigating climate change impacts.*

### Risk Implications

Risk	Risk Likelihood (based on history & with existing controls)	Risk Impact / Consequence	Risk Rating (Prior to Treatment or Control)	Principal Risk Theme	Risk Action Plan (Controls or Treatment proposed)
That Council does not approve the proposed development resulting in a SAT appeal	Possible (3)	Minor (2)	Moderate (5-9)	COMPLIANCE Some temporary non-compliances	Accept Officer Recommendation

### Risk Matrix

Consequence Likelihood		Insignificant	Minor	Moderate	Major	Extreme
		1	2	3	4	5
Almost Certain	5	Moderate (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Moderate (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Moderate (6)	Moderate (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Moderate (6)	Moderate (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Moderate (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; occupational health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating is provided below. Any items with a risk rating over 16 will be added to the Risk Register, and any item with a risk rating over 16 will require a specific risk treatment plan to be developed.

Risk Rating	6
Does this item need to be added to the Town's Risk Register	No
Is a Risk Treatment Plan Required	No

### Site Inspection

A site inspection was undertaken.



## **Comment**

### Statutory Assessment

The proposal was assessed against the provisions of Local Planning Scheme No. 3, the Town's Local Planning Policies including the Residential Design Guidelines, as well as the Residential Design Code. A summary of the assessment is provided in the following tables.

<b>Legend</b> (refer to tables below)	
A	Acceptable
D	Discretionary
N/A	Not Applicable

### Residential Design Codes Assessment

Design Element	Required	Proposed	Status
Street Front Setback			N/A
Secondary Street Setback			N/A
Lot boundary setbacks			
<u>North</u>	1.0m	3.7m	A
<u>East</u>	6.0m	7.5m	A
<u>South</u>	1.0m	5.7m	A
Open Space	55%	>50%	A
Building Height			
Wall height	6m	2.75m	A
Roof height	9m	3.7m	A
Setback of Carport			N/A
Car Parking			N/A
Site Works	Less than 500mm		N/A
Retaining Wall	Less than 500mm		N/A
Overshadowing	≤25%	<25%	A
Drainage	On-site	To be conditioned	A

### Local Planning Policies Assessment

LPP Residential Design Guidelines Provision	Status
3.7.2 Additions and Alterations to Existing Buildings	A
3.7.3 Development of Existing Buildings	A
3.7.4 Site Works	N/A
3.7.5 Demolition	N/A
3.7.6 Construction of New Buildings	N/A
3.7.7 Building Setbacks and Orientation	A
<b>3.7.8 Roof Form and Pitch</b>	<b>D</b>
3.7.9 Materials and Colours	A
3.7.10 Landscaping	N/A
3.7.11 Front Fences	N/A
3.7.12 Pergolas	N/A
3.7.13 Incidental Development Requirements	N/A
3.7.14 Footpaths and Crossovers	N/A
3.7.15.3 Garages and Carports	N/A
3.7.15.4.3.3 Fremantle Port Buffer Area	N/A

#### Heritage

The subject property is listed as Category B property on the Municipal Heritage List. The works are located to the rear of the property and are considered to have no significant heritage impact.

#### Comment

This development application deals with a patio that has already been constructed. Approval subsequent to development is being sought by the owner of the subject property. One variation is requested to the requirements of the Residential Design Guidelines. There has been one submission from a neighbouring property (20 Oakover Street) in support of the development.

The Residential Design Guidelines requires a pitch of between 28 and 36 degrees under acceptable development clause 3.7.8.3 A1. Part of the patio has a roof pitch of 8 degrees. Although the patio roof does not match the original roof pitch it positively contributes to the existing dwelling in accordance with performance criteria clause 3.7.8.3 P1 of the Residential Design Guidelines. As such this variation can be supported.

The structure is hidden behind the existing dwelling and cannot be seen from the front of the property. There are generous setbacks from the side and rear boundaries and there are no amenity impacts on surrounding properties from this development. The dwelling is a category B heritage listed property, however, the works that were undertaken are relatively minor and do not detract from the heritage characteristics of the building. For these reasons the development can be supported.

#### **Conclusion**

The approval of the application for development approval subsequent to works being carried out is at the discretion of Council. The development application is recommended for approval subject to conditions.

#### **11.4 OFFICER RECOMMENDATION**

**That Council grants subsequent development approval and exercises its discretion in regards to the following;**

- (i) Clause 3.7.8.3 – Residential Design Guidelines – Roof Pitch – 28 to 36 degrees required, 8 degrees provided**

**for a patio at No. 18 (Lot 15) Oakover Street, East Fremantle, in accordance with the plans date stamped received 25 October 2019, subject to the following conditions:**

- (1) The works are to be constructed in conformity with the drawings and written information accompanying the application for planning approval other than where varied in compliance with the conditions of this planning approval or with Council's further approval.**
- (2) The Building Permit shall be in compliance with the conditions of this planning approval unless otherwise amended by Council.**
- (3) With regard to the plans submitted with respect to the Building Permit application, changes are not to be made in respect of the plans which have received planning approval, without those changes being specifically marked for Council's attention.**
- (4) All stormwater is to be disposed of on site, an interceptor channel installed if required and a drainage plan be submitted to the satisfaction of the Chief Executive Officer in consultation with the Building Surveyor prior to the issue of a Building Permit.**
- (5) If requested by Council within the first two years following installation, the roofing to be treated to reduce reflectivity. The treatment to be to the satisfaction of the Chief Executive Officer in consultation with relevant officers and all associated costs to be borne by the owner.**

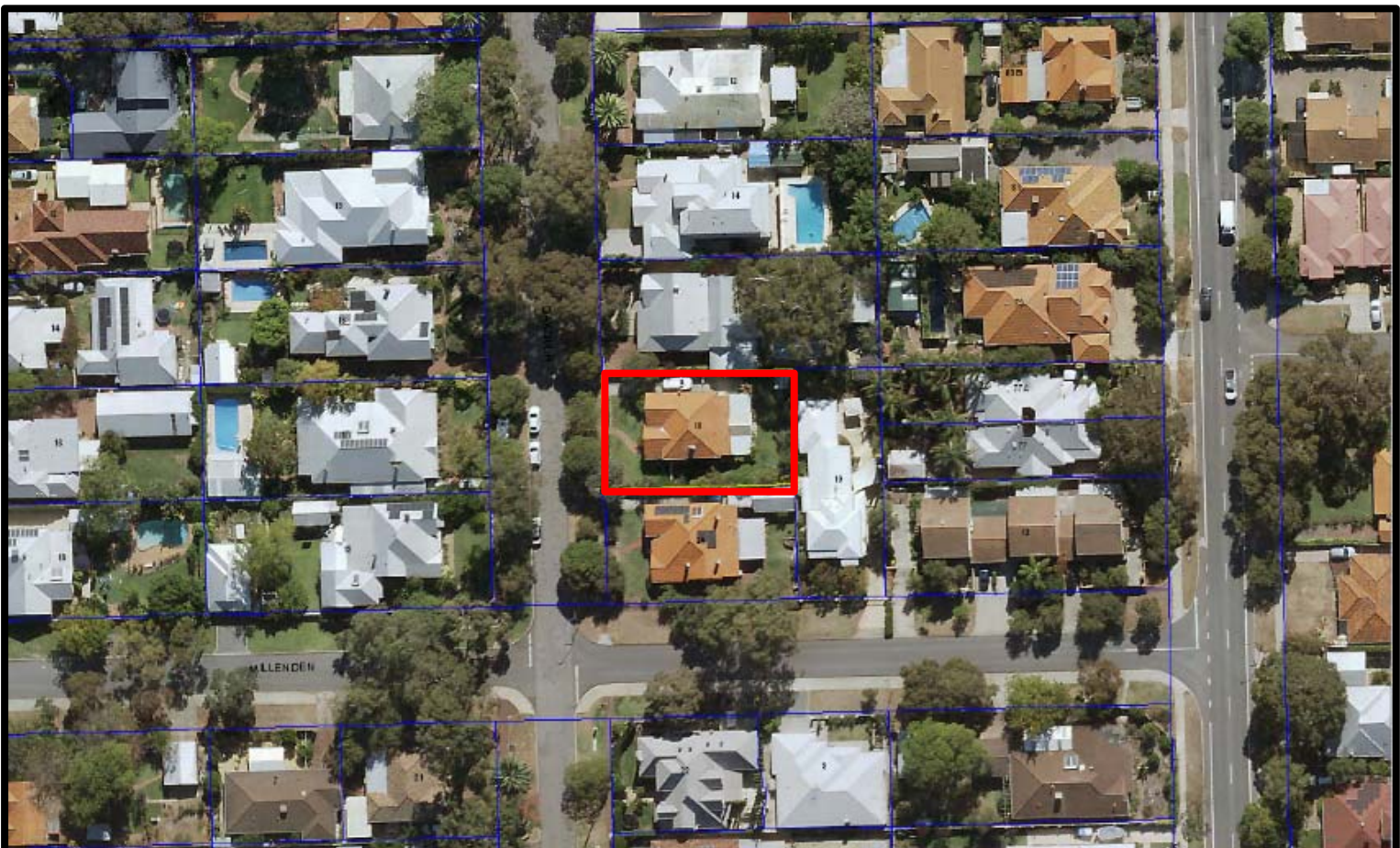
- (6) All introduced filling of earth to the lot or excavated cutting into the existing ground level of the lot, either temporary or permanent, shall be adequately controlled to prevent damage to structures on adjoining lots or in the case of fill, not be allowed to encroach beyond the lot boundaries. This shall be in the form of structurally adequate retaining walls and/or sloping of fill at the natural angle of repose and/or another method as approved by the Town of East Fremantle.
- (7) Where this development requires that any facility or service within a street verge (street trees, footpath, crossover, light pole, drainage point or similar) is to be removed, modified or relocated then such works must be approved by Council and if approved, the total cost to be borne by the applicant. Council must act reasonably and not refuse any reasonable proposal for the removal, modification or relocation of such facilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (8) This planning approval is to remain valid for a period of 24 months from date of this approval.

**Footnote:**

*The following are not conditions but notes of advice to the applicant/owner:*

- (i) *this decision does not include acknowledgement or approval of any unauthorised development which may be on the site.*
- (ii) *a copy of the approved plans as stamped by Council are attached and the application for a Building Permit is to conform with the approved plans unless otherwise approved by Council.*
- (iii) *it is recommended that the applicant provides a Structural Engineer's dilapidation report, at the applicant's expense, specifying which structures on adjoining sites may be adversely affected by the works and providing a record of the existing condition of the structures. Two copies of each dilapidation report should be lodged with Council and one copy should be given to the owner of any affected property.*
- (iv) *all noise levels produced by the construction of the development are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).*
- (v) *matters relating to dividing fences are subject to the Dividing Fences Act 1961.*

## NO. 18 (LOT 15) OAKOVER STREET – P089/19 – SUBSEQUENT APPROVAL FOR PATIO – CATEGORY B









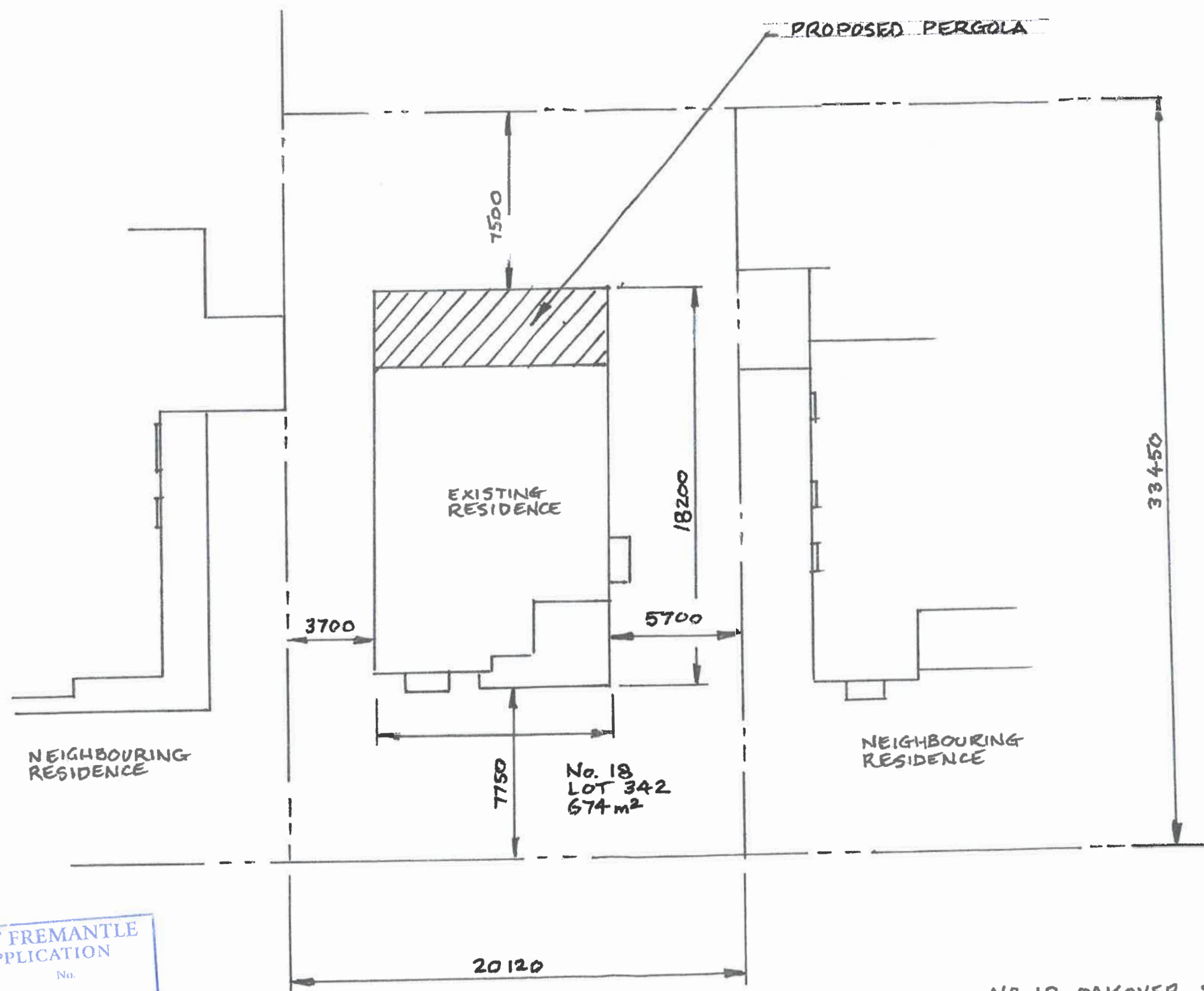
## PLACE RECORD FORM



PRECINCT	Woodside
ADDRESS	18 Oakover Street
PROPERTY NAME	N/A
LOT NO	Lot 342
PLACE TYPE	Residence
CONSTRUCTION DATE	C 1937
ARCHITECTURAL STYLE	Inter-War California Bungalow
USE/S	Original Use: Residence/ Current Use: Residence
STATE REGISTER	N/A
OTHER LISTINGS	N/A
MANAGEMENT CATEGORY	Category B
PHYSICAL DESCRIPTION	<p>No 18 Oakover Street is a single storey constructed in brick and rendered brick with a hipped and gable tiled roof. It is asymmetrically composed with a thrust gable and a gabled roofed porch. The porch is supported on square columns set on battered piers. A rendered balustrade spans between the posts. The porch sits proud of the remainder of the house. The half-timbered gable bay features a set of casement windows and a sunhood. The entry door is located on the south elevation under the porch. There is a porthole light into the entrance hall and a further lunette light beside the front door. The roofscape features masonry chimneys and finials.</p>

	<p>The place retains its form and most of its details. There are additions to the rear. The lot has been subdivided and a residence built to the rear. The rear house addresses Millenden Street</p> <p>The place is consistent with the building pattern in the Precinct. The place plays an important role in the pattern of development of a middle class suburb.</p>
HISTORICAL NOTES	<p>Woodside is a relatively cohesive precinct where most of the places were constructed following the subdivision of W.D. Moore's Estate commencing in 1912. Most of the lots were sold between 1912 and 1929 and the majority of buildings were completed in this time. Residences were substantial and of various Federation period styles distinguishing the area from the small worker's cottages of Plympton. The Inter-War Californian Bungalow style residence is also represented in Woodside.</p> <p>The Woodside Precinct remains largely intact in terms of original housing with little infill subdivision or replacement housing.</p>
OWNERS	Unknown
HISTORIC THEME	Demographic Settlements - Residential Subdivision
CONSTRUCTION MATERIALS	<p>Walls – Brick and rendered brick</p> <p>Roof – Tiles</p>
PHYSICAL SETTING	The residence is on a flat lot with a lawned garden. There is no formal finish to the lot boundary.
STATEMENT OF SIGNIFICANCE	<p>No 18 Oakover Street is a single storey house constructed in brick and rendered brick with a tiled roof. It has historic and aesthetic value for its contribution to Woodside's high concentration of predominantly Federation period houses and associated buildings. The place contributes to the local community's sense of place.</p> <p>The place has considerable aesthetic value as an Inter-War California Bungalow. The place retains a moderate to high degree of authenticity and a high degree of integrity.</p> <p>The additions and house to the rear have no significance.</p>
AESTHETIC SIGNIFICANCE	No 18 Oakover Street has considerable aesthetic value as an Inter-War California Bungalow. It retains most of the characteristic features of a dwelling of the type and period.
HISTORIC SIGNIFICANCE	No 18 Oakover Street has some historic value. It was part of the suburban residential development associated with the expansion of East Fremantle and the subdivision of W. D. Moore's Woodside Estate from 1912.
SCIENTIFIC SIGNIFICANCE	N/A
SOCIAL SIGNIFICANCE	No 18 Oakover Street has some social value. It is associated with a significant area of middle class Federation and Inter-War period development which contributes to the community's sense of place.
RARITY	No 18 Oakover Street is not rare in the immediate context but Woodside has rarity value as a cohesive middle class suburb.
CONDITION	No 18 Oakover Street is in good condition.
INTEGRITY	No 18 Oakover Street retains a high degree of integrity.
AUTHENTICITY	No 18 Oakover Street retains a moderate to high degree of authenticity.
MAIN SOURCES	





*D. Mather*  
 Darren Mather BE MIEAust  
 InStruct  
 Consulting Engineers

TOWN OF EAST FREMANTLE  
 PLANNING APPLICATION  
 No.  
 DATE  
 25 OCT 2019 P 089-19  
**RECEIVED**

← NORTH

SITE PLAN SCALE 1:200

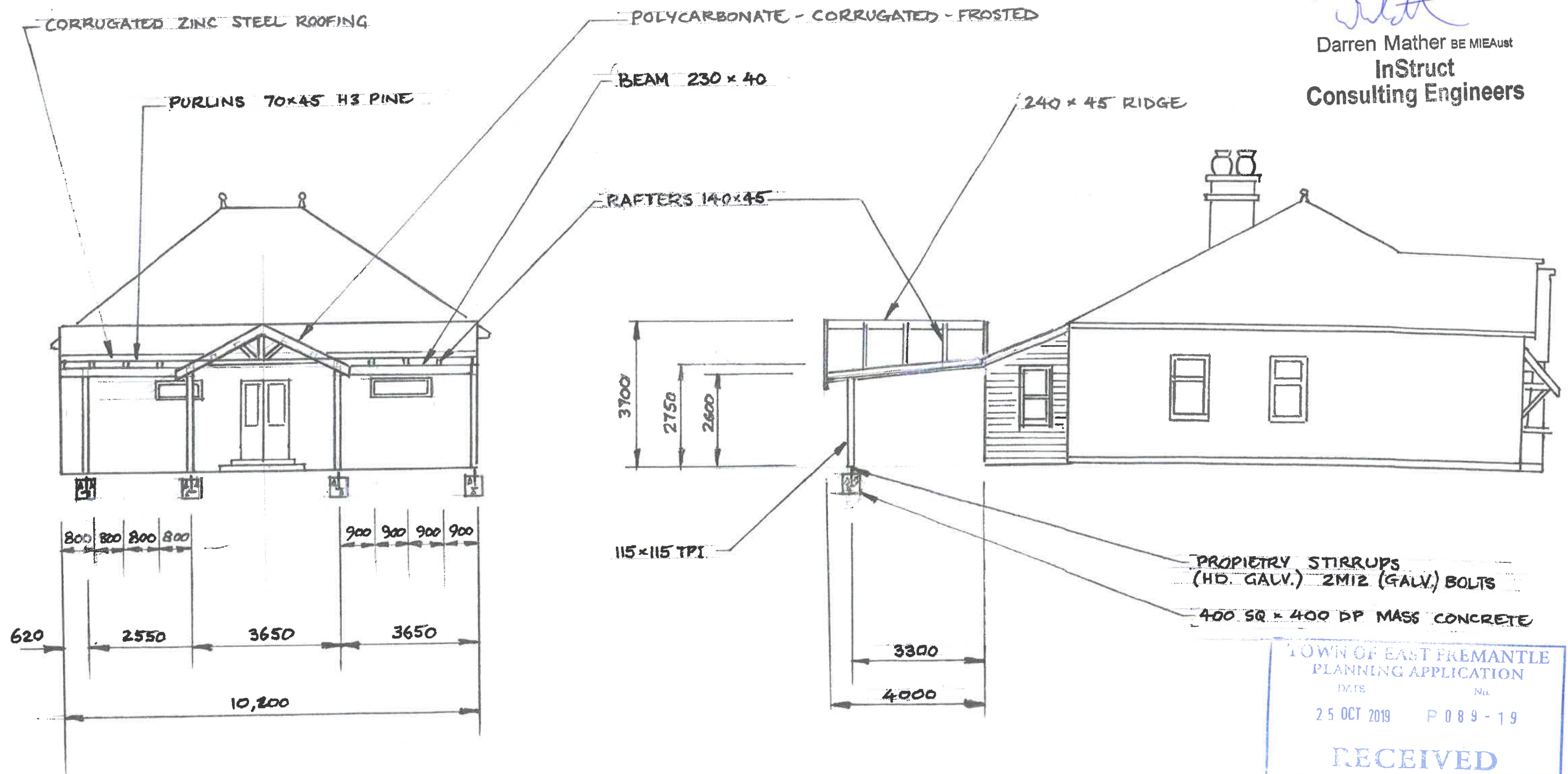
No 18 OAKOVER ST  
 EAST FREMANTLE  
 LOT 342  
 DRAWN - C. RAWETT 21st OCT. 2019

InStruct Consulting Engineers

Project 191004

Dwg SK1

PERGOLA DETAIL  
for  
NO 18 OAKOVER STREET  
EAST FREMANTLE  
for  
JANE AND CHRIS ROWETT  
DRAWN - C. ROWETT 21st OCT. 2019

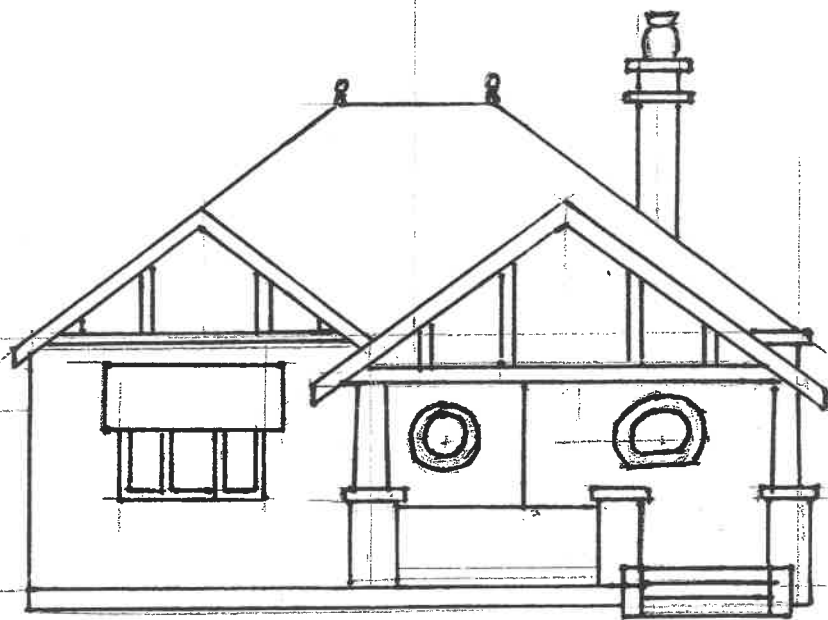


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FRONT  
WEST ELEVATION

**11.5 Canning Highway No 101 (Lot 4274) Proposed conservation and adaptation works**

<b>Owner</b>	Main Roads Western Australia
<b>Applicant</b>	Element
<b>File ref</b>	P078/19; CAN101
<b>Prepared by</b>	James Bannerman Planning Officer
<b>Supervised by</b>	Andrew Malone, Executive Manager Regulatory Services
<b>Meeting date</b>	3 December 2019
<b>Voting requirements</b>	Simple Majority
<b>Documents tabled</b>	Nil
<b>Attachments</b>	<ol style="list-style-type: none"><li>1. Location plan</li><li>2. Site photographs</li><li>3. Place record form</li><li>4. Plans date stamped 3 October 2019</li></ol>

**Purpose**

This purpose of this report is for Council to consider a planning application for proposed conservation and adaptation works at No 101 (Lot 4274) Canning Highway, East Fremantle.

**Executive Summary**

The applicant is seeking Council approval for proposed conservation and adaptation works to the former East Fremantle Post Office. The building is Category A heritage listed at State and Town level and is subject to a heritage agreement being signed between the Heritage Council and the applicant. It is intended to house a real estate office once the works are completed.

It is considered that the proposed development can be supported subject to conditions of planning approval being imposed.

**Background**

Zoning: Town Centre

Site area: 683m<sup>2</sup>

Previous Decisions of Council and/or History of an Issue or Site

Nil

**Consultation**

Advertising

The application was advertised to surrounding land owners 10 October to 25 October 2019. No submissions were received.

Community Design Advisory Committee (CDAC)

The application was referred to CDAC. The Committee made the following recommendations;

(a) *The overall built form merits;*

- The Committee is generally supportive of the development under the current proposal.
- The committee note the addition (boundary wall height) is locational specific and generally would not be supported in other locations.

- (b) *The quality of architectural design including its impact upon the heritage significance of the place and its relationship to adjoining development.*
- The Committee note the inclusion of artwork in the design. The art work ie the postman should pay homage to the site's past as the Old East Fremantle Post Office, be of a quality material and finish and continue the story of the building.
- (c) *The relationship with and impact on the broader public realm and streetscape;*
- The Committee state that given the development's location in close proximity to other significant heritage buildings, the works are appropriate in terms of character with the immediate locality.
- (d) *The impact on the character of the precinct, including its impact upon heritage structures, significant natural features and landmarks;*
- The Committee commented that the choice of corrugated iron is an interesting interpretation of use of materials, however, the committee suggested that a cautionary approach with the use material should be undertaken to ensure the highest standard of finish and design are achieved.
- (e) *The extent to which the proposal is designed to be resource efficient, climatically appropriate, responsive to climate change and a contribution to environmental sustainability;*
- No comment.
- (f) *The demonstration of other qualities of best practice urban design including "Crime Prevention" Through Environmental Design performance, protection of important view corridors and lively civic places;*
- The Committee note the extensive amount of current graffiti on the building and suggest the applicant where possible utilise sympathetic measures to improve passive surveillance and reduce anti-social behaviour.

#### Officer Comment

CDAC's comments are noted. The refurbishment of the building will be subject to a heritage agreement between the applicant and the Heritage Council to ensure that development is in accordance with best practice for heritage conservation and adaptation. In terms of crime prevention, security lighting and the requirement to clean up graffiti promptly have been included as conditions in the final recommendation.

#### Environmental Health Officer Comment

The Environmental Health Officer visited the subject property and made the following comments;

- (a) Please note that a recent site visit and examination of the DA plans revealed the existence of façade cladding materials containing asbestos.
- (b) The plans indicate some asbestos to be dealt with appropriately, not sure if it completely covers the removal requirements under WorkSafe or WA Health Regulations.
- (c) The attached images show the condition of the asbestos façade cladding some of it breeched and some of it painted and some of it not painted or may not contain asbestos.
- (d) Broken fragments of cladding can be found under the building are require removal. Does the 'building owner' have plans to address this soon?
- (e) The 'conservation/demolition' plan should be more descriptive of the management of asbestos removal and the use of an unrestricted asbestos removal contractor.



- (f) The design mentions accessibility to building and sanitary facilities under the appropriate Australian Standards.
- (g) Lighting is a matter for the building certifier under NCC.
- (h) Temporary storage of waste receptacles needs to be indicated as does the management of storm water retention on-site.

#### External Consultation

The application was referred to the Heritage Council. The following advice was received;

#### Heritage Council

##### **Findings**

- *East Fremantle Post Office is a part of Public Buildings, East Fremantle, which is significant as a notable landmark with strong aesthetic value, with the former East Fremantle Post and Telegraph Office occupying a prominent location at the corner of Canning and Stirling Highways.*
- *The post office building as a whole, its civic setting, brick and stucco walls, timber windows and doors and original treatments, roof, chimney, evidence of original form (including loggias and rear verandah) and layout, timber cladding to rear verandah, plastered walls, fireplaces, floorboards, timber staircase and lathe & plaster ceilings are identified as considerable significance in the Conservation Plan (2010). The archaeological sites of former laundries, toilets and garages to the rear are of some significance.*
- *The proposed works demonstrate a sound conservation approach and are consistent with the Conservation Plan policies. The retention of the rear verandah and former front loggia areas as office space will not have a detrimental impact on the significance and fabric. The proposed additions to the rear are considered to be sympathetic, and will not have an adverse impact on the setting.*
- *Overall the proposed adaptive reuse of the former East Fremantle Post Office will have a positive impact on the cultural significance of Public Buildings, East Fremantle.*

##### **Advice**

*The proposed development, in accordance with the plans submitted, is supported subject to the following conditions:*

1. *An historical archaeologist is to be consulted on the potential for impact to remaining sub-surface evidence of former use, and advise on an appropriate management strategy, prior to any disturbance works occurring.*
2. *The following further information shall be provided for consideration prior to the application for a building permit:*
  - a. *Method for raising FFL to extension.*
  - b. *Wiring and fixing to sign, and potential impact on original lettering.*
  - c. *Detail on air conditioning (location of bulkheads only shown on drawings) and other service.*

##### **Statutory Environment**

*Planning and Development Act 2005*

*Residential Design Codes of WA*

*Town of East Fremantle Local Planning Scheme No. 3 (LPS No. 3)*

## Policy Implications

*Town of East Fremantle Residential Design Guidelines 2016 (as amended)*

## Financial Implications

Nil

## Strategic Implications

The Town of East Fremantle Strategic Community Plan 2017 – 2027 states as follows:

### Built Environment

*Accessible, well planned built landscapes which are in balance with the Town's unique heritage and open spaces.*

- 3.1 *Facilitate sustainable growth with housing options to meet future community needs.*
  - 3.1.1 *Advocate for a desirable planning and community outcome for all major strategic development sites.*
  - 3.1.2 *Plan for a mix of inclusive diversified housing options.*
- 3.2 *Maintaining and enhancing the Town's character.*
  - 3.2.1 *Ensure appropriate planning policies to protect the Town's existing built form.*
- 3.3 *Plan and maintain the Town's assets to ensure they are accessible, inviting and well connected.*
  - 3.3.1 *Continue to improve asset management practices.*
  - 3.3.2 *Optimal management of assets within resource capabilities.*
  - 3.3.3 *Plan and advocate for improved access and connectivity.*

### Natural Environment

*Maintaining and enhancing our River foreshore and other green, open spaces with a focus on environmental sustainability and community amenity.*

- 4.1 *Conserve, maintain and enhance the Town's open spaces.*
  - 4.1.1 *Partner with Stakeholders to actively protect, conserve and maintain the Swan River foreshore.*
  - 4.1.2 *Plan for improved streetscapes parks and reserves.*
- 4.2 *Enhance environmental values and sustainable natural resource use.*
  - 4.2.1 *Reduce waste through sustainable waste management practices.*
- 4.3 *Acknowledge the change in our climate and understand the impact of those changes.*
  - 4.3.1 *Improve systems and infrastructure standards to assist with mitigating climate change impacts.*

### Risk Implications

Risk	Risk Likelihood (based on history & with existing controls)	Risk Impact / Consequence	Risk Rating (Prior to Treatment or Control)	Principal Theme Risk	Risk Action Plan (Controls or Treatment proposed)
That Council does not approve the proposed development	Possible (3)	Minor (2)	Moderate (5-9)	COMPLIANCE Minor regulatory or statutory impact	Accept Officer Recommendation

### Risk Matrix

Consequence Likelihood		Insignificant	Minor	Moderate	Major	Extreme
		1	2	3	4	5
Almost Certain	5	Moderate (5)	High (10)	High (15)	Extreme (20)	Extreme (25)
Likely	4	Low (4)	Moderate (8)	High (12)	High (16)	Extreme (20)
Possible	3	Low (3)	Moderate (6)	Moderate (9)	High (12)	High (15)
Unlikely	2	Low (2)	Low (4)	Moderate (6)	Moderate (8)	High (10)
Rare	1	Low (1)	Low (2)	Low (3)	Low (4)	Moderate (5)

A risk is often specified in terms of an event or circumstance and the consequences that may flow from it. An effect may be positive, negative or a deviation from the expected and may be related to the following objectives; occupational health and safety, financial, service interruption, compliance, reputation and environment. A risk matrix has been prepared and a risk rating is provided below. Any items with a risk rating over 16 will be added to the Risk Register, and any item with a risk rating over 16 will require a specific risk treatment plan to be developed.

Risk Rating	6
Does this item need to be added to the Town's Risk Register	No
Is a Risk Treatment Plan Required	No

### Site Inspection

A site inspection was undertaken.

## **Comment**

### Statutory Assessment

The proposal has been assessed against the provisions of Local Planning Scheme No. 3 and the Town Centre Redevelopment Guidelines. A summary of the assessment is provided in the following tables and a discussion of the key issues related to the proposed development is considered thereafter.

<b>Legend</b> (refer to tables below)	
<b>A</b>	Acceptable
<b>D</b>	Discretionary
<b>N/A</b>	Not Applicable

### Local Planning Scheme No 3

<b>Design Element</b>	<b>Required</b>	<b>Proposed</b>	<b>Status</b>
Clause 5.8.1 Building Setbacks	Nil setback to Stirling Highway Primary Regional roads reservation	Covered deck to be constructed with nil setback	A
Clause 5.8.2 Building Height	Wall height 8m Overall height 10.5m	Covered deck maximum height 4.6m	A
Clause 5.8.3 Plot ratio	0.5:1	Not relevant- existing heritage building, open deck not included in plot ratio	A
<b>Clause 5.8.4 Design and Landscaping</b>	<b>Landscaping plan required</b>	<b>Requested to be included as a condition of development approval</b>	<b>D</b>
Clause 5.6.1 Car Parking		3 car bays previously approved	N/A

### Town Centre Redevelopment Guidelines

<b>Design Element</b>	<b>Required</b>	<b>Proposed</b>	<b>Status</b>
Urban Structure	Provide for pedestrian connections in accordance with Plans 3 & 4	Footpath along Canning Highway	A
	Maintain current degree of vehicle permeability	No change in current street network, access to site for vehicles via easement at rear	A
Land Use	Development shall incorporate commercial and minimum of 40% multiple dwellings and/or short stay accommodation	No residential component, previously approved as office	N/A
Building Form, Scale and Height	Plot ratio limit of 3.0	No changes to existing plot ratio	N/A
	Maximum height of 3 storeys	No change to height of existing building, rear deck is below existing building	A
Occupant Amenity	R160 requirements	No residential component	N/A
Street Interface	66% glazing	No change in openings of existing building	N/A



	Primary entrance to street	Primary entrance to street	A
	Built up to street	Existing building- built up to street	A
	Street elevations utilise 2 materials	Existing building	N/A
	Service areas screened or located away from view	Bins located at rear of building	A
Pedestrian Amenity	Awning or canopy to be provided for pedestrian protection	Existing building	N/A
	<b>Development should follow Crime Prevention Through Environmental Design Principles</b>	<b>Existing building- security lighting to be conditioned</b>	<b>D</b>
	Development to meet Building Code requirements for universal access	Building Code requirements	A
	Provide for pedestrian connections in accordance with Plans 3 & 4	Footpath along Canning Highway	A
Vehicle Movement and Access	Utilise shared surfaces, raised plateaus and other traffic management design devices	No change in surrounding roads proposed	A
	New development limited to one crossover per street	Access via rear easement	A
	<b>Compliance with MRWA requirements</b>	<b>Referral made- will be conditioned accordingly</b>	<b>D</b>
Vehicle Parking	Out of sight	Previously approved at rear	A
	Bicycle storage - 1 per 60m <sup>2</sup>	Minimum of 5 bicycle spaces required	A
	End of trip facilities >250m <sup>2</sup>	250m <sup>2</sup>	N/A
	Car parking in accordance with LPS3	Previously approved	N/A
Landscaping	Landscape and street furnishings in the public domain shall be approved by the ToEF	Landscaping and artwork is within boundaries of the property	A
	Public art required for development >\$2M	Not required but provided	A
	Developments > 1000m <sup>2</sup> require public toilets	<1000m <sup>2</sup> – public toilets not required	A
	Street trees – 1 per linear 15m	1 tree to be planted in front of property	A
Resource Conservation	Development shall exceed energy efficiency requirements of Building Code	Subject to Building Permit	A
	Commercial development shall achieve a NABERS rating of at least 3.5 stars	Subject to Building Permit	A
Signage and Services	Signage to comply with ToEF Signage Policy	Single illuminated sign proposed for north and west of property	Condition
	Solar panels to comply with ToEF requirements	No solar panels indicated on plans	Condition



	Services to be hidden or screened from view	Services to be hidden or screened from view	Condition
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This development application proposes alterations and additions to a State and Town listed Category A heritage property that formerly operated as the East Fremantle Post Office and an antiques store. It is considered a good example of Federation Free Classical style of architecture and is one of a group of heritage dwellings in the area including the old Police Station, Council's administration building and Dovenby House. Located at the intersection of Canning Highway and Stirling Highway the building is currently vacant. The building is required to be modified to ensure it can serve as a real estate office. There is currently an existing development approval in place for the property which provided for conservation works, additions and alterations and a change of use from shop to office. This application builds on this approval to further adapt the building for its planned use as a commercial office.

The following changes are proposed;

- Bicycle and car parking
- Colorbond fencing along southern boundary
- Landscaping and installation of artwork
- Construction of new deck area
- Removal of steel bars from windows
- Removal of asbestos from rear verandah
- New disabled access ramp
- Removal of paint
- New signage
- Addition of kitchen, offices and meeting room
- Modifications to toilets
- Raising the verandah floor

The proposed development is almost fully compliant with Local Planning Scheme No 3 and the Town Centre Redevelopment Guidelines. There are a number of conditions that have been included in the recommendation that are intended to ensure that key elements of both LPS No3 and the Town Centre Redevelopment Guidelines are adhered to.

#### Heritage- Category A

The property is heritage listed with a Category A listing on the State heritage register and the Town's heritage list. The proposed works compliment, rather than detract from the heritage qualities of this building. The new additions are largely concentrated to the rear of the building while there are significant changes to the interior which retain the heritage features, but ensure that the building can be utilised as a contemporary office that is compliant with building code requirements. Each element of the proposed additions does not detract from the heritage characteristics, but rather enhances the heritage property and the surrounding heritage properties.

The works proposed for the building are considered appropriate given the current vacant status of the building and its location at a busy traffic intersection. The works are minimalist in nature in terms of retaining and conserving the existing heritage building and ensuring that an appropriate commercial use is undertake on site. The additions to the rear are contemporary in design and ensure that the existing heritage building and the new deck area can be easily distinguished in line with modern heritage practices.

The advice and conditions that were provided by the Heritage Council will be included as conditions in the officer's recommendations.

#### Zoning

The site is zoned urban under the MRS and Town Centre under the Town's Local Planning Scheme No 3 which is designed to facilitate a number of commercial uses.

Part of the site is reserved for primary regional roads under the MRS as are sections of both Canning and Stirling Highway that abut the site. This application does not propose any works within the reserved portion of the site nor any direct vehicle access to either Canning or Stirling Highway.

#### Fremantle Ports Requirements

Fremantle Ports has insisted that the Area 2 Port Buffer requirements are included as conditions of the planning approval. These conditions have been noted and included as conditions in the final recommendation. The conditions include the following;

#### *Windows and Openings*

- (a) Any glass used for windows or other openings shall be laminated safety glass of minimum thickness of 6mm or "double glazed" utilising laminated or toughened safety glass of a minimum thickness of 3mm.
- (b) All safety glass shall be manufactured and installed to an appropriate Australian Standard.

#### *Air conditioning Systems*

- (a) All air conditioning systems shall incorporate the following features:
  - i) multiple systems to have internally centrally located shut down point and associated procedures for emergency use,
  - ii) preference for split "refrigerative" systems.

#### *Construction*

- (b) All developments shall incorporate roof insulation.

#### MRWA Requirements

Main Roads has no objections to the proposed development, however, they have requested that a condition is imposed that requires that all works undertaken within the Canning Highway and Stirling Highway road reserve has Main Roads approval. In addition 2 advice notes are to be included that require the applicant to submit an application via the Main Roads website and approvals will be required for structures such as scaffolding.

#### Landscaping

Given that the building is located at a prominent position on the corner of Stirling and Canning Highways and adjacent to other heritage buildings it is essential that the building has appropriate landscaping. It is located in an area that is dominated by hard built surfaces so landscaping will aid in softening the built environment and cooling the surrounding solid surfaces. A condition has been included that requires a landscape plan be submitted that is acceptable to the Town prior to the submission of an application for a building permit.

#### Crime Prevention Through Environmental Design

The proposal was assessed against the Town Centre Redevelopment Guidelines. As part of this it is necessary to ensure that appropriate measures are adopted to prevent crime in close proximity to the building. The two front entries are concealed from Canning Highway and the rear deck area and back entry so it is recommended that a condition be imposed that security lighting be installed in both front and rear areas as part of the development approval.

#### Environmental Health

It has been noted that cladding materials on the existing building are asbestos and that there is a considerable amount of asbestos waste at the bottom and sides of the building that should be removed as part of works that are proposed to be carried out on the building. As such it is necessary to ensure that such materials are removed safely by a licensed asbestos removal contractor, and all materials are disposed of at a licensed waste disposal facility. A condition will be included in the recommendation to achieve this.

It is also noted that that accessibility to the building, sanitary facilities and lighting should meet the requirements of the National Construction Code and/or the Australian Standards. This will be dealt with under the building permit. Waste disposal from the site during construction will also be dealt with under the building permit.

In terms of storm water a condition will be imposed as part of the planning conditions to ensure a storm water drainage and disposal plan is prepared prior to the issue of a building permit.

#### Signage and Services

Limited signage has been included in the development proposal. Given that it is a heritage building and it is also located on a very busy intersection it is appropriate that the limited signage proposed in this application be supported, however, a condition will be included in the final recommendation to require a development application be submitted for the Town's consideration for any other signage that is proposed.

Likewise a condition has been recommended that requires all wired and piped services such as air conditioning ducts and meter boxes to be screened or hidden from view to reduce visual amenity impacts from the street front.

A requirement to make a development application for solar panels has also been recommended on the basis that they will potentially be visible from properties on the northern side of Canning Highway and also because such additions may have an impact on the heritage characteristics of the building and will require the consideration of the State Heritage Office as well.

#### **Conclusion**

Based on the assessment that has been completed for this development and the explanation provided in this report, the proposed development is considered acceptable. As such it is recommended that the proposed development be supported subject to planning conditions.

#### **11.5 OFFICER RECOMMENDATION**

**That development approval is granted and discretion is exercised in regard to the following;**



for alterations and additions at No. 101 (Lot 4274) Canning Highway, East Fremantle, in accordance with the plans date stamped received 3 October 2019, subject to the following conditions:

- (1) Prior to lodging an application for a building permit, a detailed landscaping plan for the subject site must be submitted to and approved by the Town of East Fremantle and must include the location, number, size and species type of ground covers, shrubs and trees, any existing landscape areas to be retained and those areas to be upgraded, reticulated or irrigated.
- (2) An historical archaeologist is to be consulted on the potential for impact to remaining sub-surface evidence of former use, and advise on an appropriate management strategy, prior to any disturbance works occurring.
- (3) The following further information shall be provided for consideration prior to the application for a building permit:
  - (a) Method for raising FFL to extension.
  - (b) Wiring and fixing to sign, and potential impact on original lettering.
  - (c) Detail on air conditioning (location of bulkheads only shown on drawings) and other services.
- (4) The applicant must obtain approval from Main Roads before all works are undertaken within the Canning Highway and Stirling Highway road reserve.
- (5) Any glass used for windows or other openings shall be laminated safety glass of minimum thickness of 6mm or "double glazed" utilising laminated or toughened safety glass of a minimum thickness of 3mm.
- (6) All safety glass shall be manufactured and installed to an appropriate Australian Standard.
- (7) All air conditioning systems shall incorporate the following features:
  - (i) multiple systems to have internally centrally located shut down point and associated procedures for emergency use,
  - (ii) preference for split "refrigerative" systems.
- (8) All developments shall incorporate roof insulation.
- (9) All piped and wired services including air conditioners, hot water systems, water storage tanks and service meters are to be located to minimise visual impacts on the subject property.
- (10) All outdoor storage and bin areas must be screened from view from the front of the subject site.
- (11) Security lighting is to be installed inside the 2 front entry alcoves, above the rear building entry staircase and above the rear deck area. If requested by Council within the first two years following installation, the lighting is to be treated to reduce light intensity, glare, reflection and lighting spill over that may cause amenity impacts on surrounding properties. The treatment is to be to the satisfaction of the Chief Executive Officer in consultation with relevant officers and all associated costs to be borne by the owner.
- (12) The buildings and all other structures in the area between the buildings and the lot boundary including the street art, walls, gates and windows are to be kept clean and free of graffiti and vandalism at all times and any such graffiti or vandalism is to be remedied within 24 hours to the satisfaction of the Chief Executive Officer.
- (13) The approval does not include approval for solar panels. A proposal to install solar panels will require the submission of a development application for the consideration of the Town of East Fremantle, as well as an application for a building permit.
- (14) Approval has been granted for signage in accordance with the submitted plans date stamped 3 October 2019. Additional signage including sandwich boards, flags, banners, wall signage,

trailer signage and electronic signage will require the submission of a development application and consideration by the Town of East Fremantle.

- (15) Prior to lodging an application for a building permit, the applicant must submit and have approved by the Town of East Fremantle, and thereafter implement to the satisfaction of the Town of East Fremantle, a traffic management plan and a construction management plan addressing the following matters:
- (a) How materials and equipment will be delivered and removed from the site;
  - (b) How materials and equipment will be stored on the site
  - (c) Parking arrangements for contractors
  - (d) Construction waste disposal strategy and location of waste disposal bins including the removal of hazardous materials (asbestos) and disposal at an approved waste disposal facility in accordance with the requirements of the relevant legislation, codes, standards and guidelines, prior to the commencement of any building works;
  - (e) Details of cranes, large trucks or similar which may block public thoroughfares and roads during construction.
- (16) Prior to lodging an application for a building permit, the applicant must submit and have approved by the Town of East Fremantle, and thereafter implement to the satisfaction of the Town of East Fremantle a waste management plan. The plan shall include the following details to the satisfaction and specification of the Town of East Fremantle:
- (a) The location of the bin storage areas and bin collection areas;
  - (b) The number, volume and type of bins, and the type of waste to be placed in the bins;
  - (c) Details on the future ongoing management of the bins and the bin storage areas, including cleaning, rotation and moving bins to and from the bin collection areas; and
  - (d) Frequency of bin collections.
- (17) The works are to be constructed in conformity with the drawings and written information accompanying the application for planning approval other than where varied in compliance with the conditions of this planning approval or with Council's further approval.
- (18) The proposed works are not to be commenced until Council has received an application for a Building Permit and the Building Permit issued in compliance with the conditions of this planning approval unless otherwise amended by Council.
- (19) With regard to the plans submitted with respect to the Building Permit application, changes are not to be made in respect of the plans which have received planning approval, without those changes being specifically marked for Council's attention.
- (20) All stormwater is to be disposed of on site, an interceptor channel installed if required and a drainage plan be submitted to the satisfaction of the Chief Executive Officer in consultation with the Building Surveyor prior to the issue of a Building Permit.
- (21) If requested by Council within the first two years following installation, the roofing to be treated to reduce reflectivity. The treatment to be to the satisfaction of the Chief Executive Officer in consultation with relevant officers and all associated costs to be borne by the owner.
- (22) All introduced filling of earth to the lot or excavated cutting into the existing ground level of the lot, either temporary or permanent, shall be adequately controlled to prevent damage to structures on adjoining lots or in the case of fill, not be allowed to encroach beyond the lot boundaries. This shall be in the form of structurally adequate retaining walls and/or sloping of fill at the natural angle of repose and/or another method as approved by the Town of East Fremantle.

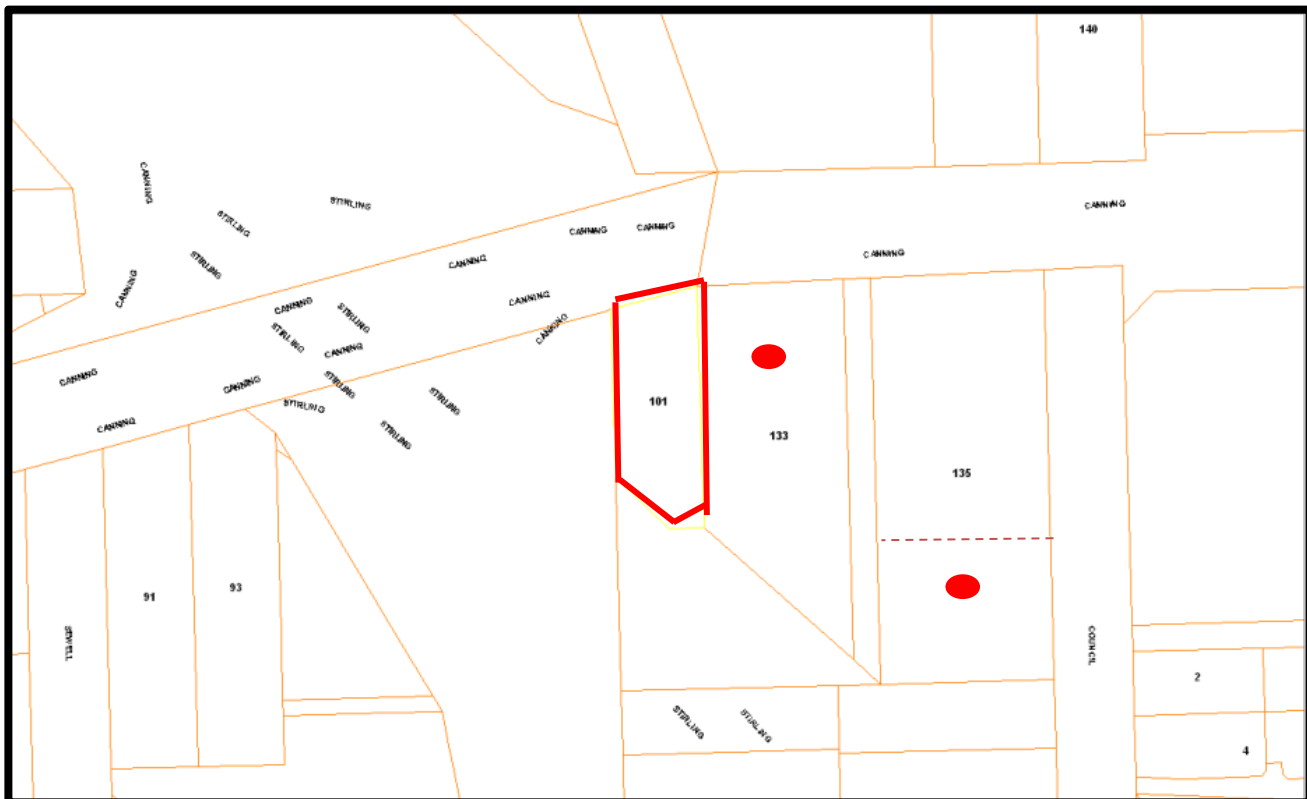
- (23) Where this development requires that any facility or service within a street verge (street trees, footpath, crossover, light pole, drainage point or similar) is to be removed, modified or relocated then such works must be approved by Council and if approved, the total cost to be borne by the applicant. Council must act reasonably and not refuse any reasonable proposal for the removal, modification or relocation of such facilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (24) This planning approval is to remain valid for a period of 24 months from date of this approval.

**Footnote:**

*The following are not conditions but notes of advice to the applicant/owner:*

- (i) this decision does not include acknowledgement or approval of any unauthorised development which may be on the site.*
- (ii) a copy of the approved plans as stamped by Council are attached and the application for a Building Permit is to conform with the approved plans unless otherwise approved by Council.*
- (iii) it is recommended that the applicant provides a Structural Engineer's dilapidation report, at the applicant's expense, specifying which structures on adjoining sites may be adversely affected by the works and providing a record of the existing condition of the structures. Two copies of each dilapidation report should be lodged with Council and one copy should be given to the owner of any affected property.*
- (iv) all noise levels produced by the construction of the development are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).*
- (v) matters relating to dividing fences are subject to the Dividing Fences Act 1961.*
- (vi) Further to condition (4) above, the applicant seeking access to the Main Roads network will be required to submit an application. Application kits can be found on the Main Roads website >"Our Roads" >"Conducting Works on Roads".*
- (vii) This above approval is required for such actions as using scaffolding in the road reserve.*

**NO. 101 (LOT 4274) CANNING HIGHWAY (formerly EAST FREMANTLE POST OFFICE) – P078/19  
CONSERVATION & ADAPTATION WORKS – CATEGORY A**









## PLACE RECORD FORM



PRECINCT	Town Centre
ADDRESS	101 Canning Highway
PROPERTY NAME	East Fremantle Post Office (former)
LOT NO	Lot 4274
PLACE TYPE	Former Post Office
CONSTRUCTION DATE	1901
ARCHITECTURAL STYLE	Federation Free Classical
USE/S	Original Use: Post Office/ Current Use: Vacant
STATE REGISTER	State Register P00789
OTHER LISTINGS	N/A
MANAGEMENT CATEGORY	Category A
PHYSICAL DESCRIPTION	<p>No 101 Canning Highway is part of <i>Public Buildings, East Fremantle</i>. The <i>Public Buildings, East Fremantle</i> provides a visual focal point for the Town with strong aesthetic value. The former East Fremantle Post Office is located in a prominent position at the corner of Canning Highway and Stirling Highway (formerly King Street). The group exhibits the aesthetic characteristics of a small significant group of public buildings constructed in the Federation Free Classical and Federation Bungalow styles. The group was built between 1899-1902.</p> <p>The Town Hall has a fine façade rendered in the Federation Free</p>

### Classical Style.

The former Police Station is a competently executed Federation Bungalow. The place retains much of its original external detail.

The former Post Office is a finely designed two storey Federation Classical style building. Most of its exterior and interior detailing are still intact. It is constructed in brick and rendered brick with a corrugated iron roof. There is a brick construction former mailroom to the rear, which also accommodated amenities and cycle storage. The building is the westernmost of the group of places. The front elevation is symmetrically planned with an ABBA rhythm. The lower floor is a rendered rusticated storey with single pane double hung sash windows. Each of the windows has modern security grilles fixed over the outside face. The end bays contain symmetrically disposed porches with arched openings. The first floor openings are double hung sash windows. The porches feature original four pane timber doors with hopper lights. The floor is replacement granolithic. The windows over the porch are a later infill. The east and west elevations reflect the front elevation. The rear elevation features a two storey verandah that has been mostly enclosed. The roofscape features a stout rendered chimney.

Individually the buildings exhibit pleasing aesthetic qualities. *Public Buildings, East Fremantle* has a landmark quality in Canning Highway and at the junction with Stirling Highway. The landmark quality has been enhanced by virtue of the construction of Stirling Bridge and the extension of Stirling Highway. The extension has opened up a previously unintended vista giving the group a high degree of visual prominence.

*Public Buildings, East Fremantle* together forms a significant and notable streetscape. They have formed a cultural environment through their service as the public buildings of the Town of East Fremantle throughout most of the twentieth century. The group represents the historic civic heart of East Fremantle and the effect of the group reflects these civic qualities.

### HISTORICAL NOTES

*Public Buildings, East Fremantle* is significant in the occupation of Western Australia. The public buildings of the Town of East Fremantle mark the creation of the Town of East Fremantle in 1897 brought about by the rapid expansion of Fremantle.

*Public Buildings, East Fremantle* were constructed in 1899-1902. The construction followed the proclamation of the Town of East Fremantle and in the period immediately following the Western Australian Gold Boom. The group is the product of a rapid period of expansion and development with the whole group being completed by 1902.

Well-known Architect Joseph F. Allen designed both the initial stages of East Fremantle Town Hall, including the Mechanics' Institute and Library. Allen later became Mayor of East Fremantle. The first Town Clerk of East Fremantle, Horace Hill Parker, worked at the place for more than 40 years, and resided there in the early period following its completion. Hillson Beasley designed the Police Station and it is likely that he was responsible for the design of the Post Office.

On 14 March 1898, the Plympton Post Office opened in makeshift premises with Miss J. Adams as Postmistress. In 1899, the Plympton Post Office was renamed East Fremantle Post Office. On 7 July 1981, the former Post Office and quarters were transferred to the Commissioner of Main Roads.

### OWNERS

Main Roads Western Australia

### HISTORIC THEME

Transport and Communications - Postal Services

## Town of East Fremantle - MHI Review 2015

CONSTRUCTION MATERIALS	Walls – Brick and rendered brick Roof – Iron
PHYSICAL SETTING	The place is located on the pavement edge of Canning Highway.
STATEMENT OF SIGNIFICANCE	<p><i>Public Buildings, East Fremantle</i> (1899-1902), comprising a single storey limestone construction and iron roof former Police Station (1899), a two storey rendered brick and Colorbond roof Town Hall (1900), and a two storey brick and rendered brick corrugated iron roofed former Post Office (1901), has cultural heritage significance for the following reasons:</p> <ul style="list-style-type: none"> <li>– The group is significant in the occupation of Western Australia, as the public buildings of the Town of East Fremantle (founded 1897), which was brought about by the rapid expansion of Fremantle following the Western Australian Gold Boom;</li> <li>– The group, and in particular the former East Fremantle Post Office in its prominent position at the corner of Canning Highway and King Street, now the junction with Stirling Highway, provides a visual focal point with strong aesthetic value and is a notable landmark; the Town Hall has a fine façade rendered in the Federation Free Classical style;</li> <li>– The former Police Station is a competently executed Federation Bungalow style building, which retains much of its original external detail; and the former Post Office is a finely designed two storey Federation Classical style building, with much of its exterior and interior detailing intact; the Town Hall building is one of the more important works of prominent immigrant architect J. F. Allen; and</li> <li>– The group has some rarity value as a group of civic places built in a very close timeframe of three years and because the outward appearance of each of the buildings in the group has changed very little.</li> </ul>
AESTHETIC SIGNIFICANCE	East Fremantle Post Office has exceptional aesthetic value as a two storey Post Office in the Federation Free Classical style. The place is located in a prominent position at the corner of Canning Highway and Stirling Highway. It provides a visual focal point with strong aesthetic value and is a notable landmark.
HISTORIC SIGNIFICANCE	<i>Public Buildings, East Fremantle</i> has exceptional historic value. They are significant in the occupation of Western Australia as the public buildings of the Town of East Fremantle. They were brought about by the rapid expansion of Fremantle following the Western Australian Gold Boom.
SCIENTIFIC SIGNIFICANCE	N/A
SOCIAL SIGNIFICANCE	No 101 Canning Highway has exceptional social value. It is associated with development and expansion of East Fremantle.
RARITY	No 101 Canning Highway is rare as part of a civic group of places.
CONDITION	No 101 Canning Highway is in good condition.
INTEGRITY	No 101 Canning Highway retains a moderate degree of integrity.
AUTHENTICITY	No 101 Canning Highway retains a moderate degree of authenticity.
MAIN SOURCES	Assessment documentation State Register P00789.



IMAGE COURTESY OF F.A. SHARR FOR THE HERITAGE COUNCIL OF WESTERN AUSTRALIA:  
STREETSCAPE VIEW OF PUBLIC BUILDINGS, EAST FREMANTLE - 1981.

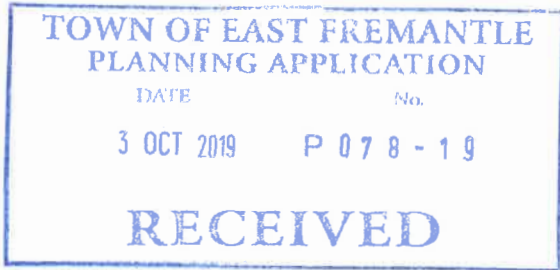
DRAWINGS:

- 000 PRINCIPLES OF CONSERVATION
- 001 CONSERVATION NOTES
- 101 EXISTING / DEMOLITION SITE PLAN
- 102 EXISTING / DEMOLITION GROUND FLOOR PLAN
- 103 EXISTING / DEMOLITION FIRST FLOOR PLAN
- 104 EXISTING / DEMOLITION NORTH ELEVATION
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- 107 EXISTING / DEMOLITION WEST ELEVATION
- 201 PROPOSED SITE PLAN
- 202 PROPOSED GROUND FLOOR PLAN
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- 204 PROPOSED NORTH ELEVATION
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EAST FREMANTLE POST OFFICE (FMR)

CONSERVATION AND ADAPTATION WORKS

101 CANNING HIGHWAY  
EAST FREMANTLE WA 6158



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PRINCIPALS OF CONSERVATION:

**GENERALLY**  
THE CONSERVATION WORKS WITHIN THIS SCHEDULE RELATE TO THE EXISTING SIGNIFICANT FABRIC THAT IS TO BE RETAINED, CONSERVED OR RECONSTRUCTED TO ALLOW THE ONGOING SURVIVAL OF THIS HERITAGE BUILDING. THE APPROACH ADOPTED IN ANY HERITAGE CONSERVATION PROJECT IS 'AS MUCH AS NECESSARY, AS LITTLE AS POSSIBLE' AND THIS WILL FORM THE BASIS OF ALL WORKS SUGGESTED.

**REUSE**  
THE FIRST PRIORITY WHEN UNDERTAKING ANY REPAIRS SHOULD BE TO RE-USE AS MUCH OF THE EXISTING FABRIC AS POSSIBLE.PRESERVATION OF THE AUTHENTIC FABRIC SHOULD TAKE PRECEDENCE OVER COSMETIC CONSIDERATIONS. THIS PRINCIPLE RECOGNISES THAT SOME OF THE ORIGINAL FABRIC WILL APPEAR DIFFERENT FROM THAT EXPECTED AND AVAILABLE TODAY. IT ALSO RECOGNISES THAT THE AGE OF THE ORIGINAL FABRIC MAY REMAIN OBVIOUS AND THAT IT IS NOT THE INTENT TO RETURN THE FABRIC TO 'AS NEW' APPEARANCE.

**LIKE FOR LIKE**  
AS A GENERAL PRINCIPLE, RESTORATION WORKS SHOULD BE CARRIED OUT ON THE BASIS THAT ANY MATERIAL ITEMS THAT NEED TO BE REPLACED SHOULD BE DONE SO ON A LIKE FOR LIKE BASIS. IF AN ITEM IS SO DEGRADED THAT IT SHOULD BE REPLACED, THE NEW ITEM MAY PREFERABLY MATCH THAT WHICH IT REPLACES IN MATERIAL, STYLE, PATTERN, FINISH, COLOUR OF THE ORIGINAL. IN SOME INSTANCES, IT MAY BE APPROPRIATE TO USE AN ITEM FIRSTLY SALVAGED FROM ELSEWHERE ON THE BUILDING SITE, OR THIRDLY, SPECIALLY MADE TO MATCH. WHERE A MATCHING ITEM IS NOT AVAILABLE EITHER NEW OR SALVAGED, THEN A REASONABLE FACSIMILE IN CURRENT PRODUCTION MAY BE ACCEPTABLE. A NEW PART MAY BE DISCERNIBLE FROM CLOSE INSPECTION AS SUCH AND NO ATTEMPT MADE TO ARTIFICIALLY AGE IT. THIS PRINCIPLE MAY BE APPLIED TO ALL LEVELS RANGING FROM WHOLE COMPONENTS SUCH AS DOORS, DOWN TO INDIVIDUAL FIXINGS.

**AVOID NEEDLESS LOSS**  
WHERE ONLY ONE PART OF A COMPONENT IS BROKEN, CONSIDERATION SHOULD BE GIVEN TO REPAIRING THAT PART RATHER THAN REPLACING THE WHOLE COMPONENT. IF POSSIBLE, THE PART MAY BE LEFT IN PLACE AND REPAIRS MAY CARRIED OUT WITHOUT REMOVAL OR DAMAGE TO THE UNBROKEN PART.

**NOT PERFECT**  
REPAIRS SHOULD RECOGNISE THAT THE PLACE MAY NOT HAVE BEEN PERFECT IN EITHER ITS ORIGINAL, MOST SIGNIFICANT OR RECENT WORN FABRIC SHOULD BE ALLOWED TO SHOW THE PATINA OF TIME. REPAIRS MAY NOT ATTEMPT TO PUT THE FABRIC INTO A CONDITION THAT IT WAS NEVER IN OR PRESENT IT IN 'AS NEW' CONDITION. A PART NOT BUILT 'STRAIGHT' ORIGINALLY MAY NOT BE MADE 'STRAIGHT' TO MEET CURRENT STANDARDS.

**REINSTATEMENT OF LOST FEATURES**  
ELEMENTS OF A HISTORIC ASSET WHICH CONTRIBUTE TO ITS DESIGN MIGHT HAVE BEEN LOST AND THEIR REPLACEMENT MIGHT BE JUSTIFIED, FOR EXAMPLE, THE LOSS OF SOME FINIALS, SECTIONS OF BALUSTRADES AND SASH WINDOWS. THE SIGNIFICANCE OF THE REPLACEMENT MAY BE WEIGHED AGAINST THE ORIGINAL DESIGN CONCEPT. REINSTATEMENT SHOULD BE JUSTIFIED BY STRONG EVIDENCE AND RESEARCH.

TERMS USED:

**CONSERVATION**  
CONSERVATION MEANS ALL THE PROCESSES OF LOOKING AFTER A PLACE SO AS TO RETAIN ITS CULTURAL SIGNIFICANCE.

**FABRIC**  
FABRIC MEANS ALL THE PHYSICAL MATERIAL OF THE PLACE INCLUDING ELEMENTS, FIXTURES, CONTENTS AND OBJECTS.

**PRESERVATION**  
PRESERVATION MEANS MAINTAINING A PLACE IN ITS EXISTING STATE AND RETARDING DETERIORATION.

**RESTORATION**  
RESTORATION MEANS RETURNING A PLACE TO A KNOWN EARLIER STATE BY REMOVING ACCRETIONS OR BY REASSEMBLING EXISTING ELEMENTS WITHOUT THE INTRODUCTION OF NEW MATERIAL.

**RECONSTRUCTION**  
RECONSTRUCTION MEANS RETURNING A PLACE TO A KNOWN EARLIER STATE AND IS DISTINGUISHED FROM RESTORATION BY THE INTRODUCTION OF NEW MATERIAL.

**ADAPTATION**  
ADAPTATION MEANS CHANGING A PLACE TO SUIT THE EXISTING USE OR A PROPOSED USE.

**USE**  
USE MEANS THE FUNCTIONS OF A PLACE, INCLUDING THE ACTIVITIES AND TRADITIONAL AND CUSTOMARY PRACTICES THAT MAY OCCUR AT THE PLACE OR ARE DEPENDENT ON THE PLACE.

**MATCH EXISTING**  
MATCH EXISTING MEANS USE MATERIALS, PRODUCTS AND METHODS TO CLOSELY MATCH ALL VISUAL AND PHYSICAL CHARACTERISTICS AND FEATURES OF THE EXISTING WORK, WITH JOINTS BETWEEN EXISTING AND NEW WORK AS INCONSPICUOUS AS POSSIBLE.

**REMOVE**  
REMOVE MEANS REMOVE EXISTING WORK SO DESCRIBED AND ALL ASSOCIATED ACCESSORIES, FASTENINGS, LINING AND BEDDING MATERIALS, WITHOUT DAMAGING ADJACENT WORK TO BE RETAINED AND MAKE GOOD.

**REPAIR**  
REPAIR MEANS CAREFULLY REMOVE EXISTING WORK AND MATERIALS REQUIRED TO BE RE-FIXED. REMOVE FIXING AND BEDDING MATERIALS FROM WORK, MATERIALS REMOVED, AND CLEAN AND REPAIR. SET ASIDE AND PROTECT UNTIL REQUIRED. RELOCATE AND SECURELY FIX USING NEW FIXING AND JOINTING MATERIALS AND METHODS TO MATCH EXISTING AND MAKE GOOD.

**MAKE GOOD**  
MAKE GOOD MEANS CARRY OUT LOCAL REMEDIAL WORK TO AND AROUND AREAS SO DESCRIBED INCLUDING REMOVAL AND REPLACEMENT OF DEFECTIVE MATERIALS AND PRODUCTS, PATCHING, DRESSING DOWN, EXTENDING FINISHED, MAKING MINOR REPAIRS AND ADJUSTMENTS AND REDECORATING TO MATCH ORIGINAL OR ADJACENT EXISTING.

PRELIMINARIES:

1. **PAINT REMOVAL TESTING**  
PRIOR TO WORKS COMMENCING THE CONTRACTOR IS TO REMOVE APPROX 1m x 1m OF PAINT IN 4no DIFFERENT LOCATIONS ON THE FACADE- TO BE AGREED IN CONJUNCTION WITH THE HERITAGE ARCHITECT. THIS IS TO DETERMINE THE QUALITY OF THE FACE BRICK UNDERNEATH THE PAINT AND CLARIFY THE POSSIBILITY OF THE REMOVAL OF THE EXISTING PAINTWORK AND LEAVE BRICKWORK EXPOSED.

IF PAINT IS TO BE REMOVED:  
PAINT APPLIED TO BRICKWORK IS TO BE REMOVED USING PEELAWAY 8 PRODUCT, OR SIMILAR APPROVED, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. SOME ADDITIONAL STEAM CLEANING MAY BE REQUIRED FOR A FINISHED RESULT. ABRASIVE CLEANING PRODUCTS OR METHODS ARE NOT TO BE APPLIED TO HISTORIC MASONRY.

2. **MORTAR AND STUCCO**  
PRIOR TO WORKS COMMENCING THE CONTRACTOR IS TO ARRANGE FOR A MORTAR COMPOSITION ANALYSIS TO BE UNDERTAKEN TO DETERMINE MATERIAL COMPOSITION AND ORIGINAL STRENGTH OF THE MORTAR AND STUCCO. THIS IS TO AVOID DIFFERENTIAL DECAY MECHANISMS AND POSSIBLE ACCELERATION DECAY TO THE FACE BRICK.

3. **PAINT SCRAPES**  
PAINT SCRAPES TO BE CARRIED OUT TO DETERMINE PAINT COLOURS TO RAINWATER HEADS, WINDOWS AND FACADE WALLS. DESIGN INTENTION WILL BE TO MATCH THE ORIGINAL COLOURS TO ACHIEVE THE BEST CONSERVATION OUTCOME.

4. **SAMPLES AND BENCH MARKING**  
THE HERITAGE ARCHITECT WILL BE REQUIRED TO CHECK SAMPLE PROTOTYPES ON EACH OF THE KEY COMPONENTS OF THE CONTRACT AS IT PROGRESSES. WHERE SAMPLE PROTOTYPES ARE AGREED UPON THEY SHOULD BE LEFT AS QUALITY BENCHMARKS FOR THE DURATION OF THE CONTRACT. BASED ON SAMPLE PROTOTYPES, THE HERITAGE ARCHITECT WILL WORK WITH THE CONTRACTOR TO APPROVE WORKS BEING COMPLETED TO THE CORRECT STANDARD. SUBMIT SAMPLES OF LOCALLY SOURCED MATERIALS AS PER SPECIFICATION FOR APPROVAL BY HERITAGE ARCHITECT. SAMPLES TO BE APPROVED ON SITE.

FOR EXAMPLE, SUBMIT 1 X 1M SAMPLE OF BRICKWORK RECONSTRUCTION AND POINTING TO BE USED A QUALITY BENCHMARK.

SAMPLES OF ALL FINISHES ARE TO BE OF SUFFICIENT SIZE OR IN A SUFFICIENT NUMBER FOR QUALITY ASSURANCE.

REMOVE UNAPPROVED SAMPLES AND PROTOTYPES ON COMPLETION.

5. **DEMOLITION**  
PREPARE A DILAPIDATION REPORT PRIOR TO WORKS COMMENCING ON SITE.

PROTECT FABRIC OF HERITAGE SIGNIFICANCE TO BE RETAINED FROM FURTHER DAMAGE DURING CONSTRUCTION.



EAST FREMANTLE POST OFFICE (FMR)  
101 CANNING HIGHWAY, EAST FREMANTLE WA 6158

Drawing Number: 000

Project:	EAST FREMANTLE POST OFFICE	Scale@A3:	N/A
Drawing Title:	CONSERVATION NOTES	Job No:	19-242
Date:	AUGUST 2019	Drawn:	AP
Client:	YARD PROPERTY	Checked:	FK
		Revision:	1



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CONSERVATION NOTES:

1.

**HAZARDOUS MATERIALS**

REMOVE AND DISPOSE OF ALL ASBESTOS AND LEAD CONTAINING MATERIALS. CONTRACTOR TO UNDERTAKE THEIR OWN ASSESSMENT TO DETERMINE EXTENT AND LOCATION. TO BE SAFELY REMOVED BY AN ACCREDITED PROFESSIONAL.

REFER TO RELEVANT WORKSAFE PRACTICES AND CODES OF PRACTICE FOR THE MANAGEMENT AND CONTROL OF ASBESTOS AND LEAD.
2.

**STRIP OUT OF REDUNDANT SERVICES, FIXTURES AND FITTINGS**

ISOLATE, MAKE SAFE AND CAREFULLY REMOVE ALL EXPOSED REDUNDANT SERVICES SUCH AS PIPEWORK, LIGHT FITTINGS AND A/C UNITS. REPLACE LIGHT FIXTURES WITH SYMPATHETIC HARDWARE.

REMOVE EXTRANEIOUS ELEMENTS FROM WALLS SUCH AS PREVIOUS FIXINGS, PLUGS AND HOOKS.

REMOVE ALL FIXTURES, FITTINGS, LOOSE FURNITURE AND EXISTING FLOOR FINISHES WHERE SHOWN. UPGRADE TO CODE COMPLIANCE & REPLACE LIGHT FITTINGS AS REQUIRED.

TIDY UP AND FIX ALL EXISTING LOSE CABLING IN SUB-FLOOR AND CEILING SPACES.
3.

**DEMOLITION**

DEMOLITION AND REMOVAL WORK TO BE MADE GOOD IN PREPARATION FOR PROPOSED NEW WORK.

RETAIN AND RE-USE EXISTING FACING MATERIAL FOR MAKING GOOD AREAS AND REPAIRS TO RETAINED SURFACES AND STRUCTURE.

LOCATION AND SIZE OF NEW SERVICE PENETRATIONS / BUILDERS WORK TO BE AGREED WITH THE HERITAGE ARCHITECT.

NEW STRUCTURAL OPENINGS FORMED WITHIN THE EXISTING WALLS ARE TO BE CONSTRUCTED TO THE APPROVAL OF THE STRUCTURAL ENGINEER.

IF CHASING, CORING OR PERFORATIONS ARE REQUIRED IN RETAINED HERITAGE WALLS, PROVIDE PROPOSALS TO DEMONSTRATE THAT THE STRUCTURAL INTEGRITY OF THE WALL IS MAINTAINED. DO NOT CHASE WALLS NOMINATED AS FIRE RATED OR ACOUSTIC. PARALLEL CHASING CORING OR PERFORATION ON OPPOSITE FACES OF A WALL SHALL NOT BE CLOSER THAN 600 MM TO EACH OTHER.

IN ORDER TO AVOID NEEDLESS LOSS, WHERE NEW FABRIC IS REQUIRED TO BE INCORPORATED INTO OLD IT SHOULD BE DONE CAREFULLY TO ENSURE THAT AS LITTLE HISTORIC FABRIC IS AFFECTED AS POSSIBLE.FOR EXAMPLE, THE INTRODUCTION OF NEW SERVICES MIGHT RESULT ON NEW PERFORATIONS, PENETRATIONS, CHASING OR CORING THE HERITAGE STRUCTURE AND FURTHER DAMAGE THE ORIGINAL FABRIC. CARE MUST BE TAKEN TO RE-USE EXISTING PENETRATIONS, USE ALTERNATIVE PATHS, USE WIRELESS ITEMS WHERE POSSIBLE AND POSSIBLY CONCEAL SERVICES THROUGH NEW ADDITIONS TO AVOID AESTHETICAL IMPACT.
4.

**RE-POINTING OF BRICKWORK**

RAKE OUT LOOSE POINTING AND RE-POINT WITH MORTAR TO MATCH EXISTING COMPOSITION TO AREAS WHERE JOINTS HAVE COMPLETELY ERODED OR HAVE LOST MORE THAN 20% OF MORTAR JOINTS. THIS INCLUDES SUB-FLOOR AREAS.

COLOUR AND FORMAT TO MATCH EXISTING MORTAR JOINTS AND BLEND IN TO EXISTING. CONTRACTOR TO PROVIDE SAMPLES OF MORTAR MIX FOR APPROVAL TO DEMONSTRATE COLOUR AND FORMAT MATCH.

DAMAGED BRICKS TO BE INVERTED OR REPLACED WITH BRICKS SALVAGED FROM SITE. NO NEW BRICKS ARE TO BE INTRODUCED INTO THE EXISTING STRUCTURE.

5.

**WALLS GENERAL**

CONTRACTOR TO ASSESS / INSPECT ALL EXISTING INTERNAL WALLS FOR EXTENT OF EFFLORESCENCE / DAMPNESS AND STRIP OFF FOR REMEDIAL WORKS.

MAKE GOOD EXISTING FIXING HOLES PREVIOUSLY CHASED IN BRICKWORK.

MAKE GOOD TO MATCH ORIGINAL ANY DAMAGE TO SURFACE FINISHES AND OTHER ELEMENTS DAMAGED IN THE PROCESS OF CARRYING OUT THE WORKS. THIS INCLUDES ANY BRICKWORK RE-POINTING AND BRICK REPLACEMENT.

WHERE EVIDENCE OF CRACKING CONSULT STRUCTURAL ENGINEER, AS REQUIRED:

- CUT OUT AND EXPOSE MASONRY BEHIND. FIX HORIZONTAL HELIFIX TIES ACROSS BED JOINTS AT 4c CENTRES, MAKE GOOD TO PLASTER TO MATCH ORIGINAL COMPOSITION.
- CUT OUT AND REPOINT EXPOSED MASONRY BEHIND, MAKE GOOD TO PLASTER TO MATCH ORIGINAL COMPOSITION.

REPAIR PLASTER SKIM COATINGS TO MATCH ORIGINAL COMPOSITION AS REQUIRED. FILL CHIPS AND HOLES BIGGER THAN A 5c COIN. MAKE SURE THEY ARE STRUCTURALLY SOUND.

PIECE IN MISSING SKIRTING / CORNICES TO MATCH ORIGINAL PROFILE.

INTERNAL WALLS TO BE RE-PAINTED IN COLOUR SCHEME DETERMINED BY PAINT SCRAPES TO STORE UNDER THE STAIRS. COLOUR SCHEME TO BE APPROVED BY HERITAGE ARCHITECT. ENSURE LOOSE PAINT IS REMOVED AND WALLS ARE APPROPRIATELY PREPPED.

IF TILES ARE TO BE ADDED TO THE HERITAGE BUILDING ORIGINAL FABRIC, THEY MAY BE APPLIED OVER WATER RESISTANT PLASTERBOARD FIXED OVER FURRING CHANNELS TO ORIGINAL MASONRY.

6.

**FACADES AND CHIMNEYS**

STRIP ACRYLIC PAINT USING NON-ABRASIVE METHODS AS APPROVED BY HERITAGE ARCHITECT.

UNDERTAKE PAINT SCRAPES, SCRUB CALCIMINE & ASSESS SURFACE CONDITION PRIOR TO DECISION ON NEW FINISHES.

REPAIR MINOR CRACKING TO WALLS & BRICKWORK GENERALLY. MAKE GOOD STUCCO RENDER.

REMOVE EXTERNAL SIGNAGE AS PART OF STUCCO REPAIRS

ENSURE CHIMNEY FLUE IS SWEEPED AND CLEARED BY CHIMNEY SWEEP BEFORE USE.

STRUCTURAL ENGINEER TO ASSESS CONDITION OF CHIMNEYS. INTERNAL STEEL BRACING TO BE INSTALLED TO STRUCTURAL ENGINEER'S DETAIL AS REQUIRED.

7.

**TIMBER FRAME WINDOW AND DOORS**

OVERHAUL EXISTING TIMBER WINDOWS TO FULL WORKING ORDER AS REQUIRED.

CAREFULLY RUB DOWN TIMBER SURFACES TO REMOVE FLAKY PAINT AND UNEVENNESS.

REMOVE ALL METAL CLOAKS TO WINDOW SILLS AND REPAIR.

PATCH HOLES AND CRACKS TO FRAMES WITH TIMBER PUTTY.

REPLACE ANY DECAYED TIMBER WITH NEW TO MATCH EXISTING IN PROFILE AND SPECIES.

RE-PAINT ALL PREVIOUS PAINTED TIMBER SASHES, SILLS. COLOUR DETERMINED BY PAINT SCRAPES AND TO BE APPROVED BY HERITAGE ARCHITECT.

INSTALL CONCEALED ACOUSTIC SEALS AROUND SASH FRAME AND DOORS TO PORCH AND LOGGIAS.

REFURBISH ALL ORIGINAL DOOR AND WINDOW HARDWARE. SUPPLY NEW HARDWARE AS REQUIRED TO MATCH ORIGINAL DETAIL .

REPLACE ANY DAMAGED AND BROKEN GLAZING WITH NEW TO COMPLY WITH CURRENT NCC BCA REQUIREMENTS, AS1288 (AND AS2047 AS APPROPRIATE).

ANY GLAZING THAT IS RETAINED TO BE PROVIDED WITH A SAFETY FILM ON THE INSIDE OF THE GLASS TO PROVIDE AN IMPROVED LEVEL OF COMPLIANCE WITH CURRENT NCC BCA REQUIREMENTS.

8.

**FIREPLACES**

REMOVE INFILL HEATERS.

UNBLOCK FIREPLACES & CONSERVE AS REQUIRED INCLUDING HEARTH & SURROUND.

ENSURE SERVICEABILITY.

MAKE GOOD TO HEARTHS WHERE LATER ADDITION TILES REMOVED. PAINT. COLOUR TO BE APPROVED BY HERITAGE ARCHITECT.

9.

**FLOORS**

REMOVE FLOOR COVERINGS, LIGHTLY SAND AND RE-FINISH ALL TIMBER FLOORS, SATIN FINISH.

FIX FLOOR TRAPS. REPAIR ANY DAMAGED FLOORBOARDS AND THRESHOLDS, REPLACE TO MATCH EXISTING SPECIES AND AGE IF REQUIRED.

LEVEL OF REAR VERANDAH TO BE RAISED WITHOUT DAMAGING EXISTING FLOORING TO ENSURE CONSISTENT FFL'S THROUGHOUT.

IF THE WC AREAS ARE TO HAVE A TILE FINISH, MAKE ALLOWANCE FOR SET DOWNS AND FALLS TO FLOOR WASTE.

10.

**CEILINGS**

CUT OUT CRACKS IN LATH AND PLASTER CEILINGS, REPAIR DEFECTIVE BANDAGES AND LATHE TO MATCH EXISTING AND MAKE GOOD.

PREPARE AND PAINT ALL CEILINGS.

11.

**SECURITY GRILLES**

REMOVE SECURITY GRILLES TO ALL OPENINGS.

MAKE GOOD FIXING HOLES FROM GRILLE REMOVAL.

12.

**WALL VENTS**

RETAIN ALL VENTS AND ENSURE THEY ARE IN FUNCTIONAL WORKING ORDER.

VENTS TO BE CAREFULLY CLEANED AND INSPECTED FOR RUST, TEST CLEANING METHOD ON A SAMPLE AREA.

WHERE CORROSION OCCURS, THIS MAY BE BRUSHED OFF WITH WIRE BRUSH BACK TO BRIGHT SURFACE AND TREATED WITH PENETROL OIL OR SIMILAR APPROVED

13.

**ROOF WORKS**

MAINTAIN REPLACEMENT ROOFING, GUTTERS AND DOWNPIPES.

CONSERVE ORIGINAL RAINWATER HEADS. STRIP PAINT & REPAINT FOLLOWING PAINT SCRAPE ANALYSIS.

REGULARLY CLEAN GUTTERS. REPAIR AND MAKE GOOD TIMBER BIRD BOARDS, SCOTIAS, BARGEBOARDS AND BARGE CAPS.

14.

**ARCHAEOLOGY**

WHERE ARCHAEOLOGICAL MATERIAL IS REVEALED, IMMEDIATELY STOP WORKS AND NOTIFY THE PRINCIPAL.

15.

**INTERPRETATION**

FIT INTERPRETATION SIGNAGE AS REQUIRED.

16.

**COMPLIANCE**

ALL WORKS TO COMPLY WITH CURRENT AUSTRALIAN STANDARDS AND NATIONAL CONSTRUCTION CODES.



EAST FREMANTLE POST OFFICE (FMR)  
101 CANNING HIGHWAY, EAST FREMANTLE WA 6158

Drawing  
Number: 001

Project:	EAST FREMANTLE POST OFFICE	Scale@A3:	N/A
Drawing Title:	CONSERVATION NOTES	Job No:	19-242
Date:	AUGUST 2019	Drawn:	AP
Client:	YARD PROPERTY	Checked:	FK
		Revision:	1

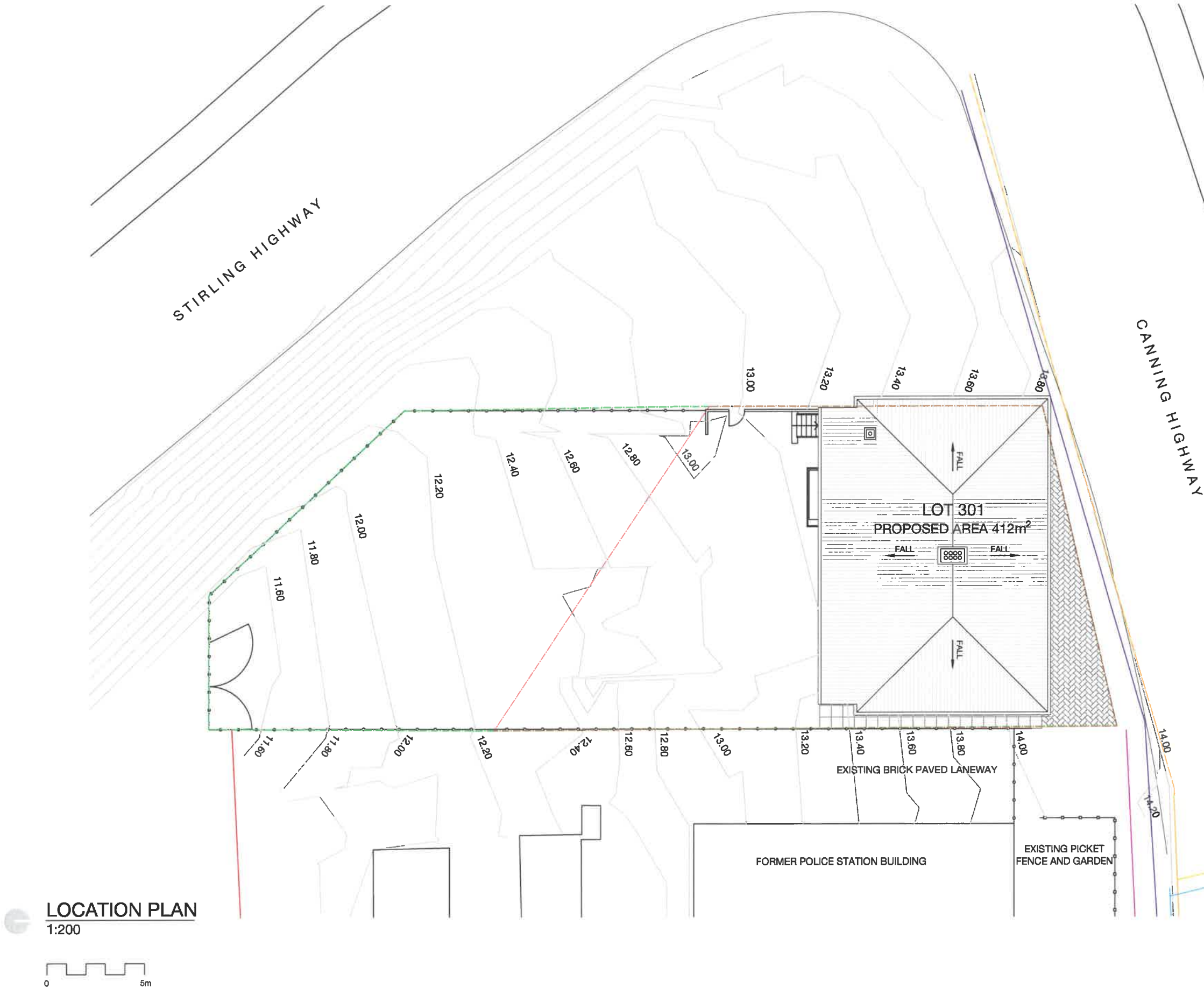
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- NOTES:
- DO NOT SCALE FROM THIS DRAWING
  - IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK ALL GOVERNING DIMENSIONS AND VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND OTHER RELEVANT INFORMATION AND ANY DISCREPANCIES ARE TO BE REPORTED TO THE HERITAGE ARCHITECT.
  - WORK AND MATERIALS TO BE IN ACCORDANCE WITH THE BUILDING CODE OF AUSTRALIA AND TO COMPLY WITH AUSTRALIAN STANDARDS.
  - EXISTING / DEMOLITION DRAWING MUST BE PRINTED IN COLOUR.
  - THIS DRAWING IS COPYRIGHT OF ELEMENT ADVISORY PTY LTD AND SHOULD NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THEIR WRITTEN PERMISSION.

TOWN OF EAST FREMANTLE  
PLANNING APPLICATION  
DATE 3 OCT 2019 No. P 07 8 - 1 9  
RECEIVED



**EAST FREMANTLE POST OFFICE (FMR)**  
101 CANNING HIGHWAY, EAST FREMANTLE WA 6158

Drawing Number: 100

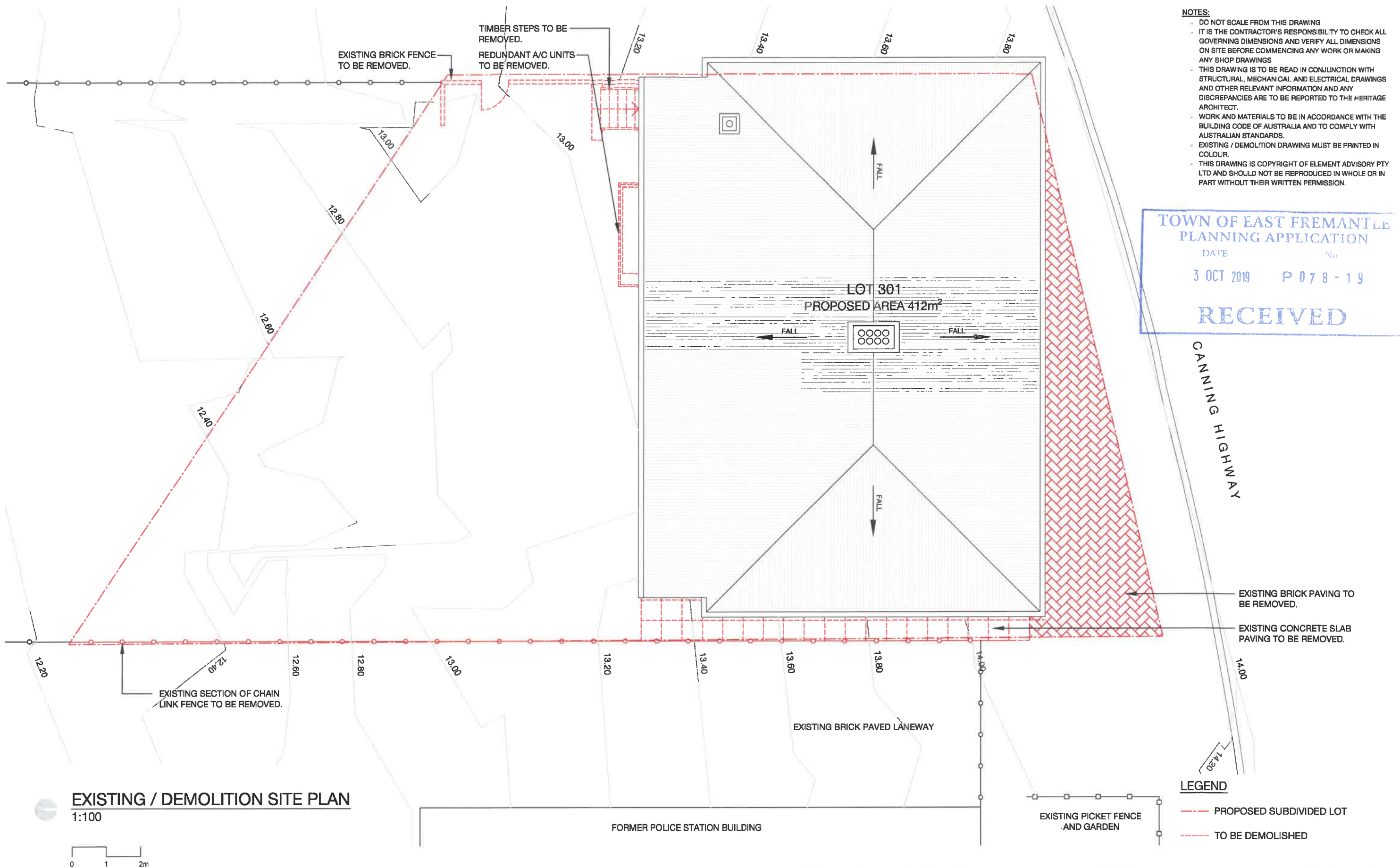
Project: EAST FREMANTLE POST OFFICE  
Drawing Title: EXISTING / DEMOLITION SITE PLAN  
Date: AUGUST 2019  
Client: YARD PROPERTY

Scale@A3: 1:200  
Job No: 19-242  
Drawn: AP  
Checked: FK  
Revision: 1

**element.**

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PO Box 7375 Cloisters Square, Perth Western Australia 6850.  
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**EAST FREMANTLE POST OFFICE (FMR)**  
101 CANNING HIGHWAY, EAST FREMANTLE WA 6158

Drawing Number: **101**

Project: EAST FREMANTLE POST OFFICE  
Drawing Title: EXISTING / DEMOLITION SITE PLAN  
Date: AUGUST 2019  
Client: YARD PROPERTY

Scale@A3: 1:200  
Job No: 19-242  
Drawn: AP  
Checked: FK  
Revision: 1

**element.**

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EXISTING / DEMOLITION NORTH ELEVATION

1:100



LEGEND

- TO BE DEMOLISHED
- XXXXX EXTENT OF FACADE TO HAVE FACE BRICK EXPOSED, PENDING INVESTIGATIONS

**EAST FREMANTLE POST OFFICE (FMR)**  
101 CANNING HIGHWAY, EAST FREMANTLE WA 6158

Drawing Number: 104

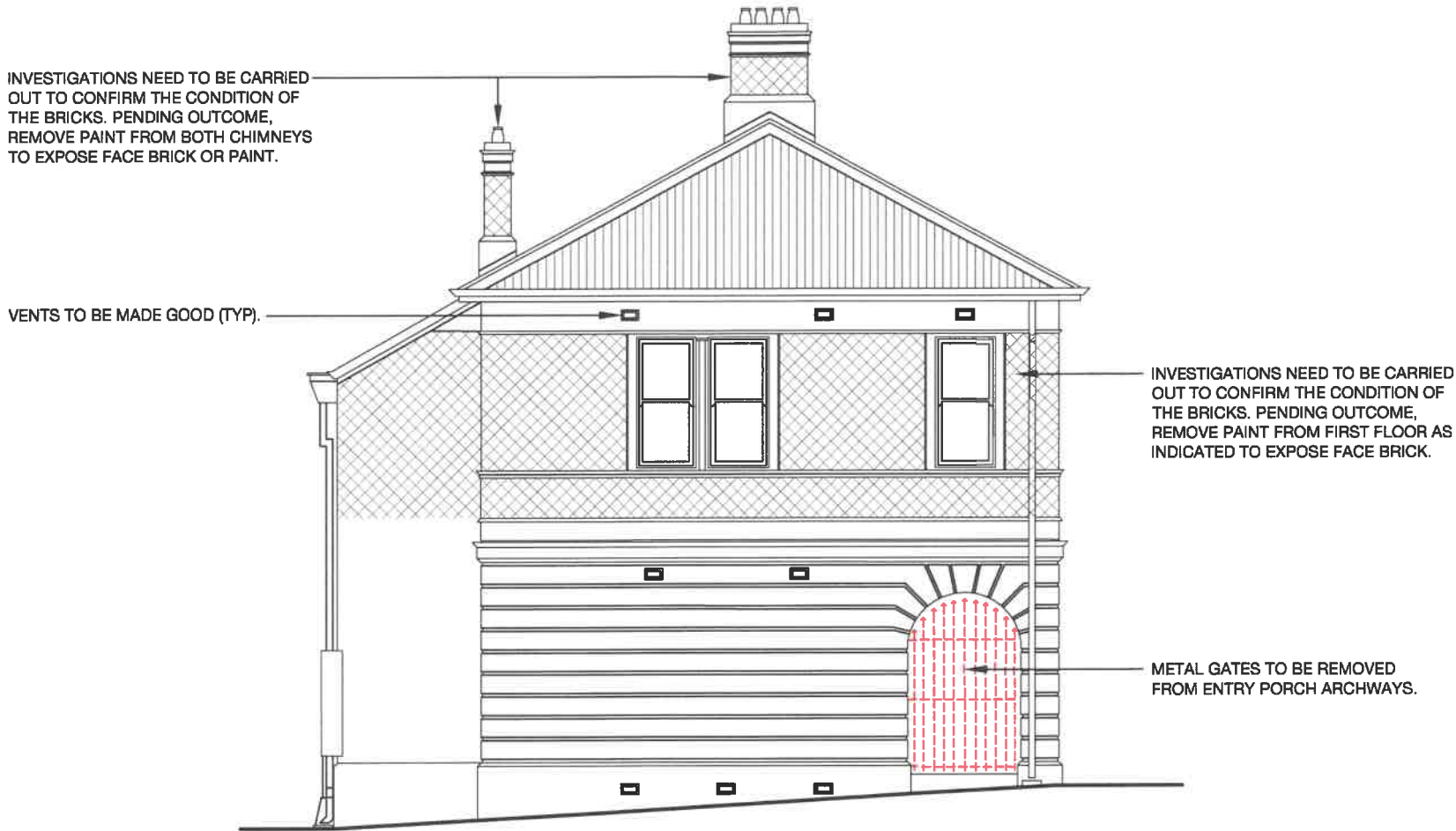
Project: EAST FREMANTLE POST OFFICE  
Drawing Title: EXISTING / DEMOLITION NORTH ELEVATION  
Date: AUGUST 2019  
Client: YARD PROPERTY

Scale@A3: 1:100  
Job No: 19-242  
Drawn: AP  
Checked: FK  
Revision: 1

**element.**  
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EXISTING / DEMOLITION EAST ELEVATION  
1:100



EAST FREMANTLE POST OFFICE (FMR)  
101 CANNING HIGHWAY, EAST FREMANTLE WA 6158

Drawing Number: 105

Project: EAST FREMANTLE POST OFFICE  
Drawing Title: EXISTING / DEMOLITION EAST ELEVATION  
Date: AUGUST 2019  
Client: YARD PROPERTY

Scale@A3: 1:100  
Job No: 19-242  
Drawn: AP  
Checked: FK  
Revision: 1

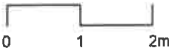
- LEGEND
- - - - - TO BE DEMOLISHED
  - XXXXX EXTENT OF FACADE TO HAVE FACE BRICK EXPOSED, PENDING INVESTIGATIONS

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EXISTING / DEMOLITION SOUTH ELEVATION  
1:100



EAST FREMANTLE POST OFFICE (FMR)  
101 CANNING HIGHWAY, EAST FREMANTLE WA 6158

Drawing Number: 106

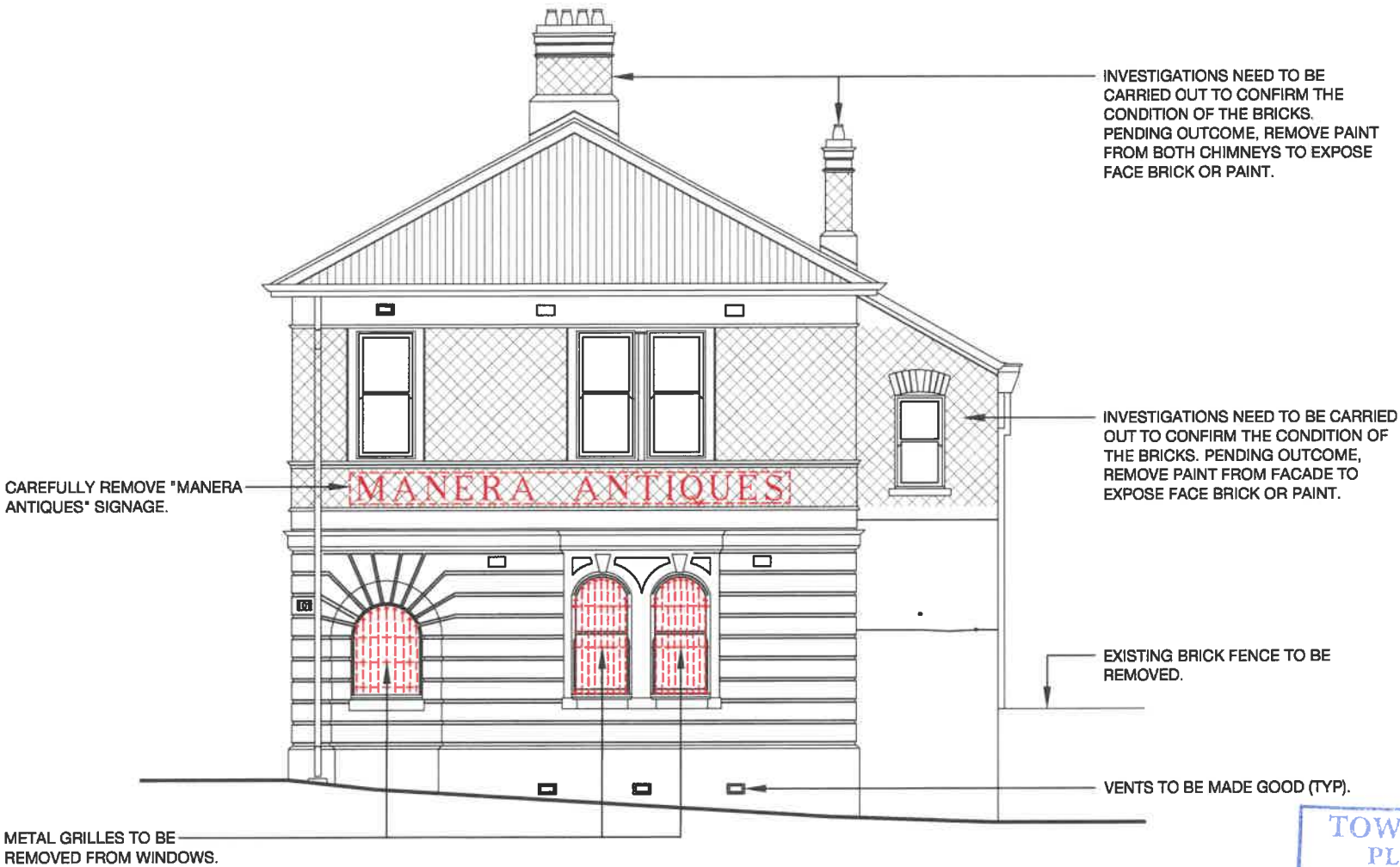
Project: EAST FREMANTLE POST OFFICE  
Drawing Title: EXISTING / DEMOLITION SOUTH ELEVATION  
Date: AUGUST 2018  
Client: YARD PROPERTY

Scale@A3: 1:100  
Job No: 19-242  
Drawn: AP  
Checked: FK  
Revision: 1

- LEGEND
- TO BE DEMOLISHED
  - XXXXX EXTENT OF FACADE TO HAVE FACE BRICK EXPOSED, PENDING INVESTIGATIONS

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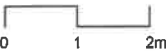
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LEGEND

- - - - - TO BE DEMOLISHED
- XXXXX EXTENT OF FACADE TO HAVE FACE BRICK EXPOSED, PENDING INVESTIGATIONS

EXISTING / DEMOLITION WEST ELEVATION  
1:100



EAST FREMANTLE POST OFFICE (FMR)  
101 CANNING HIGHWAY, EAST FREMANTLE WA 6158

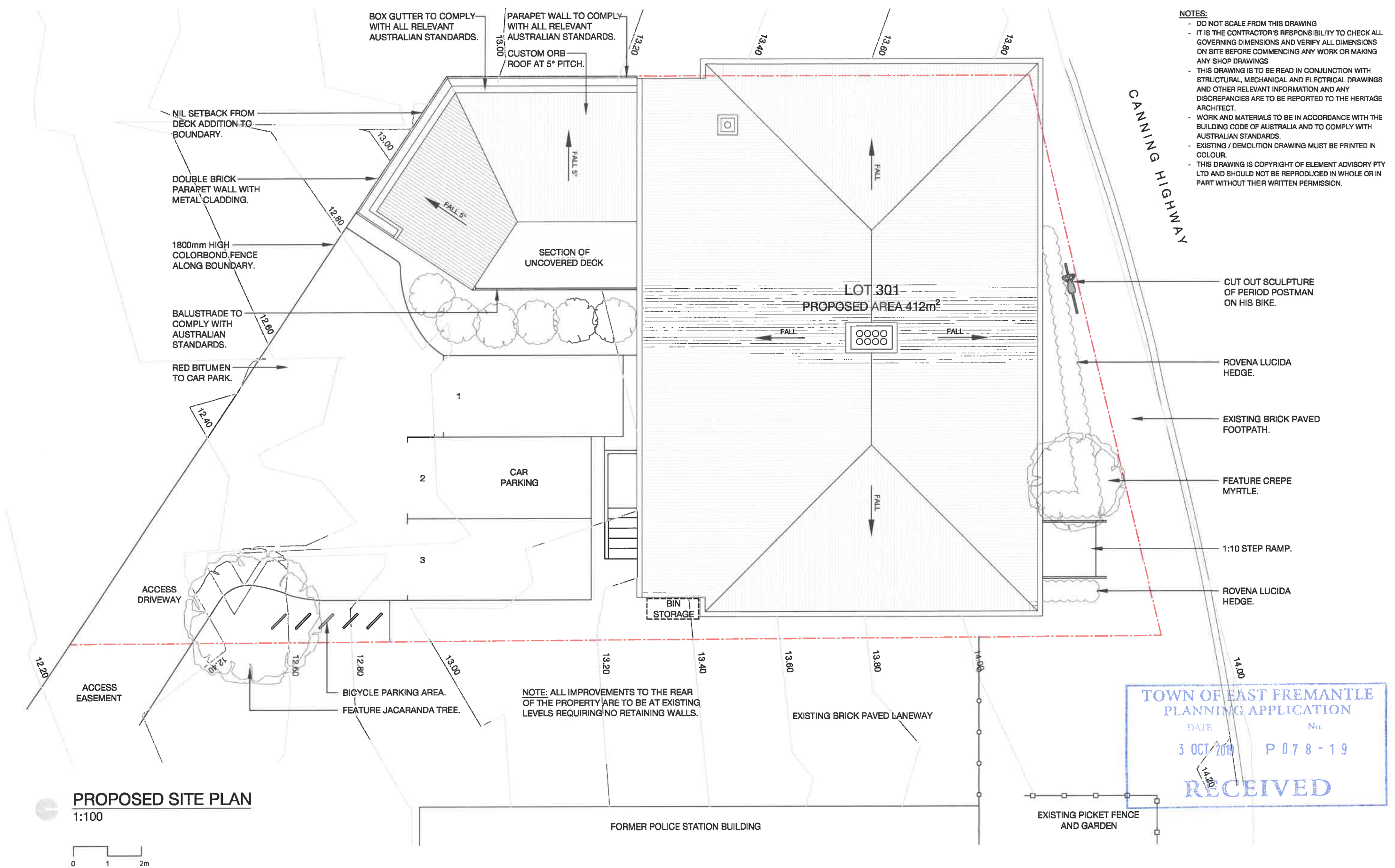
Drawing Number: 107

Project: EAST FREMANTLE POST OFFICE  
Drawing Title: EXISTING / DEMOLITION WEST ELEVATION  
Date: AUGUST 2019  
Client: YARD PROPERTY

Scale@A3: 1:100  
Job No: 19-242  
Drawn: AP  
Checked: FK  
Revision: 1

element.  
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**EAST FREMANTLE POST OFFICE (FMR)**  
101 CANNING HIGHWAY, EAST FREMANTLE WA 6158

Drawing Number: 201

Project: EAST FREMANTLE POST OFFICE  
Drawing Title: PROPOSED SITE PLAN  
Date: AUGUST 2019  
Client: YARD PROPERTY

Scale@A3: 1:100  
Job No: 19-242  
Drawn: AP  
Checked: FK  
Revision: 1

**element.**

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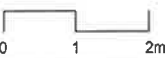
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PROPOSED NORTH ELEVATION  
1:100



**EAST FREMANTLE POST OFFICE (FMR)**  
101 CANNING HIGHWAY, EAST FREMANTLE WA 6158

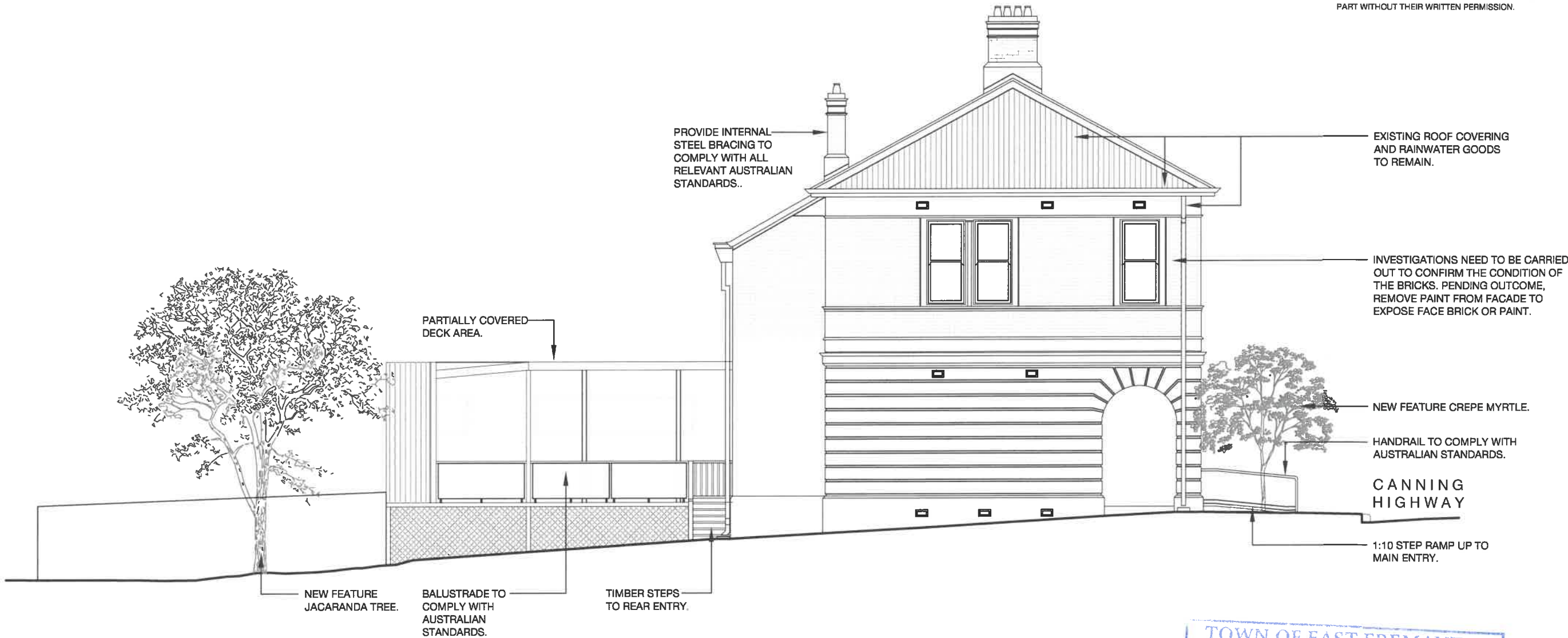
Drawing Number: **204**

Project: EAST FREMANTLE POST OFFICE  
Drawing Title: PROPOSED NORTH ELEVATION  
Date: AUGUST 2019  
Client: YARD PROPERTY

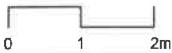
Scale@A3: 1:100  
Job No: 19-242  
Drawn: AP  
Checked: FK  
Revision: 1

**element.**  
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PROPOSED EAST ELEVATION  
1:100



**EAST FREMANTLE POST OFFICE (FMR)**  
101 CANNING HIGHWAY, EAST FREMANTLE WA 6158

Drawing Number: **205**

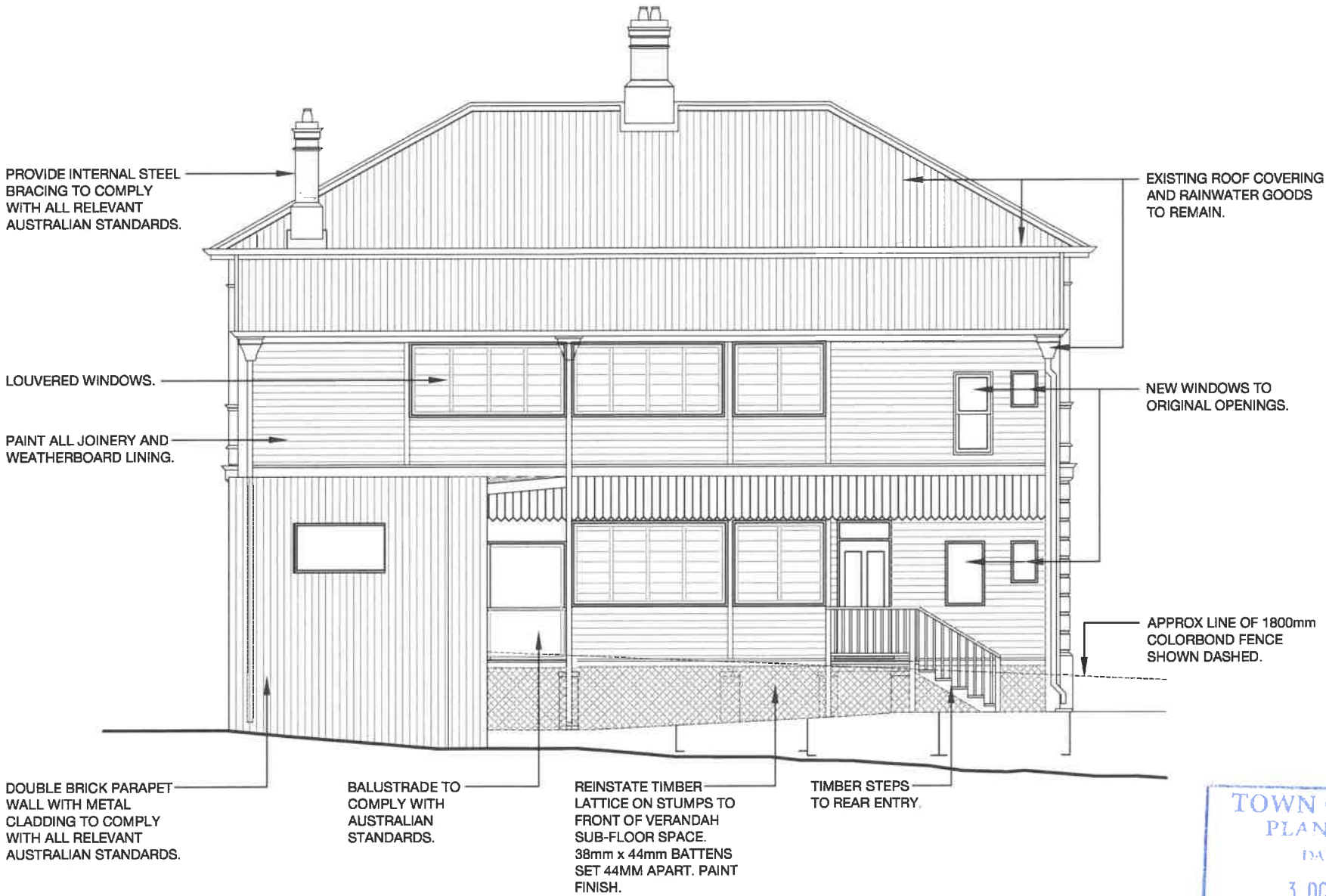
Project: EAST FREMANTLE POST OFFICE  
Drawing Title: PROPOSED EAST ELEVATION  
Date: AUGUST 2019  
Client: YARD PROPERTY

Scale@A3: 1:100  
Job No: 19-242  
Drawn: AP  
Checked: FK  
Revision: 1

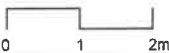
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PROPOSED SOUTH ELEVATION  
1:100



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Drawing Number: 206

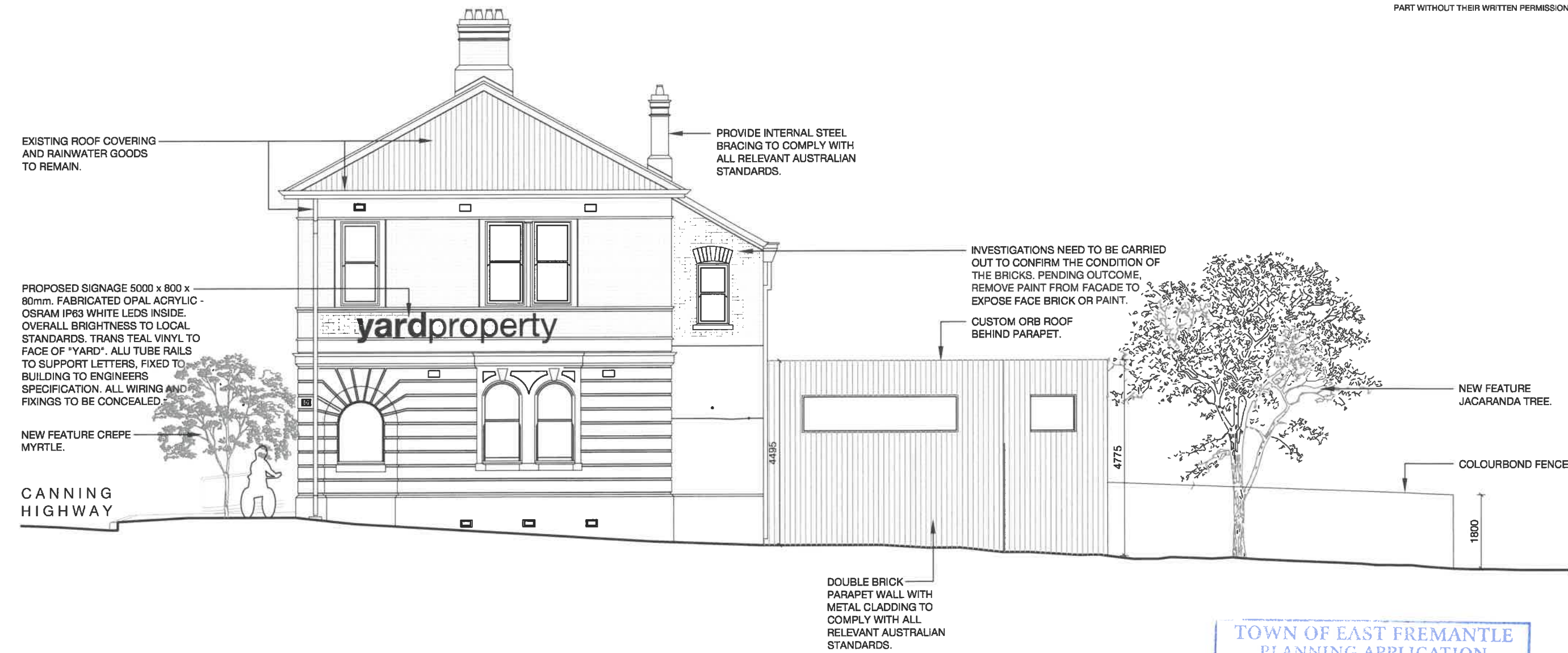
Project: EAST FREMANTLE POST OFFICE  
Drawing Title: PROPOSED SOUTH ELEVATION  
Date: AUGUST 2019  
Client: YARD PROPERTY

Scale@A3: 1:100  
Job No: 19-242  
Drawn: AP  
Checked: FK  
Revision: 1

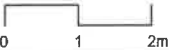
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PROPOSED WEST ELEVATION  
1:100



EAST FREMANTLE POST OFFICE (FMR)  
101 CANNING HIGHWAY, EAST FREMANTLE WA 6158

Drawing Number: 207

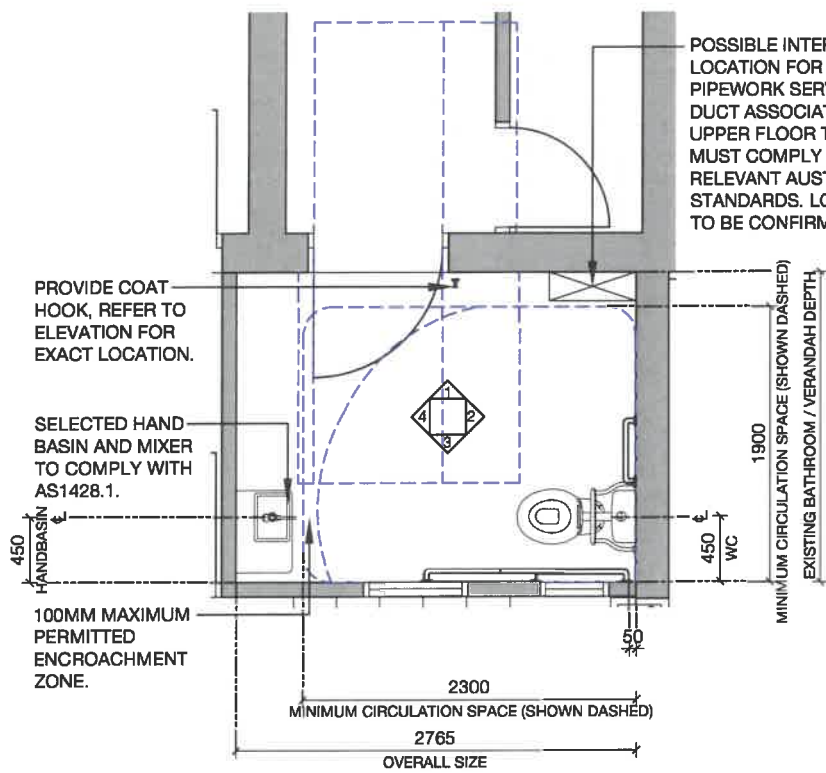
Project: EAST FREMANTLE POST OFFICE  
Drawing Title: PROPOSED WEST ELEVATION  
Date: AUGUST 2019  
Client: YARD PROPERTY

Scale@A3: 1:100  
Job No: 19-242  
Drawn: AP  
Checked: FK  
Revision: 1

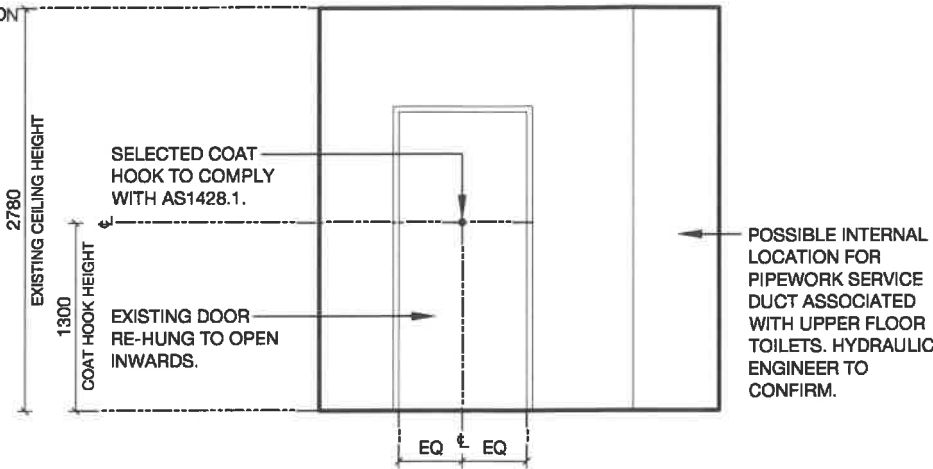
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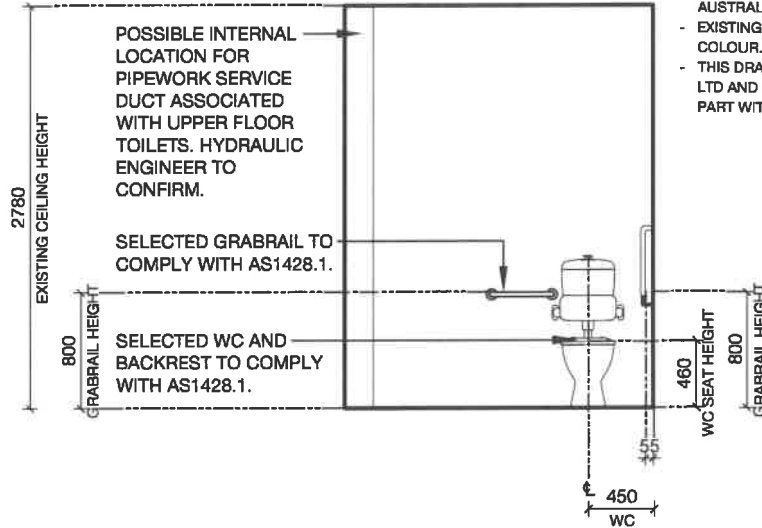




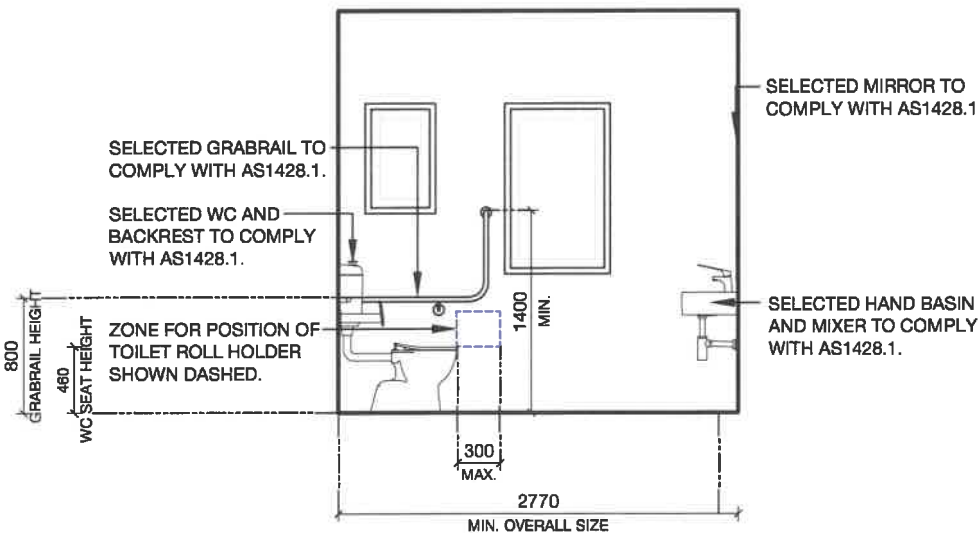
UAT PLAN  
1:50



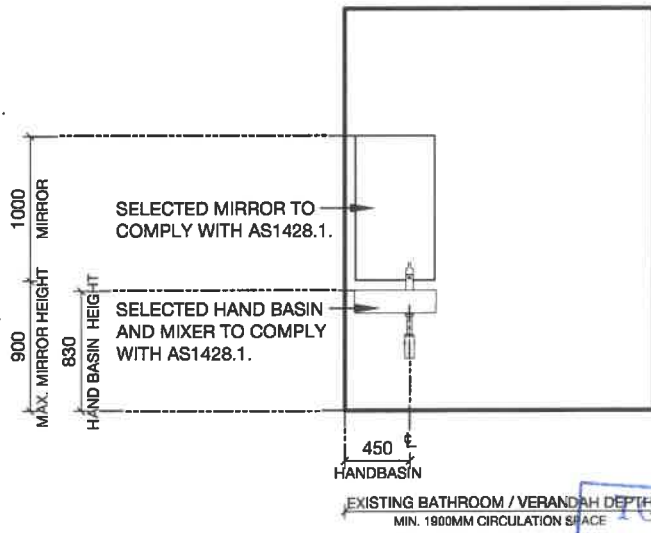
ELEVATION 1  
1:50



ELEVATION 2  
1:50



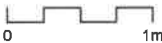
ELEVATION 3  
1:50



ELEVATION 4  
1:50

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INTERNAL ELEVATIONS  
1:50



EAST FREMANTLE POST OFFICE (FMR)  
101 CANNING HIGHWAY, EAST FREMANTLE WA 6158

Drawing Number: 208

Project: EAST FREMANTLE POST OFFICE  
Drawing Title: INTERNAL ELEVATIONS  
Date: AUGUST 2019  
Client: YARD PROPERTY

Scale@A3: 1:50  
Job No: 19-242  
Drawn: AP  
Checked: FK  
Revision: 1

element.

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- 
- 12. REPORTS OF OFFICERS (COUNCIL DECISION)**  
Nil.
  - 13. MATTERS BEHIND CLOSED DOORS**  
Nil.
  - 14. CLOSURE OF MEETING**