
TOWN OF
EAST FREMANTLE



AGENDA ATTACHMENTS

Town Planning & Building Committee

Tuesday, 4 October 2016 at 6.30pm

AGENDA ATTACHMENTS

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19 September 2016

MINUTES

Minutes of a Community Design Advisory Committee Meeting, Held In The Committee Meeting Area, On Monday, 19 September, 2016 Commencing At 6:00pm.

1. OPENING OF MEETING

1.1 Present

Cr Dean Nardi
Ms Alex Wilson
Dr Jonathan Dalitz
Mr Henty Farrar
Mr Andrew Malone Senior Town Planner

2. WELCOME

Cr Nardi welcomed members of the Community Design Advisory Committee.

3. APOLOGIES

Ms P Walker
Mr D Wittington
Ms V Collins
Mr D Tucker

4. LEAVE OF ABSENCE

Cr C Collinson

5. DECLARATIONS OF INTEREST

Nil

6. CONFIRMATION OF MINUTES

Moved Ms Alex Wilson – seconded Dr Jonathen Dalitz

That the minutes of the Community Design Advisory Committee meeting dated 18 July 2016 be accepted. CARRIED

7. BUSINESS

**7.1 *Staton Road No. 31 (Lot 2) – HH Architects
(Application No. P085/16 – 23 August 2016)***

Alterations and additions

- The Committee would like to acknowledge the comprehensive nature of the application and the use of the Burra Charter principles within the design of the development.
- The proposal is supported by the Committee.

**7.2 *George Street No. 156 (Lot 1) – R Long & C Cameron
(Application No. P087/16 – 29 August 2016)***

10 metre boundary fence

- The Committee do not support the proposed 1.8 metre high fence on top of the existing 0.8 metre high retaining wall, therefore impacting on the streetscape and character of the area.

19 September 2016

MINUTES

7.3 *Bedford Street No. 20 (Lot 404) – Gerard McCann Architect
(Application No. P090/16 – 30 August 2016)*

Demolition and construction of a two storey residence

- The Committee support the proposed development.
- The Committee appreciate the architect's consideration of the streetscape and character of the locality by reference to the excavation of the subject lot.

7.4 *Glyde Street No. 24 (Lot 78) – John Chisholm Design
(Application No. P091/16 – 30 August 2016)*

First floor addition to existing residence

- The Committee support the proposed development.

Late Item:

7.5 *Hamilton Street No. 25 (Lot 18) – M & S Lomma
(Application No. P096/16 – 14 September 2016)*

Alterations and additions

- The Committee do not support the alteration to the existing roofline (barge and scribe) to the front façade of the proposed development. The original character of the roof should be maintained.
- The Committee recommend the retention of the existing chimney.
- The Committee support the development in principle with the exception of the above 2 points.

9. BUSINESS WITHOUT NOTICE BY PERMISSION OF THE MEETING

Nil

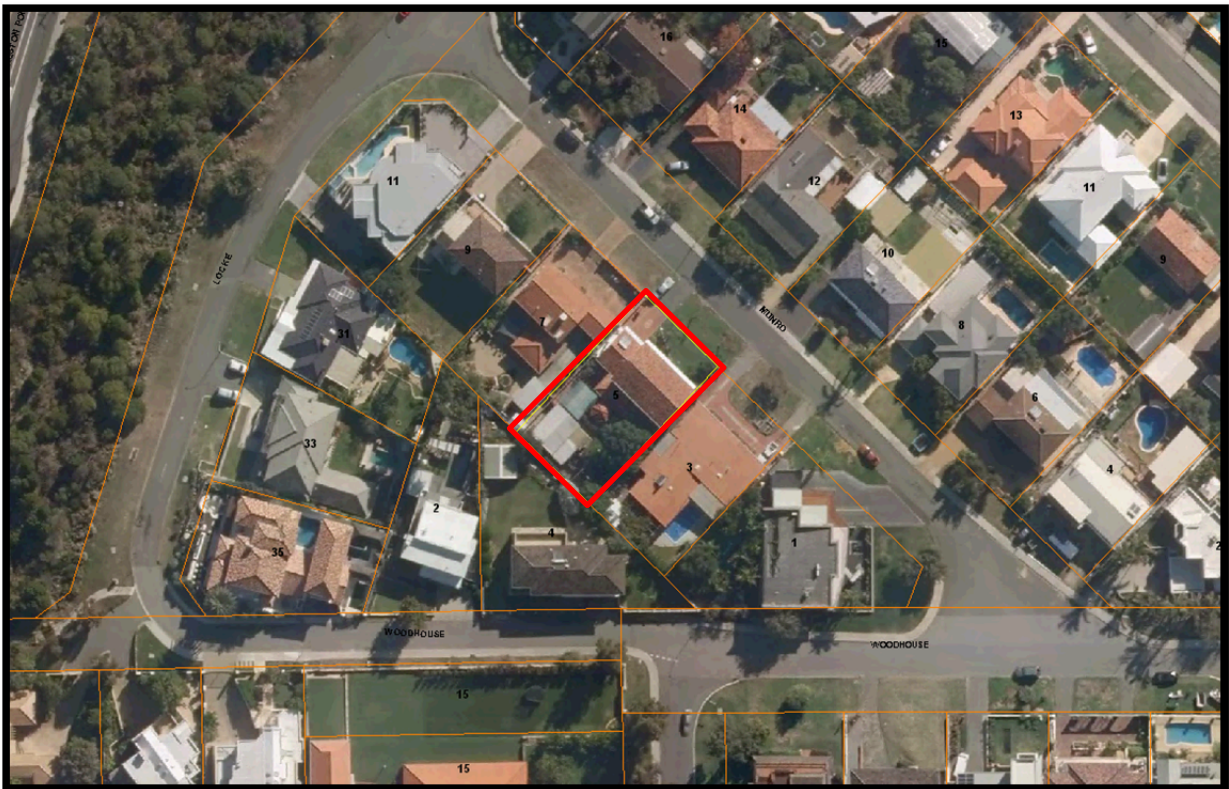
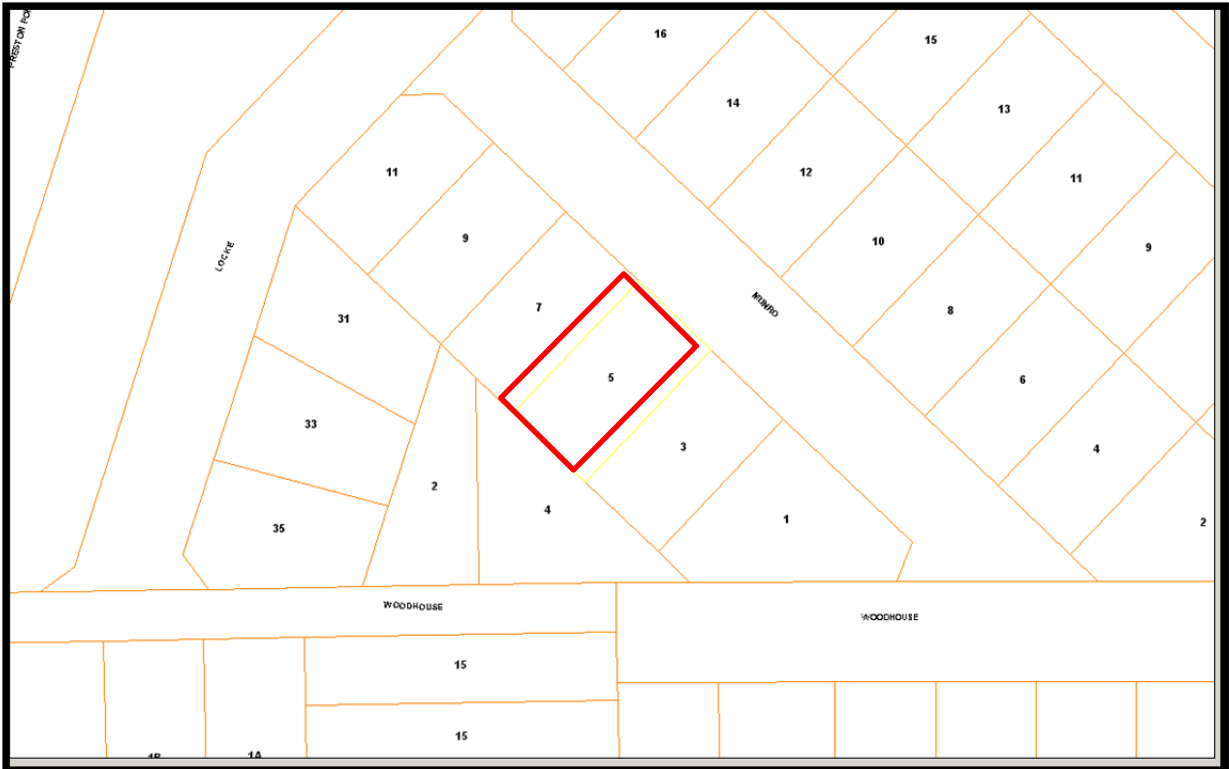
10. DATE & TIME OF NEXT MEETING

24 October 2016, commencing at 6pm.

11. CLOSE OF MEETING

There being no further business the meeting closed at 8.00pm.

No. 5 (Lot 5060) Munro Street – Demolition & Construction of a Two Storey Residence

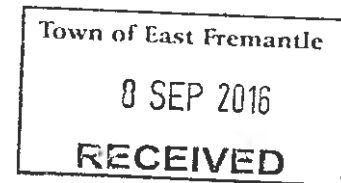






8 September 2016

Chief Executive Officer
Town of East Fremantle
PO Box 1097
EAST FREMANTLE WA 6959



Attention: Andrew Malone, Senior Town Planner

Dear Andrew,

APPLICATION FOR PLANNING APPROVAL – DEMOLITION & CONSTRUCTION OF A TWO STOREY RESIDENCE – LOT 5060 (NO. 5) MUNRO STREET, EAST FREMANTLE (REF: P072/16)

Further to your email dated 18 August 2016 and our subsequent meeting, please find below a submission prepared by Altus Planning & Appeals on behalf of Mr C & Mrs S Letizia of Viva Developments Pty Ltd ('the Applicants') to provide justification for the planning application for the demolition and construction of a two storey residence ('the proposed development' or 'proposal') at Lot 5060 (No. 5) Munro Street, East Fremantle ('the subject land' or 'land').

Please also find enclosed relevant copies of the amended plans dated 1 September 2016, scaled at 1:100 (A1).

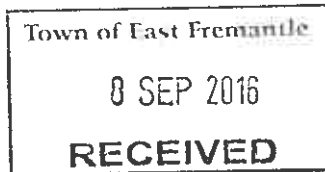
In response to your preliminary assessment and our subsequent communications, we have further considered your concerns and this submission will either justify certain elements of the proposal and/or identify changes which the Applicants have made in response.

We note the subject land exists as a residential allotment on the south-western side of Munro Street. The land measures approximately 736m² and currently exists with a two storey residential dwelling and an outbuilding.

The land is zoned 'Residential' pursuant to the Town of East Fremantle's ('the Town') Town Planning Scheme No. 3 ('TPS3') and has a density coding of 'R12.5'.

Planning considerations

We provide the following justification to address the Town's concerns having regard to the Town's TPS3, Local Planning Policy 2.1.1 – Residential Design Guidelines ('LPP2.1.1') and the requirements of the Residential Design Codes ('R-Codes').



Building on the boundary

The proposal incorporates a parapet wall on the eastern boundary that has a revised wall height of 3.530m (was 3.680m) and a length of 11.590m. Whilst it is acknowledged that the boundary wall exceeds both the height (3m) and length (9m) as prescribed in Acceptable Development Provision A3 of Element 3.7.7.3 of LPP2.1.1, we are of the view that the boundary wall will not have any adverse impacts on the adjoining properties or the streetscape. Specifically, we submit that the wall is capable of approval for the following reasons:

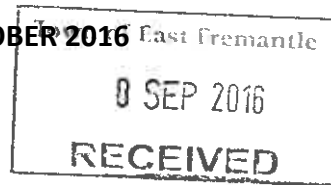
- (i) Whilst the height of the wall will be visible from the street, the length of the wall will not be noticeable;
- (ii) The height of the wall does not impinge on the amenity of the adjoining property and their views;
- (iii) The amount of overshadowing onto the adjoining property is compliant with the deemed-to-comply requirements of the R-Codes;
- (iv) The boundary wall is for the garage of the proposal and as it does not contain any openings, there are no privacy concerns;
- (v) The location of the boundary wall is such that it is adjacent to the carport on the neighbouring property; and
- (vi) The existing development on the subject land incorporates a carport built up to the same lot boundary.

Furthermore, it is our understanding that the only neighbour potentially affected by this boundary wall (being the neighbour at No. 7 Munro Street) viewed the plans during advertising and did not lodge a submission with the Town. If this neighbour had any concerns with this wall or the proposal more generally, then they would have been made known through the advertising period.

Front setback

The revised plans have increased the front setback of the First Floor from 6m to 6.2m which has been achieved by taking 200mm off Bedroom 1 and the adjoining Balcony. The Ground Floor setback remains at 5.226m to the Gym / Guest.

The proposed development was initially designed at a time when Amendment No. 11 was being considered which would have changed the R-Code density for the Richmond and Richmond Hill Precincts from R12.5 to R17.5. Under a density coding of R17.5, the primary street setback pursuant to the R-Codes is 6m and the primary building bulk of the development would be compliant, whereas for an R12.5 density coding, Table 1 of the R-Codes stipulates a primary street setback of 7.5m.



Notwithstanding the above, Performance Criteria P1.1 of Element 3.7.7.3 of LPP2.1.1 provides that the primary street setback of new developments is to match the traditional setback of the immediate locality. In that regard, the existing dwelling on the subject land has a primary street setback of approximately 6m to the verandah and approximately 7.5m for both the Ground and First Floor (refer to Photo 1 at Attachment 1). Whilst the proposed development has a lesser setback, the revisions to the First Floor are such that should the adjoining property to the south-east (No. 3 Munro Street) be similarly re-developed with a two storey development, the impact on that neighbouring property's views towards the Swan River are minimal.

Furthermore, in reviewing aerial imagery of the locality (refer to Aerial/Cadastre at Attachment 2), the setbacks to Munro Street appear to vary from anywhere between 5-8m. Specifically, the orientation of No. 1 Munro Street (corner of Woodhouse Road) is such that the proposed setback would have an adverse impact on the consistency of the existing streetscape, particularly on the southern side (refer to Photo 2 at Attachment 1).

Rear setback

The revised plans have increased the rear setback of the First Floor from 2.91m to 4.60m which has been achieved by redesigning Bath 2 and the adjoining Hidden Gaming Centre, as well as setting Bed 2 and Bed 3 back a further 300mm. As a result of these changes, the overshadowing to No. 4 Woodhouse Road (to the rear) has been decreased from 6% to 4.8% and the overshadowing to No. 3 Munro Street (south-east) has remained at 14%, both of which remain compliant with the deemed to comply requirements of the R-Codes.

Whilst the rear setbacks of the proposal do not meet the 6m setback outlined in Table 1 of the R-Codes for an R12.5 property, Design Principle P3.2 of Element 5.1.3 of the R-Codes provides that:

"Building set back from lot boundaries so as to:

- *Reduce impacts of building bulk on adjoining properties;*
- *Provide adequate direct sun and ventilation to the building and open spaces on the site and adjoining properties; and*
- *Minimise the extent of overlooking and resultant loss of privacy on adjoining properties."*

In relation to the above, we submit that the impacts of building bulk on the adjoining properties (in particular No. 4 Woodhouse Road, to the rear) is reduced by the First Floor setback that is greater than the Ground Floor; the revisions to the rear setback of the First Floor further achieve this. Furthermore, by further setting back to First Floor, the level of overshadowing onto the adjoining property is reduced to 4.8% (compliant with the R-Codes requirement for a maximum of 20%) and also lessens any impact on the neighbouring property's existing views towards the river from their balcony. In this regard, we submit that this neighbour has for many years had a dwelling which, by

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virtue of its design and the topography of the land, has had an over-bearing impact on the subject land (refer to Photo 7 of Attachment 1). We submit that it should not be perceived that any variations to the rear setback will have an unreasonable impact to the rear neighbour.

In terms of visual privacy, the Ground Floor of the south-western elevation only consists of two (2) openings; a glass door from the Laundry (a non-habitable room) and a window from the Crafts Room which is of a lower height than the boundary fence. As for the First Floor, the setback is now 4.60m with translucent opaque glass for the windows of Bath 2 and is considered to satisfy the deemed to comply requirements of the R-Codes in relation to visual privacy.

Accordingly, the Applicant submits that the rear setback is capable of approval under the relevant Design Principle of the R-Codes.

Side (north-west) setback

The proposed Alfresco is setback 1.067m from the north-western boundary, as opposed to 1.5m in accordance with Table 2a of the R-Codes.

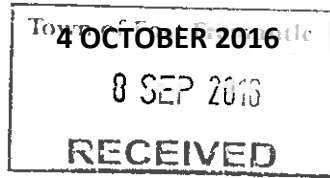
Notwithstanding the above, the Applicant submits that the setback satisfies the relevant Design Principle (P3.2) of Element 5.1.3 of the R-Codes as it is an 'open' structure with only the supporting pillars and roof that encroach on the deemed to comply setback and therefore it is considered that any building bulk or perceived building bulk will be limited. The openness of the structure and its location on the north-western boundary also means that there will be no adverse impacts by way of access sunlight and ventilation for both the subject land and adjoining property.

Furthermore, the rendered brick boundary fence is 1.8m in height and therefore limits any potential overlooking into the neighbouring property.

Visual privacy

The window of the proposed Library on the First Floor is setback 2.747m from the north-western boundary and therefore does not satisfy the deemed to comply setback of 4.5m as per Element 5.4.1 of the R-Codes. Notwithstanding this, the setback complies with the relevant Design Principles as there is minimal direct overlooking of active habitable spaces and outdoor living areas of the adjacent dwelling. Specifically, any person standing at the north-western Library window would only be overlooking the neighbouring carport and front setback area of the adjoining property (refer to Photos 4-6 of Attachment 1).

The proposed Decking adjoining the north-western boundary is, at its highest point, approximately 1.2m above Natural Ground Level ('NGL') and whilst it is not setback 7.5m in accordance with deemed to comply provision C1.1i. of the R-Codes, it is provided with a 1.6m high screen Above Floor Level ('AFL') to restrict overlooking into the adjoining property and therefore satisfies deemed to comply provision C1.1ii. and C1.2. The top section (approximately 400mm) of the fence/screening



is now proposed to be lightweight visually impermeable screening so as to reduce the bulk or perceived bulk when viewed from the neighbouring property.

The Applicant also reiterates that the adjoining neighbour that is potentially affected by the above viewed the proposed plans during the advertising period and did not submit an objection.

Site fill

As mentioned above, the proposal incorporates 1.2m of fill above NGL at the Pool/Deck area to address the sloping of the land and has been done to reduce the amount of cutting for the pool and also reducing pool fencing requirements. Whilst this section is not consistent with the deemed to comply provisions of Element 5.3.7 of the R-Codes or the Acceptable Development Provisions of Element 3.7.4.3 of LPP2.1.1, the balance of the proposal respects the NGL at the boundary and furthermore, is not considered to negatively impact on the streetscape character and amenity which slopes towards the river.

Accordingly, the Applicant submits that the proposed site fill is capable of approval in accordance with the relevant Design Principles and Performance Criteria of the R-Codes and LPP2.1.1.

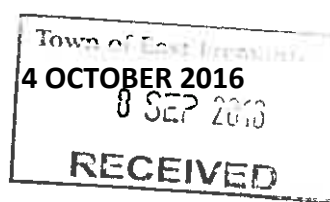
Building height, form, scale and bulk

The building height for the entire dwelling on the revised plans has been reduced by 150mm so that the maximum height (at the northernmost point) is now 7.5m. However, have regard to the slope of the NGL it noted that the overall height of the two storey portion of the dwelling in fact ranges from 5.9m to 7.5m. Whilst the maximum height of the proposal exceeds the Acceptable Development Provision (A1.4) of Element 3.7.17.4.1.3 of LPP2.1.1 which is 6.5m for a concealed roof, the overall height remains less than what is permissible for a pitched roof. Furthermore, the bulk or perceived bulk of the proposal is reduced by the various building materials, decorative feature panelling, balcony, and the fact that the majority of the First Floor is setback further than the Ground Floor.

As it exists, the Munro Street streetscape currently exists with a mixture of single and two storey dwellings. The properties within the streetscape that have been redeveloped are double storey, some with a mixture of pitched and concealed roof forms. The proposed dwelling is considered to be consistent with these redevelopments and will not have an adverse impact on the immediate locality.

In revising the plans to address the Town's initial concerns, the Applicant has made a concerted effort to ensure that the proposed development does not hinder the adjoining properties' access to views, particularly once they themselves redevelop. This has been achieved by increasing the front and rear setbacks, as well as reducing the overall height of the building.

The Applicant also reiterates that the revised proposal is compliant with the overshadowing requirements of the R-Codes and does not adversely impact the adjoining properties' access to direct sun or daylight into major openings; the proposal only overshadows the part of the backyard



of No. 4 Woodhouse Road (rear), and the carport and part-backyard of No. 3 Munro Street (south-east).

Having regard to the above, the Applicant submits that the proposed building height, form, scale and bulk complies with the Performance Criteria and Design Principles of LPP2.1.1 and the R-Codes.

Crossover width

Pursuant to Acceptable Development Provision A2.2 of Element 3.7.14.3 of LPP2.1.1, the maximum crossover width for a lot with a frontage greater than 12m is 30% of the lot frontage (up to a maximum of 5m).

The revised plans enclosed have reduced the crossover width from 5.84m to 5m and given the subject land has a frontage of 20.12m, the crossover is now compliant with the relevant Acceptable Development Provision of LPP2.1.1.

Dividing fence

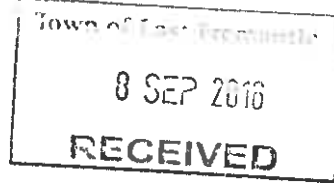
For clarification, and as already explained, the proposed rendered brick fence is 1.8m high from the ground level at the subject's land boundary (1.6m at the Deck/Pool area) and provides screening for various elements, as mentioned above.

Conclusion

The Applicant is proposing a two storey residential dwelling at the subject land which replaces an existing two storey dwelling. Following the Town's initial assessment, an email was provided to the Applicant on 18 August 2016 outlining areas which required revisions or further information. We have since met with the Town to discuss these matters and the Applicant has subsequently prepared revised plans for the proposal to address the issues raised. As part of this, the Applicant has also considered the one (1) submission that was received during the advertising period.

The Applicants have made endeavours to address all of the issues raised by the Town, particularly in terms of reducing the amenity impacts (real or perceived) on the adjoining neighbours and their access to views. It is noted that elements of the proposal such as setbacks, site fill, visual privacy, and building height, do not meet the deemed-to-comply requirements of the R-Codes or the Acceptable Development Provisions of LPP2.1.1. However, it is our experience that this situation is not unusual when redevelopment occurs in established suburbs. For the reasons provided in this submission, it is our view that the proposal satisfies the relevant Design Principles of the R-Codes and the Performance Criteria of LPP2.1.1 relating to these elements and should therefore be granted approval by the Town having regard to the principles of orderly and proper planning.

I trust this information is to your satisfaction. Should you have any questions regarding the above mentioned, please do not hesitate to contact myself or the Director, Joe Algeri on 9474 1449. We otherwise look forward to your favourable determination.



Yours faithfully,

A handwritten signature in cursive script, appearing to read "Ben Laycock".

Ben Laycock

Planning Officer – Altus Planning & Appeals

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Photo 1: Existing two-storey dwelling on the subject land



Photo 2: Adjoining properties to the south-east (No. 1 & 3 Munro Street)

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Photo 3: Adjoining two-storey developments to the north-west (No. 7 Munro Street onwards)



Photo 4: North/north-western view from the First Floor of the existing dwelling (location of the proposed Library)

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Photo 5: View of possible overlooking into No. 7 Munro Street from the proposed Library



Photo 6: Possible view from the south-western window of the proposed Library

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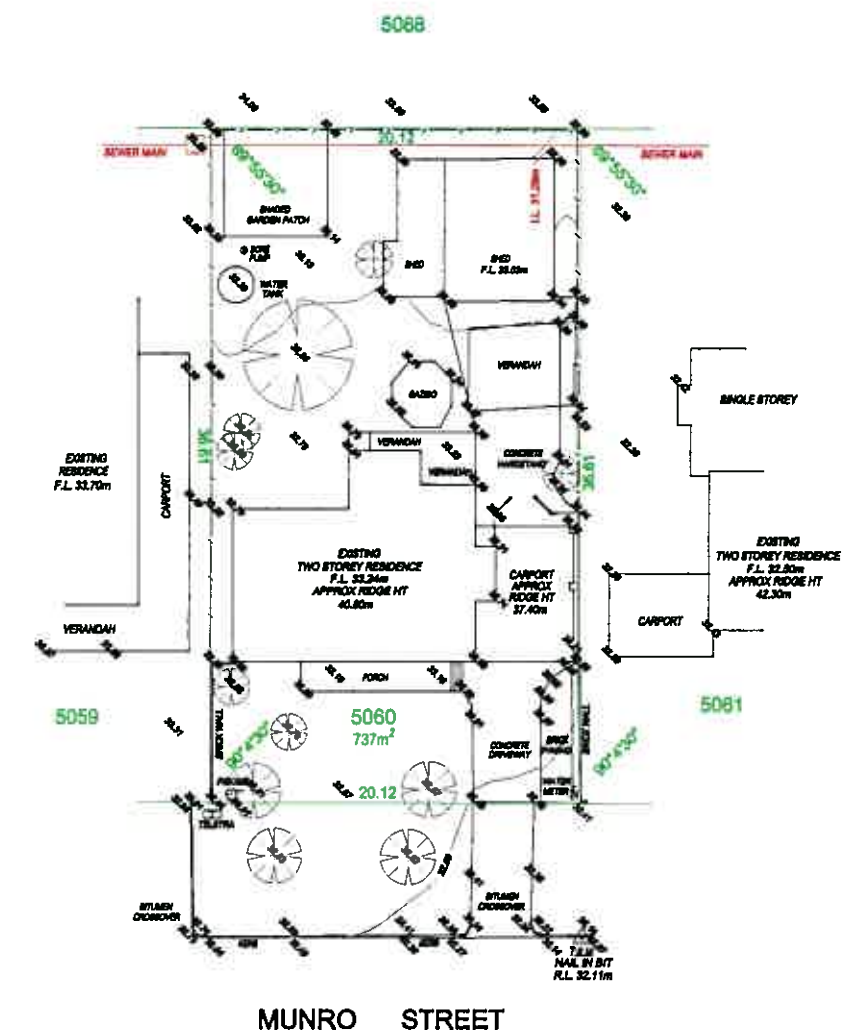
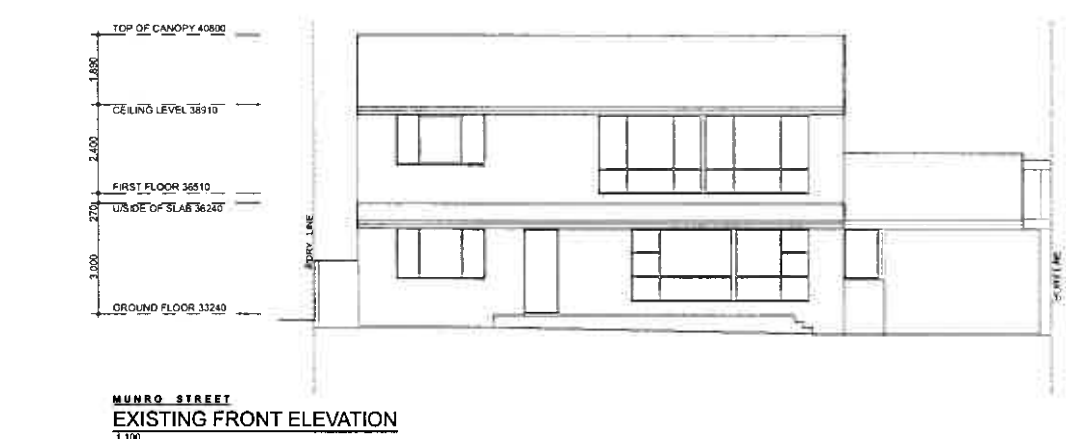
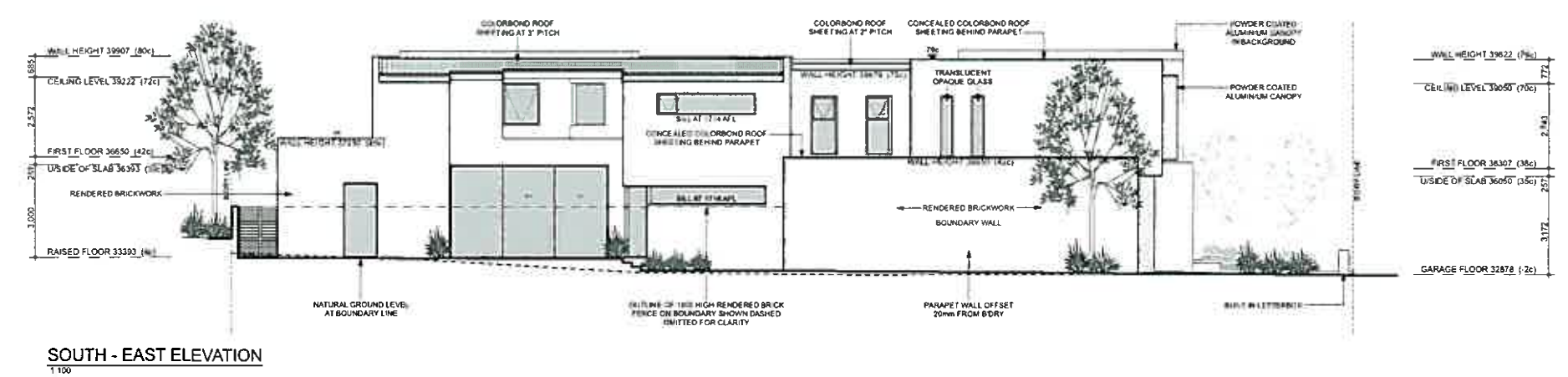
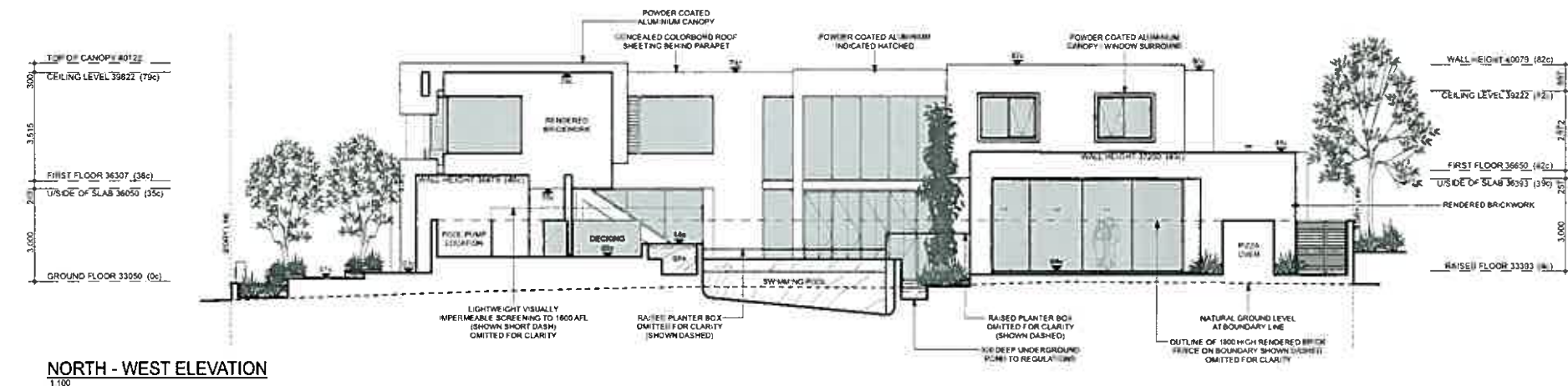
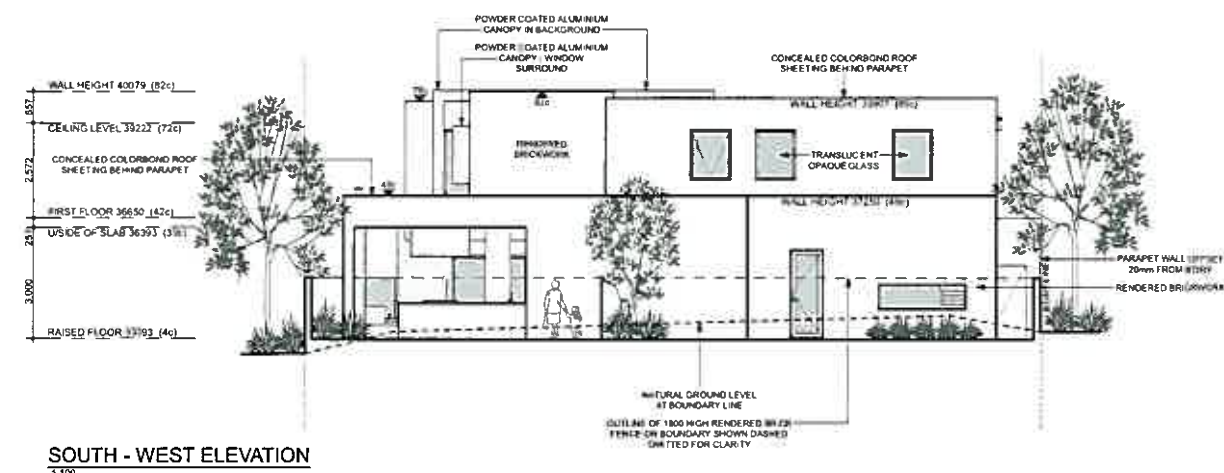
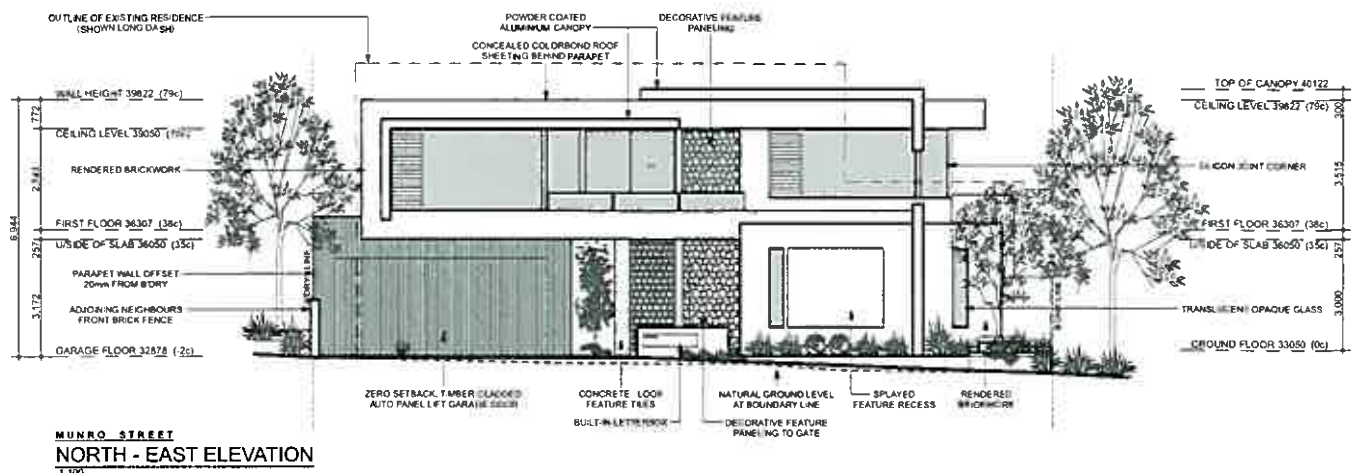


Photo 7: Subject land's existing backyard and view of two storey dwelling at No. 4 Woodhouse Road

Proposed Schedule of Materials for Lot 5060 / No. 5 Munro Street, East Fremantle

- All brick work to be rendered, with colour to be Dulux Winow (Off White in colour)
- Roof to be trim deck Surfmist
- Window frame colours to be a combination of silver and timber look
- Screening to be copper / bronze colour
- Powder coated aluminium to be a bronze or grey
- Garage door to be a timber batten look
- Washed aggregate to be light in colour with dark contrasting feature paver

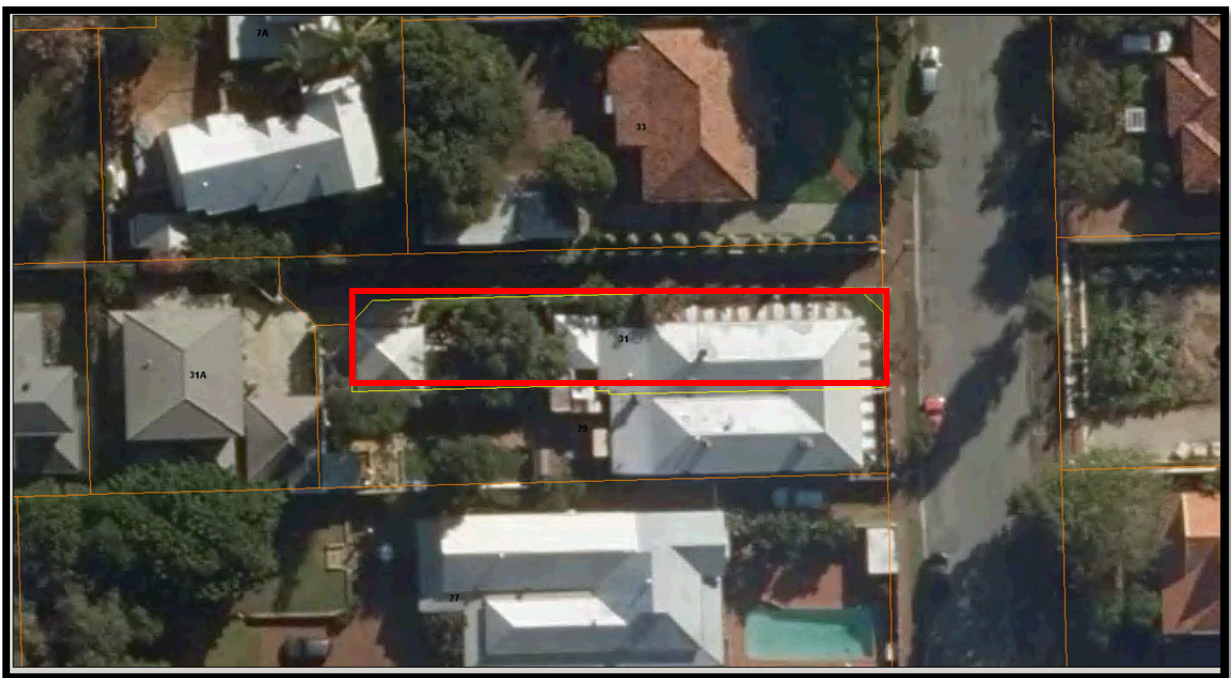
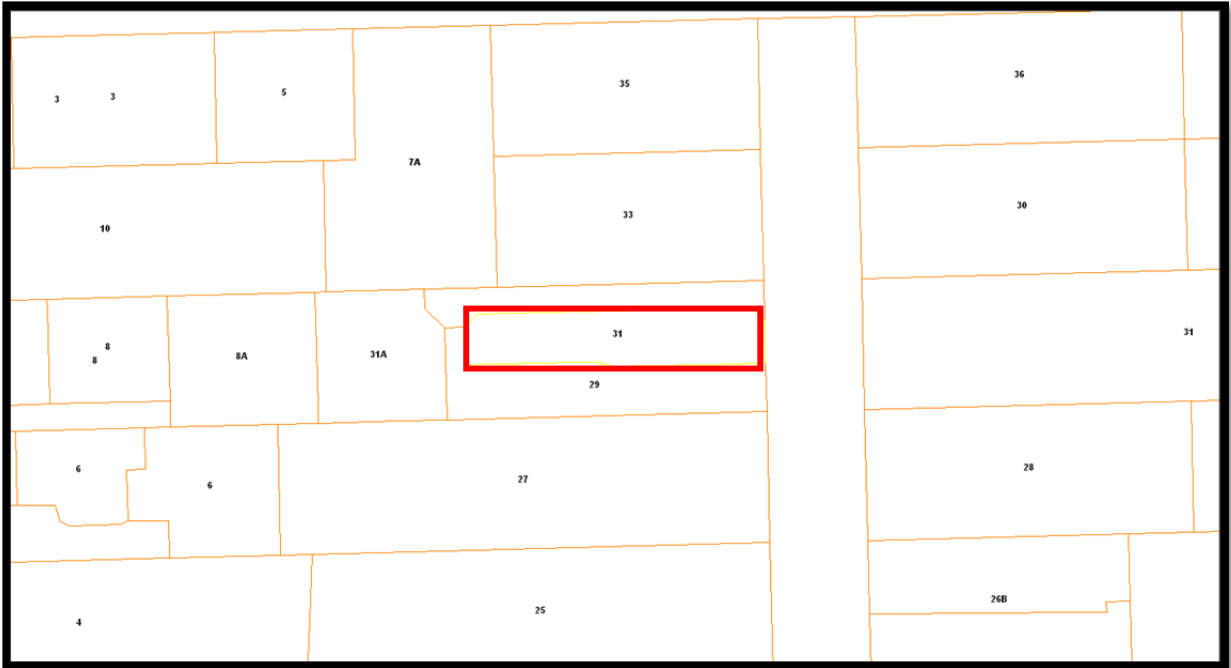




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| PROJECT Proposed Residence | DRAWN D.L. | REVISION 01-09-2016 | |
| CLIENT Letizia | DATE SEPT. 2016 | © Copyright | |
| ADDRESS Lot 5060 Munro Street East Fremantle | SCALE 1:100 | SHEET 2 OF 2 | |
| JOB NO. 106-16 (A1) | | | |

NO. 31 (LOT 2) STATON ROAD – ALTERATIONS & ADDITIONS, 'B' LISTED







H+H architects

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| HERITAGE IMPACT STATEMENT | |
|---------------------------|----------------------------------|
| Name of Place: | No. 31 Staton Rd, EAST FREMANTLE |
| Date: | August 2016 |
| Prepared by: | H + H Architects |
| Prepared for: | Gavin Bartels |



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Heritage Listings:

Town of East Fremantle Town Planning Scheme No. 3 Municipal Heritage Inventory – adopted as Category B Heritage Place. Heritage List Assessment No. A35110. According to the MHI, Management Category B requires a High level of protection: A more detailed Heritage Assessment/Impact Statement to be undertaken before approval is given for any development. Incentives to promote conservation should be considered.

Statement of Significance:

The Statement of Significance specific for 31 Staton Road, RICHMOND from the Town of East Fremantle Town Planning Scheme No. 3 Municipal Heritage Inventory is as follows:

Nos 29-31 Staton Road are a pair of single storey houses constructed in limestone and brick with a corrugated iron roof. The pair has historic and aesthetic value for its contribution to Richmond's high concentration of predominantly Federation and Inter-War period houses and associated buildings. The place contributes to the local community's sense of place.

The place has considerable aesthetic value as a Federation Bungalow. The place retains a moderate degree of authenticity and a high degree of integrity.

The additions and house to the rear have no significance.

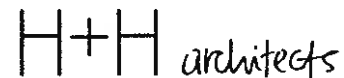
The following works are proposed to the place. Where aspects of the proposal could detrimentally impact on the heritage significance, the reasons are explained as well as the measures to be taken to minimize impacts:

31 Staton Road, Richmond is proposed to be renovated and developed in order to expand the functionality of the place, with extensions primarily proposed to the rear of the existing building to accommodate new Kitchen, Living, Dining, Laundry and Outdoor Living areas. Works are also proposed to the interior of the existing heritage building. The following outlines the proposed works in detail and their impact on the heritage values of the place:

EXISTING BUILDING

- It is proposed that the existing Bed 3 will be converted to a Dressing/Ensuite by inserting a new partition wall into the existing Bedroom. A skylight will be added to the new Ensuite to allow natural light and ventilation into the space. Although the new partition will change the internal configuration of the spaces, the original proportions of the room will remain evident. The existing door into Bed 3 will be repositioned to accommodate the new shower, but will be re-instated and the existing wall will be made good.
- It is proposed that the existing Timber Door Suite will be removed from the existing Living Room.





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New steel framed windows/doors will be inserted into existing opening (Refer D07). The existing doors comprise French glazed doors, which appear to date from more recent alterations and additions and are of low significance. The new doors will be located within the existing door opening and therefore will not have any impacts on the surrounding masonry fabric. The new aesthetic of the doors will assist in tying together new and old.

- It is proposed to replace the existing timber infill panels to the limestone fence with new steel bars. The existing timber infill panels date from more recent alterations and additions and have no heritage significance. The proposed new steel bar infill will improve security and have increased durability compared to the timber, and will not detract from the aesthetic values of the heritage building.
- It is proposed to remove the existing rear addition comprising Kitchen, Bathroom and Outdoor Living area. These are of no heritage significance and their removal will not have any heritage impacts.
- It is proposed a New Contemporary Addition in Semi-Industrial style comprising new Kitchen, Living, Dining, Laundry and Outdoor Living areas is constructed. The new addition will be constructed on the footprint of the previous addition, with a new outdoor living space introduced to the west.
- It is proposed that the existing outhouse is retained and converted to a Wine Cellar to preserve its historic value. The new addition will deliberately connect with the existing outhouse and integrate it into the interior fabric of the house. The outhouse door will be removed and replaced with a glass infill panel. The new addition extends further north than the existing rear addition in order to maximize the full width of the lot, but will not be visible from the street as it is only single storey and will be obscured by the existing verandah which extends along the North Façade.

Conclusion:

The new development is sympathetic to the heritage values and significance of 31 Staton Road EAST FREMANTLE. The alterations and additions will be located to the rear of the lot by virtue of their small scale and setback. They will not be readily visible from the street and will not impact on the aesthetic values of the existing residence. The existing Residences Federation Style Bungalow Elevations will be retained, thus retaining the sites contribution to Richmond's high concentration of predominantly Federation and Inter-War period houses and associated buildings, which contributes to the local community's sense of place.

The proposed works are generally in accordance with Burra Charter principles in terms of minimizing changes to the significant fabric, making new work readily identifiable as such, and allowing for compatible use through sensitive adaptation of the place.

The new works will be undertaken with direction by appropriately qualified professionals, and will be designed to have minimal impact on the surrounding heritage fabric.

References:

Town of East Fremantle Town Planning Scheme No. 3, Municipal Heritage Inventory
 Australia ICOMOS *Burra Charter*, 1999



TOWN OF EAST FREMANTLE
 PLANNING APPLICATION
1917/16 No
 23 AUG 2016 P 085 - 16
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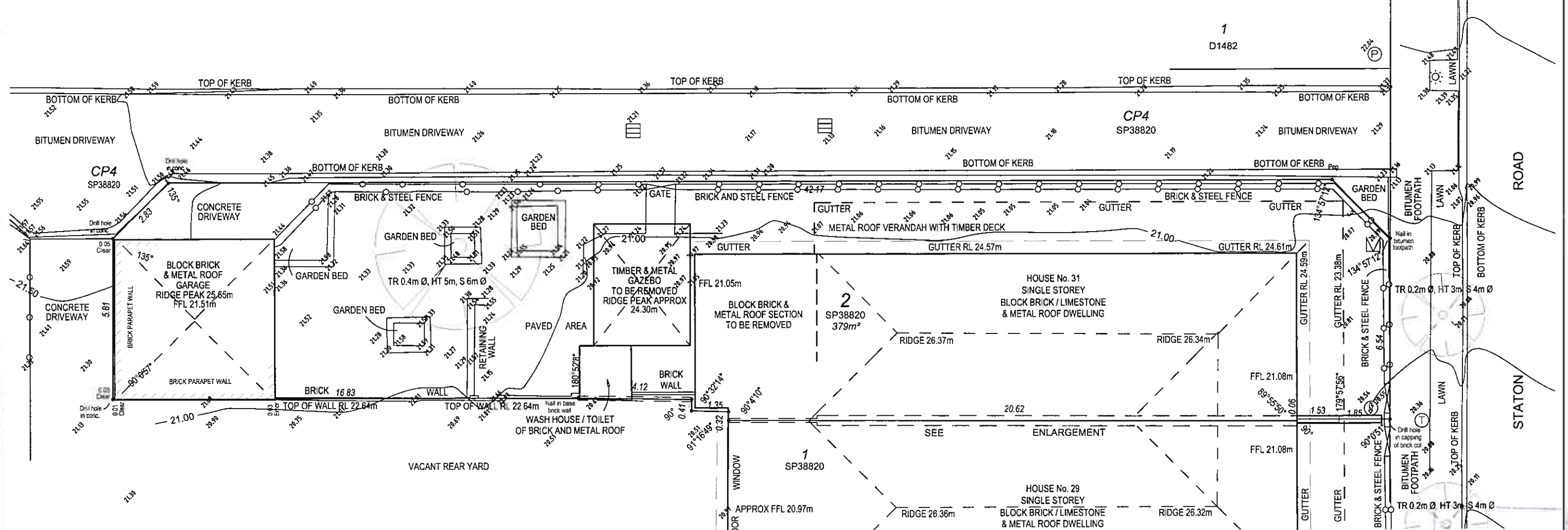
DEVELOPMENT APPLICATION



LOCKE/BARTELS RESIDENCE

31 STATON ROAD
EAST FREMANTLE WA

| | |
|------------|------------|
| DRAWING No | COVER |
| DRAWING | - |
| SCALE | NTS |
| JOB NUMBER | |
| DATE | 30.07.2016 |
| DRAWN | LS |

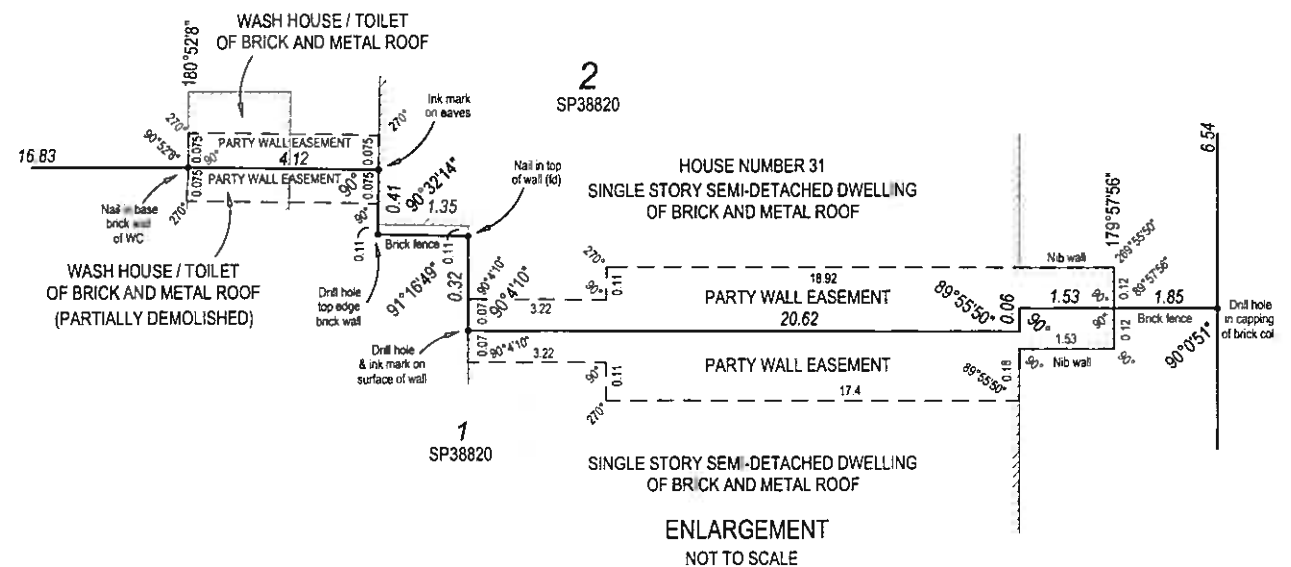


LEGEND

| SYMBOL | DESCRIPTION |
|--------|-----------------------|
| | ELECTRICAL CONNECTION |
| | GATE |
| | GULLY |
| | LIGHT POLE |
| | POWER DOME |
| | SITE TBM |
| | TELCO PIT |
| | TREE |
| | WATER METER |

NOTES:

- VERTICAL DATUM: AHD (SEWER MANHOLE LID No 0723, RL 26.11m AHD)
- HORIZONTAL DATUM: BASED ON CADASTRAL BOUNDARY (REFER DWG 5007 SHEET 1 ISSUE 2).
- FOR SEWER INFORMATION REFER WATER CORPORATION SEWER PLAN - SUPPLIED.
- ONLY VISIBLE FEATURES HAVE BEEN LOCATED BY FIELD SURVEY.
PRIOR TO ANY CONSTRUCTION, EXCAVATION OR DEMOLITION THE RELEVANT SERVICE AUTHORITIES SHOULD BE CONTACTED TO CONFIRM LOCATION OF ALL UNDERGROUND AND NON VISIBLE SERVICES.
- ONLY TREES WITH TRUNK SIZE GREATER THAN 0.3mØ HAVE BEEN LOCATED BY FIELD SURVEY.
- REFER TO CERTIFICATE OF TITLE FOR ENCUMBRANCES.



SCALE 1:100 @ A2 SIZE

SITE DETAILS
 Soil: Sandy / loam / Limestone / Rock
 Ret: Lawns / Gardens
 Power: Overhead / Underground
 Other:



DRISCOLLS
 LAND SURVEYORS
 Suite 7, 237 Stirling Highway, Claremont
 P (08) 9385 1122 F (08) 9384 6689
 E admin@driscolls.net.au

DESCRIPTION:
FEATURE PLAN
 LOT 2 ON SP 38820
 31 STATON STREET, EAST FREMANTLE
 CERT. OF TITLE - VOL: 2201 FOL: 795

CLIENT:
NATALIE LOCKE & GAVIN BARTELS

Produced for the exclusive use and benefit of our client only.
 DWG N°: **5007**
 SHEET N°: **2**
 CAD: 5007 SHT2 ISS1.DWG

| AMENDMENTS | | | | | |
|------------|------------|-----|---|------|--|
| ISS N° | DATE | DWN | DESCRIPTION | CHKD | |
| 1 | 04.03.2016 | JWA | SURVEYED 04.03.2016 (REFER OFFICE FB 480) | VRS | |

OVER SMALLER SCALE DRAWINGS.
THE CONTRACTOR SHALL CARRY OUT THE WORK IN ACCORDANCE WITH THE N.C.C. & LOCAL AUTHORITY REQUIREMENTS.

ALL MATERIAL SHALL BE OF NEW, GOOD QUALITY & CONFORM TO WHAT IS SHOWN ON THE DRAWINGS.





THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.

SITE VISIT - THE CONTRACTOR SHALL BE REQUIRED TO VISIT & ACQUAINT HIMSELF WITH ALL VISIBLE SITE CONDITIONS & ACCESS TO THE SITE.

LEGEND

- B. BASIN
- BA. BATH
- SHR. SHOWER
- WC. TOILET
- ST. STORAGE
- WM. WASHING MACHINE
- S. SINK
- DW. DISHWASHER
- PA. PANTRY
- O. OVEN
- CT. COOKTOP
- AP. APPLIANCE CUPBOARD
- MW. MICROWAVE
- S.E. STRUCTURAL ENGINEER.
- SO. SHELF OVER.
- VB. VANITY BASIN.
- FW. FLOOR WASTE

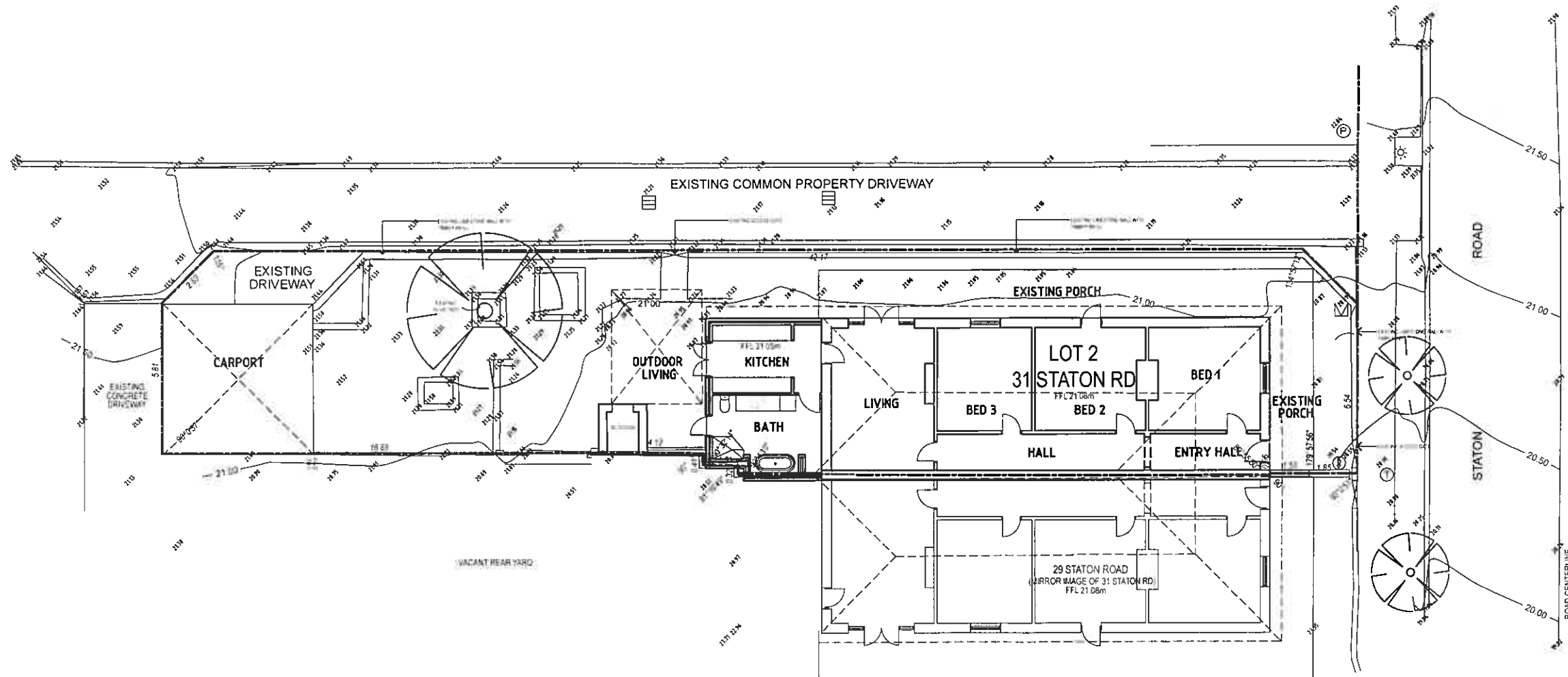
WALL LEGEND

-  NEW BRICK WALL
-  TOOTH IN NEW BRICK WALLS TO EXISTING BRICK WALLS TO BCA REQUIREMENTS & RELEVANT AUSTRALIAN STANDARDS
-  EXISTING BRICK WALL TO BE RETAINED
-  EXISTING BRICK WALL TO BE DEMOLISHED

CRITICAL RADIANT FLUX OF ANY NEW FLOOR COVERINGS TO BE NO LESS THAN 2 KW/M2 AS PER BCA SPEC C110 TABLE 2
WALL & CEILING LINING MATERIALS TO COMPLY WITH BCA SPEC C110 TABLE 3 (MATERIALS GROUPS PERMITTED) (AS PER BUILDING CLASSIFICATION 9B UNSPRINKLERED - MATERIALS GROUPS 1,2 & 3)

NOTE THAT ALL REFERENCES TO AS /NZS STANDARDS ARE TO BE TAKEN TO MEAN THE CURRENT VERSION AS SPECIFIED IN BCA 2015 VOLUME ONE - SPECIFICATION A13 - TABLE 1 'DOCUMENTS ADOPTED BY REFERENCE'

STRUCTURAL ENGINEERS CERTIFIED CONSTRUCTION DETAILS OVERRIDES ARCHITECTURAL DETAIL



EXISTING SITE/FLOOR PLAN

SCALE 1:200
105 SQM EXISTING HOUSE
27 SQM EXISTING EXTENSION

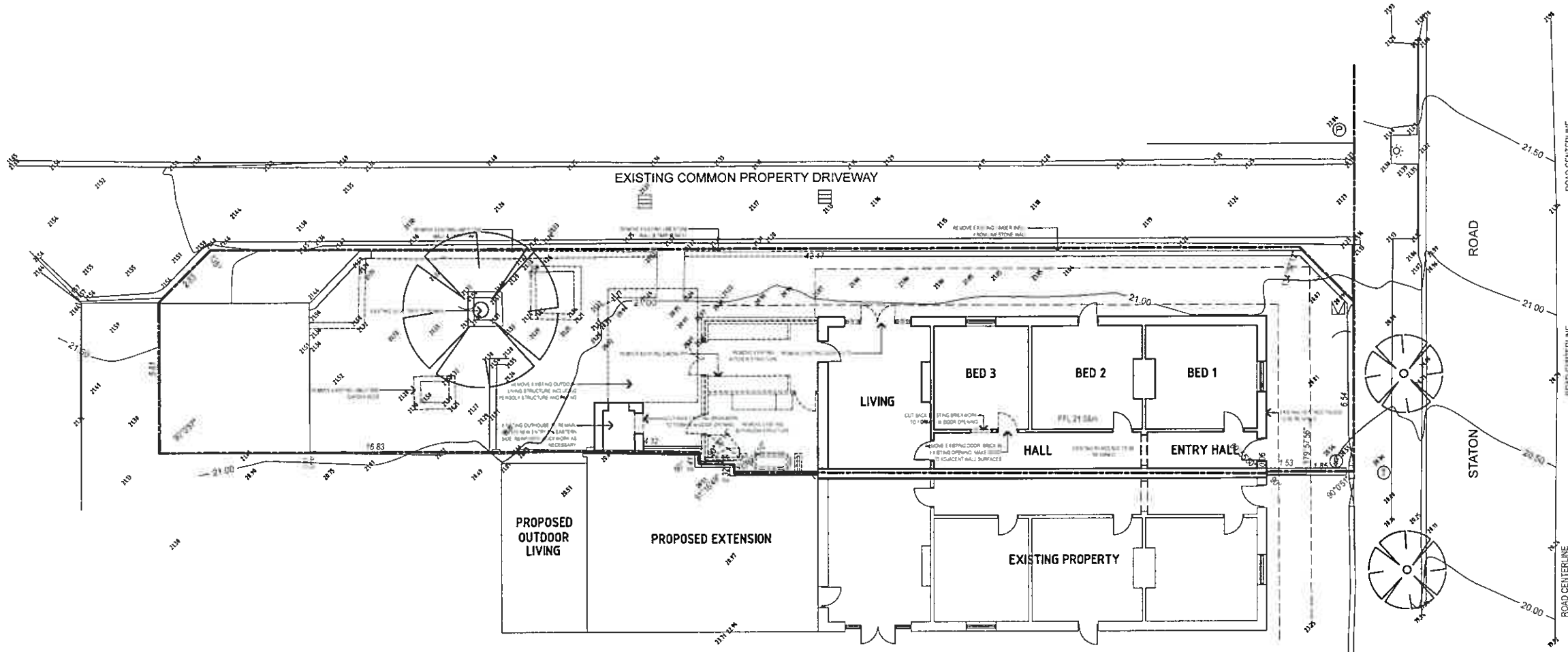


LOCKE/BARTELS RESIDENCE

31 STATON ROAD
EAST FREMANTLE WA

DRAWING No 1
DRAWING PLAN
SCALE 1:200 @ A3
JOB NUMBER
DATE 30.07.2016
DRAWN LS

ALL DIMENSIONS ARE IN METRIC MILLIMETRES
 WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONING.
 LARGE SCALE DRAWINGS SHALL TAKE PREFERENCE OVER SMALLER SCALE DRAWINGS.
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 THE CONTRACTOR SHALL CHECK & VERIFY ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.
 SITE VISIT - THE CONTRACTOR SHALL BE REQUIRED TO VISIT & ACQUAINT HIMSELF WITH ALL VISIBLE SITE CONDITIONS & ACCESS TO THE SITE.



LEGEND

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- BA. BATH
- SHR. SHOWER
- WC. TOILET
- ST. STORAGE
- WM. WASHING MACHINE
- S. SINK
- DW. DISHWASHER
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- MW. MICROWAVE
- S.E. STRUCTURAL ENGINEER
- SO. SHELF OVER
- VB. VANITY BASIN
- FW. FLOOR WASTE

WALL LEGEND

- NEW BRICK WALL
- TOOTH IN NEW BRICK WALLS TO EXISTING BRICK WALLS TO BCA REQUIREMENTS & RELEVANT AUSTRALIAN STANDARDS
- EXISTING BRICK WALL TO BE RETAINED
- EXISTING BRICK WALL TO BE DEMOLISHED

SPECIFIC NOTES

REMOVE EXISTING INTERNAL FIXTURES & FINISHES INCLUDING BUT NOT LIMITED TO SKIRTINGS, TILES (FLOOR AND WALL), MECHANICAL SERVICES, HOT WATER SERVICES, PLUMBING FIXTURES & FITTINGS, ELECTRICAL FITTINGS, CEILING BOARDS, LIGHT FITTINGS, CABINETS AND BENCHES. MAKE GOOD TO ADJACENT SURFACES AS NECESSARY.

CRITICAL RADIANT FLUX OF ANY NEW FLOOR COVERINGS TO BE NO LESS THAN 2.2KW/M2 AS PER BCA SPEC C1.10 TABLE 2
 WALL & CEILING LINING MATERIALS TO COMPLY WITH BCA SPEC C1.10 TABLE 3 (MATERIALS GROUPS PERMITTED) (AS PER BUILDING CLASSIFICATION 9B UNSPRINKLERED - MATERIALS GROUPS 1, 2 & 3)
 NOTE THAT ALL REFERENCES TO AS /NZS STANDARDS ARE TO BE TAKEN TO MEAN THE CURRENT VERSION AS SPECIFIED IN BCA 2015 VOLUME ONE - 'SPECIFICATION A13 - TABLE 1' DOCUMENTS ADOPTED BY REFERENCE'.
 STRUCTURAL ENGINEERS CERTIFIED CONSTRUCTION DETAILS OVERRIDES ARCHITECTURAL DETAIL.

DEMOLITION PLAN
 SCALE 1:200

| | | |
|--|---|--|
| | <p>LOCKE/BARTELS RESIDENCE</p> <p>31 STATON ROAD EAST FREMANTLE WA</p> | <p>DRAWING No 2 DRAWING PLAN SCALE 1:200 @ A3 JOB NUMBER DATE 30.07.2016 DRAWN LS</p> |
| | <p>THE ARCHITECTS OWN THE COPYRIGHT IN THIS DOCUMENT AND THE DESIGN EMBODIED IN THE BUILDING. THESE ARE SCHEMATIC DRAWINGS AND ARE NOT SUITABLE FOR CONSTRUCTION.</p> | |

GENERAL NOTES

ALL DIMENSIONS ARE IN METRIC MILLIMETRES
 WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONING.
 LARGE SCALE DRAWINGS SHALL TAKE PREFERENCE OVER SMALLER SCALE DRAWINGS.
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SITE VISIT - THE CONTRACTOR SHALL BE REQUIRED TO VISIT & ACQUAINT HIMSELF WITH ALL VISIBLE SITE CONDITIONS & ACCESS TO THE SITE.

LEGEND

- B. BASIN
- BA. BATH
- SHR. SHOWER
- WC. TOILET
- ST. STORAGE
- WM. WASHING MACHINE
- S. SINK
- DW. DISHWASHER
- PA. PANTRY
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- MW. MICROWAVE
- S.E. STRUCTURAL ENGINEER.
- SO. SHELF OVER.
- VB. VANITY BASIN.
- FW. FLOOR WASTE

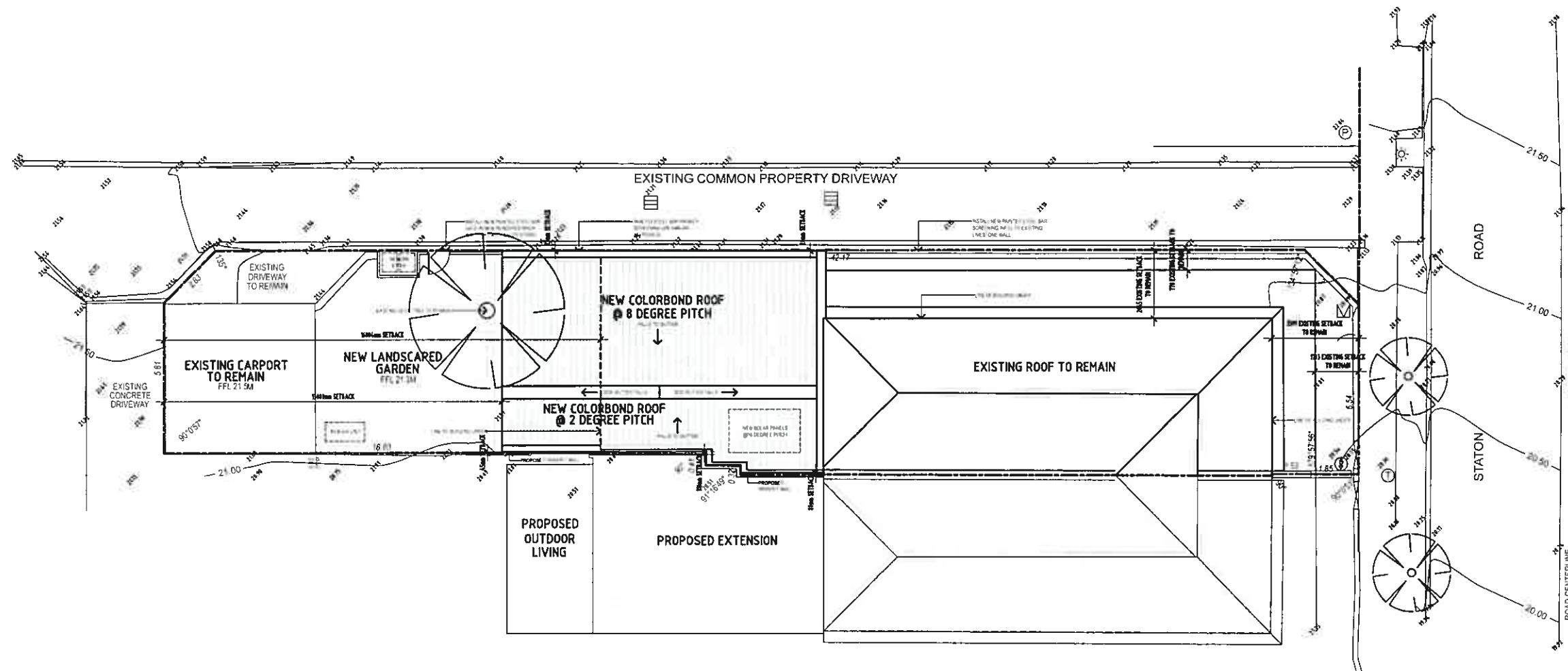
WALL LEGEND

-  NEW BRICK WALL
-  TOOTH IN NEW BRICK WALLS TO EXISTING BRICK WALLS TO BCA REQUIREMENTS & RELEVANT AUSTRALIAN STANDARDS
-  EXISTING BRICK WALL TO BE RETAINED
-  EXISTING BRICK WALL TO BE DEMOLISHED

CRITICAL RADIANT FLUX OF ANY NEW FLOOR COVERINGS TO BE NO LESS THAN 2.2KW/M2 AS PER BCA SPEC C110 TABLE 2.
 WALL & CEILING LINING MATERIALS TO COMPLY WITH BCA SPEC C110 TABLE 3 (MATERIALS GROUPS PERMITTED) (AS PER BUILDING CLASSIFICATION 9B UNSPRINKLERED - MATERIALS GROUPS 1,2 & 3)

NOTE THAT ALL REFERENCES TO AS /NZS STANDARDS ARE TO BE TAKEN TO MEAN THE CURRENT VERSION AS SPECIFIED IN BCA 2015 VOLUME ONE - SPECIFICATION A1.3 - TABLE 1 'DOCUMENTS ADOPTED BY REFERENCE'.

STRUCTURAL ENGINEERS CERTIFIED CONSTRUCTION DETAILS OVERRIDES ARCHITECTURAL DETAIL.



103 SQM EXISTING HOUSE (TO BE RETAINED)
 71 SQM NEW INTERNAL AREA (INCLUDING EXIST. WINE CELLAR)
 28 SQM NEW EXTERNAL AREA

PROPOSED SITE/ROOF PLAN

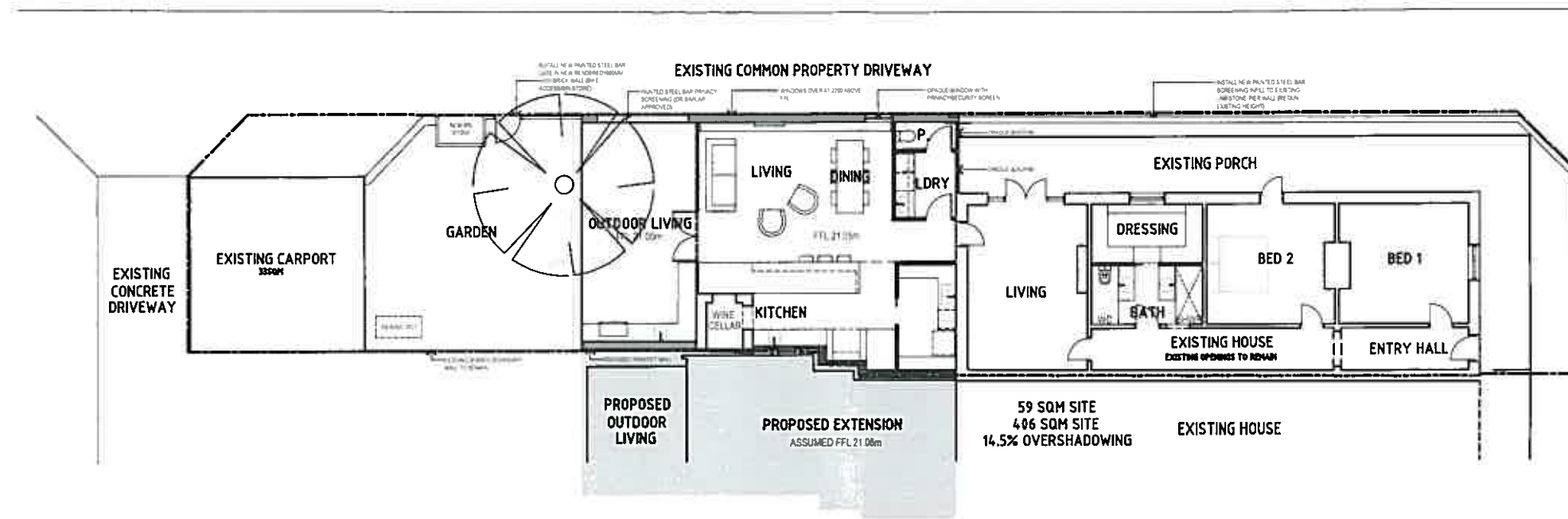
SCALE 1:200



LOCKE/BARTELS RESIDENCE

31 STATON ROAD
 EAST FREMANTLE WA

DRAWING No 3
 DRAWING PLAN
 SCALE 1:200 @ A3
 JOB NUMBER
 DATE 30.07.2016
 DRAWN LS



OVERSHADOWING DIAGRAM
SCALE 1:200

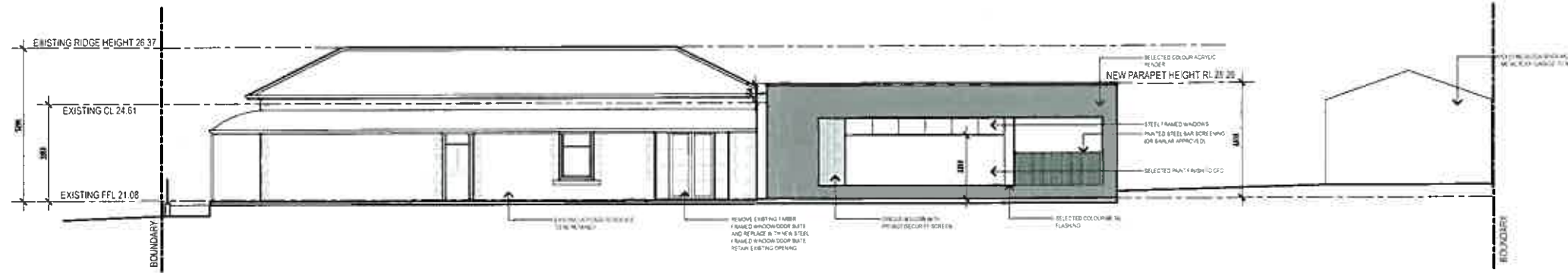
TOWN OF EAST FREMANTLE
PLANNING APPLICATION
23 AUG 2016 P 085-16
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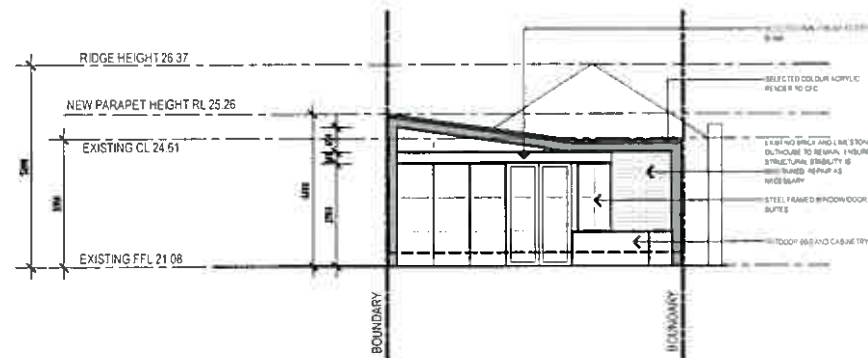
LOCKE/BARTELS RESIDENCE

31 STATON ROAD
EAST FREMANTLE WA

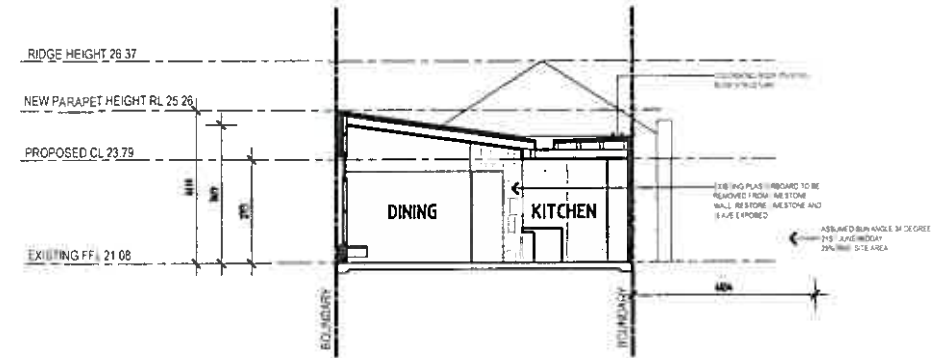
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DRAWING PLAN
SCALE 1:200 @ A3
JOB NUMBER
DATE 30.07.2016
DRAWN LS



NORTH ELEVATION



WEST ELEVATION



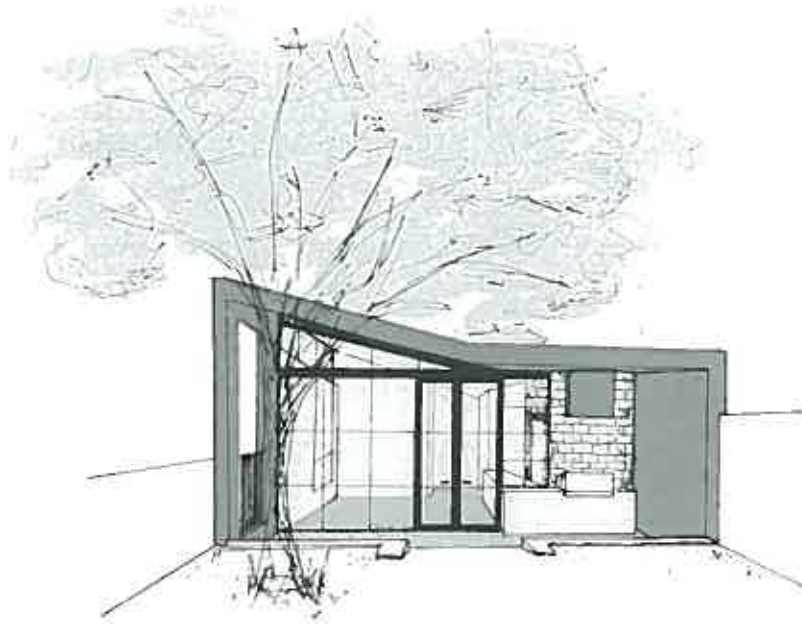
SECTION AA



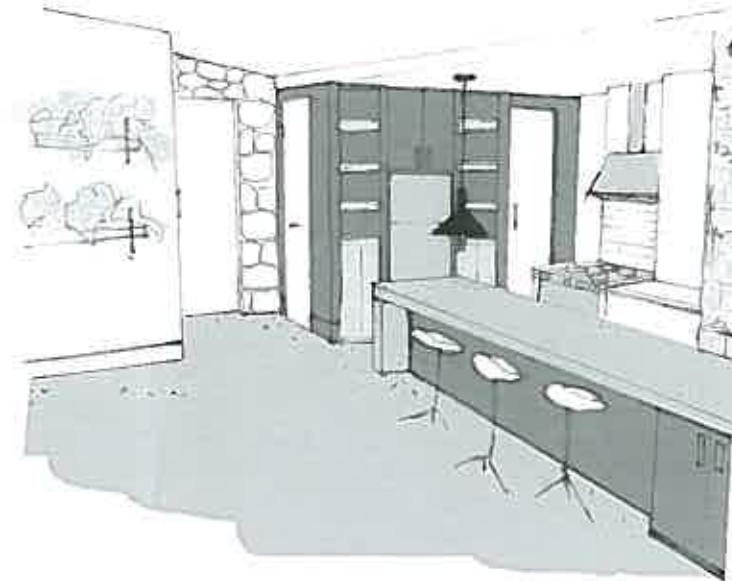
LOCKE/BARTELS RESIDENCE

31 STATON ROAD
EAST FREMANTLE WA

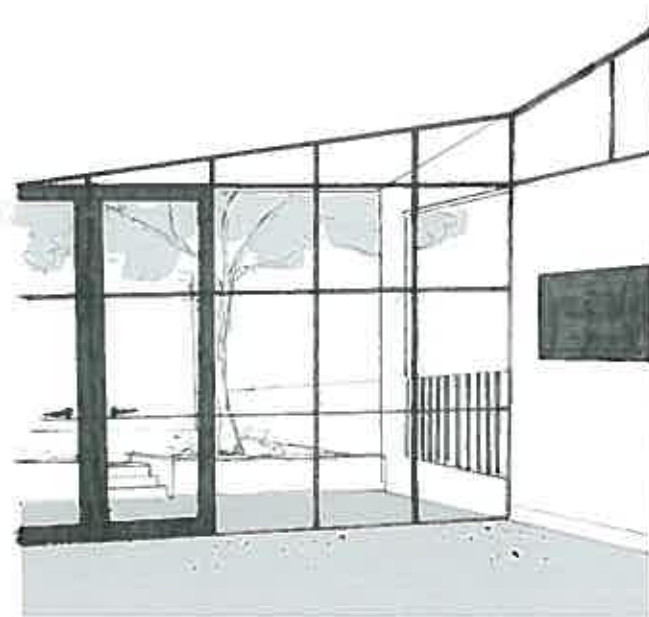
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|------------|---------------------|
| DRAWING No | 7 |
| DRAWING | ELEVATIONS/SECTIONS |
| SCALE | 1:200 @ A3 |
| JOB NUMBER | |
| DATE | 30.07.2016 |
| DRAWN | LS |



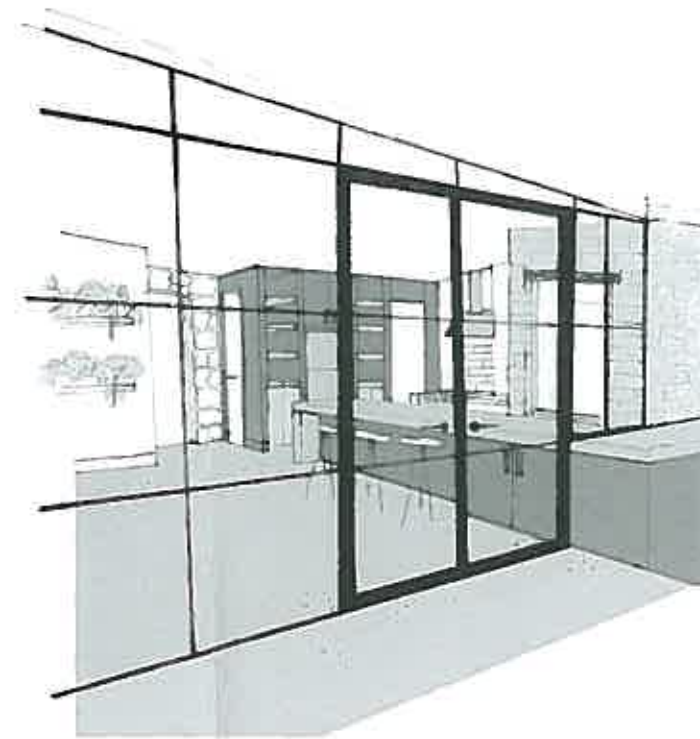
REAR ELEVATION



KITCHEN/DINING



LIVING

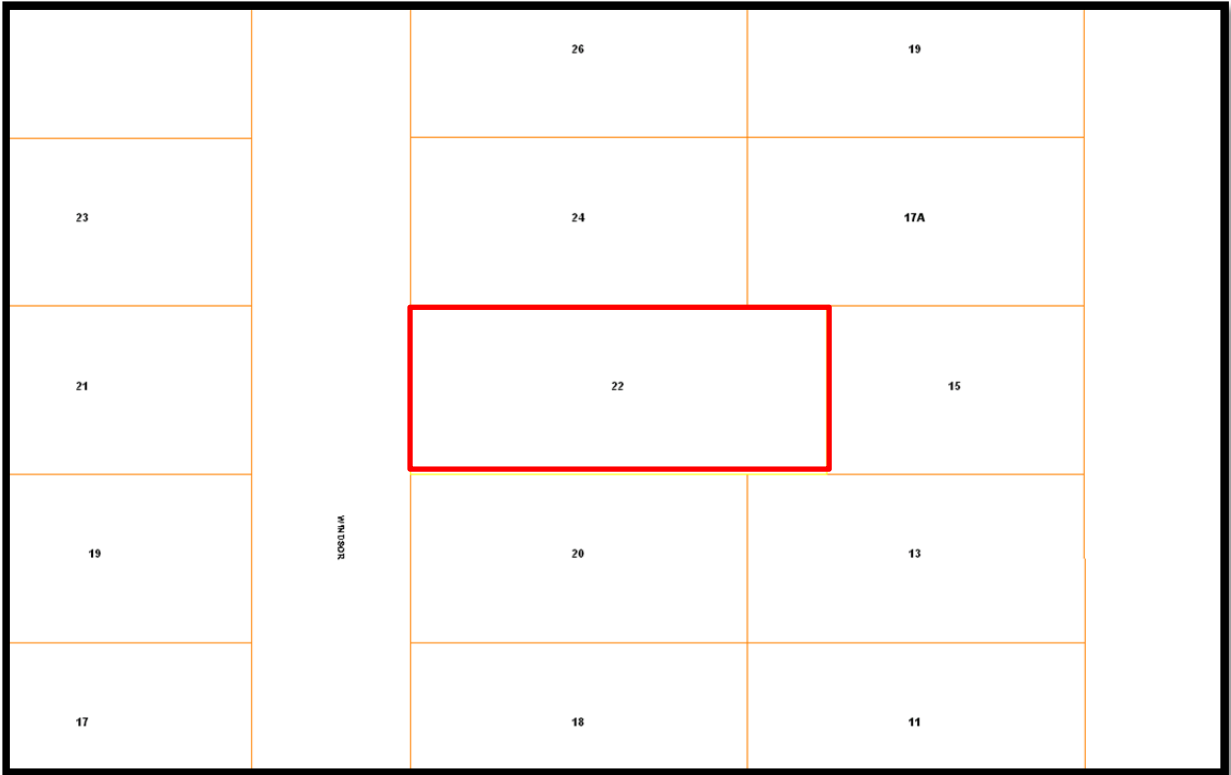


LOCKE/BARTELS RESIDENCE

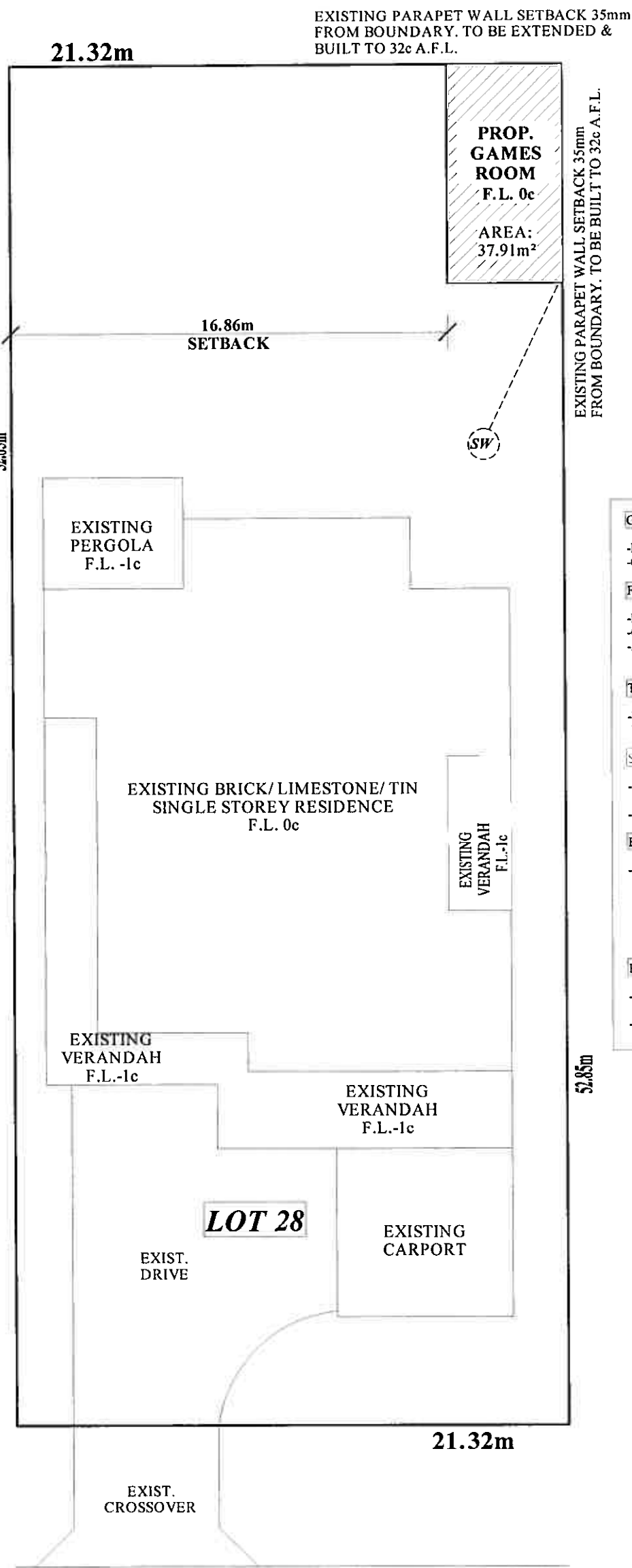
31 STATON ROAD
EAST FREMANTLE WA

| | |
|------------|------------|
| DRAWING No | 8 |
| DRAWING | - |
| SCALE | NTS |
| JOB NUMBER | |
| DATE | 30.07.2016 |
| DRAWN | LS |

NO. 22 (LOT 28) WINDSOR ROAD – GAMES ROOM – ‘B’ LISTED







GENERAL NOTES:

- DO NOT SCALE FROM DRAWINGS. SITE CHECK ALL MEASUREMENTS.
- COMPLY WITH LOCAL AUTHORITY AND THE LATEST SAA CODES & AMENDMENTS.

FOOTINGS:

- FOOTING CENTRAL BENEATH WALLS.
- COMPACT CLEAN FILL UNDER FOOTINGS.
- ALL CONCRETE TO COMPLY WITH AS 3600.

TERMITE TREATMENT:

- USE 'DUSBAN' OR SIMILAR CHEMICAL TERMITE TREATMENT. IN ACCORDANCE WITH AS 3660.1-2000 TERMITE MANAGEMENT.

SOAKWELLS:

- 1.2m x 1.2m DEEP SOAKWELL TO BE NO CLOSER THAN 1.5m FROM BOUNDARIES OR FOOTINGS FROM EDGE OF SOAKWELL.
- DOWN PIPES TO SOAKWELL.

BOX GUTTER:

- BOX GUTTER TO BE BUILT IN ACCORDANCE WITH BCA: 3.5.2.2. APPROPRIATE RAINFALL INTENSITY 100 YEAR RECCURANCE INTERVAL AND ROOF ARE TO BE CONSIDERED. PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK IN TO ROOF OR BUILDING STRUCTURE BY INCORPORATING OVERFLOW MEASURES OR THE LIKE.

PARAPET WALLS:

- EXISTING PARAPET WALLS TO BE BUILT UP TO 32c A.F.L. TO CONCEAL ROOF LINE & BOX GUTTER.
- MAINTAIN MINIMUM 35mm BOUNDARY SETBACK.

PRELIMINARY/PLANNING DRAWINGS ONLY. NOT FOR BUILDING SUBMISSION.

WINDSOR ROAD

SITE PLAN
SCALE: 1:200

TOWN OF EAST FREMANTLE
PLANNING APPLICATION
DATE: - 1 AUG 2016 BUILDING No. P 079 - 16
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NOTE
-DO NOT SCALE OFF DRAWINGS.
-SITE CHECK ALL MEASUREMENTS PRIOR TO ANY ORDERING OR OFF SITE PREPARATION.

PROPOSED GAMES ROOM FOR;
THE WILLIS RESIDENCE.
LOT 28 22 WINDSOR ROAD, EAST FREMANTLE

| | | | |
|--------------------|--------------------|--|-----------------------------|
| Scale: AS SHOWN | Date: July 2016 | Drawn By: THE DRAFTSMAN 0405 047 098 | Sheet # 1 OF 3 |
|--------------------|--------------------|--|-----------------------------|

TOWN OF EAST FREMANTLE
 PLANNING APPLICATION
 DATE: - 1 AUG 2016 P 079 - 16
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Sheet #
2 OF 3
 Drawn By:
 THE DRAFTSMAN
 0405 047 098

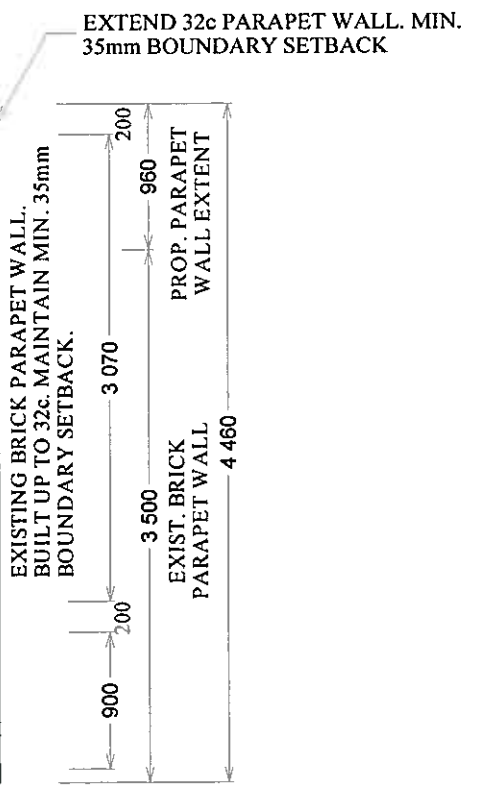
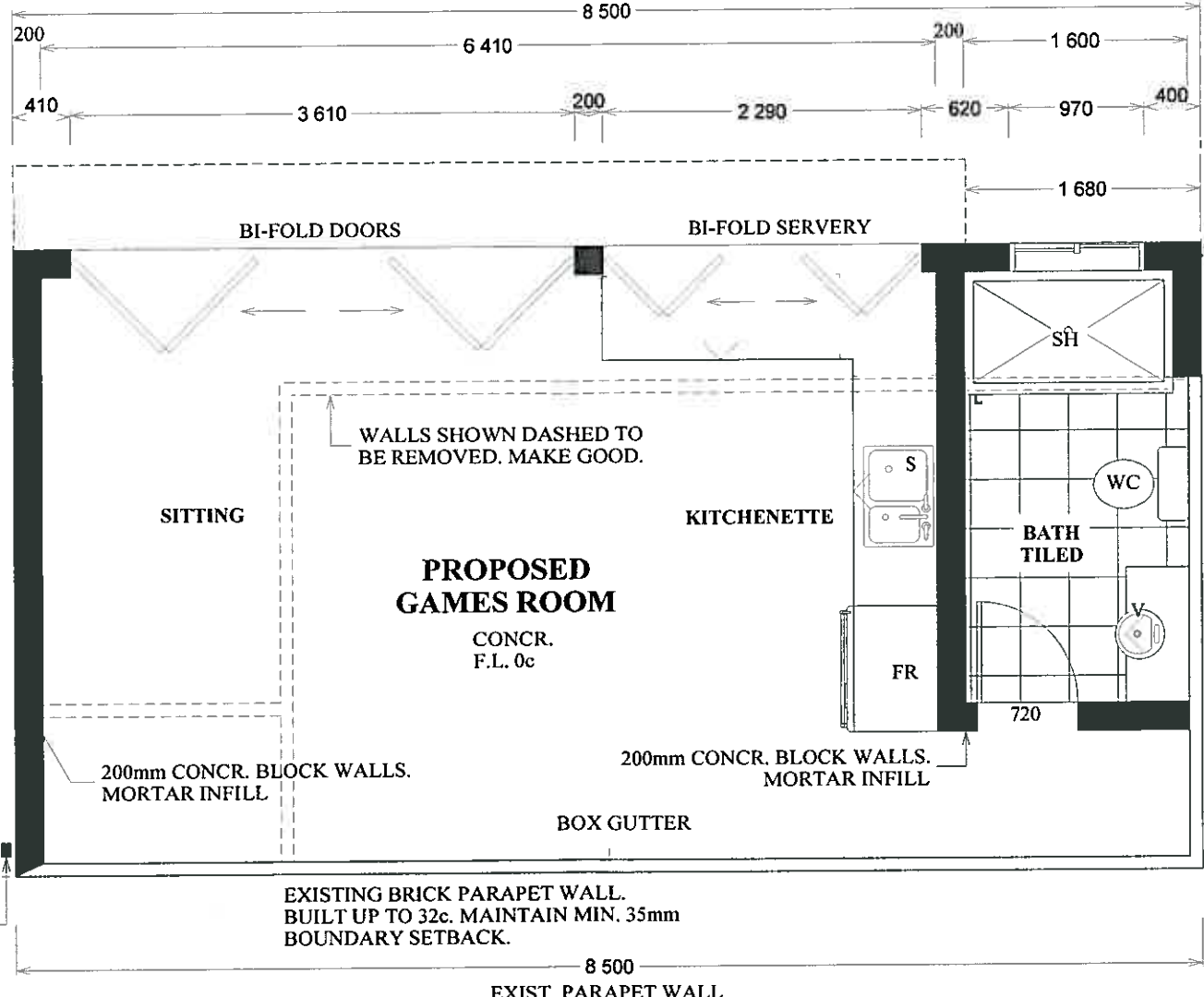
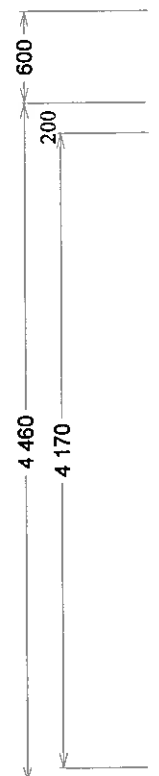
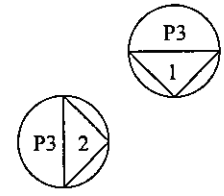
Date:
 July 2016

Scale:
 AS SHOWN

PROPOSED GAMES ROOM FOR;
 THE WILLIS RESIDENCE.
 [LOT 28] 22 WINDSOR ROAD, EAST FREMANTLE

NOTE:
 -DO NOT SCALE OFF DRAWINGS.
 -SITE CHECK ALL MEASUREMENTS
 PRIOR TO ANY ORDERING OR OFF
 SITE PREPARATION.

NOTES:
 -100mm THICK REINFORCED CONCRETE FLOOR SLAB.
 -APPROVED WATERPROOF MEMBRANE BENEATH SLAB.
 -200mm CONCR. BLOCK WALLS. MORTAR INFILL
 -WHITE RENDER FINISH TO MATCH EXIST. DWELLING.
 -EXISTING PARAPET WALLS TO BE EXTENDED WHERE NOTED
 & BUILT UP TO 32c A.F.L.
 -COLORBOND ROOF SHEETING TO PROPRIETOR'S SPECS.
 -FASCIA TO MATCH ROOF SHEETING.
 -INSULATION TO CEILING SPACE.



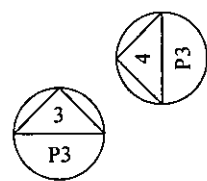
BOUNDARY
 DOWN PIPE TO SOAKWELL

EXISTING BRICK PARAPET WALL.
 BUILT UP TO 32c. MAINTAIN MIN. 35mm
 BOUNDARY SETBACK.
 8 500
 EXIST. PARAPET WALL



FLOOR PLAN
 SCALE: 1:50

NOTE:
 -WALLS SHOWN DASHED: TO BE REMOVED.
 -WALLS SHOWN DARKENED: PROPOSED.
 -BOX GUTTER TO BE BUILT IN ACCORDANCE WITH BCA: 3.5.2.2.
 APPROPRIATE RAINFALL INTENSITY 100 YEAR RECCURANCE INTERVAL
 AND ROOF ARE TO BE CONSIDERED.
 PROVISION MUST BE MADE TO AVOID ANY OVERFLOW BACK IN TO
 ROOF OR BUILDING STRUCTURE BY INCORPORATING
 OVERFLOW MEASURES OR THE LIKE.



PRELIMINARY/PLANNING DRAWINGS ONLY.
 NOT FOR BUILDING SUBMISSION.

Sheet #

3 OF 3

Drawn By:

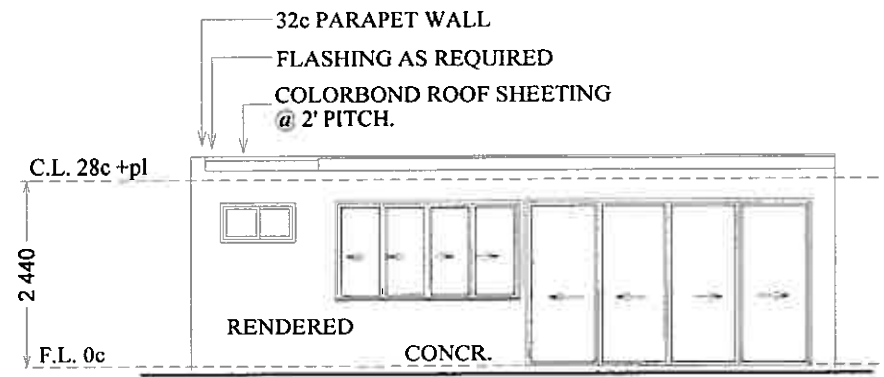
THE DRAFTSMAN
0405 047 098

Date:

July 2016

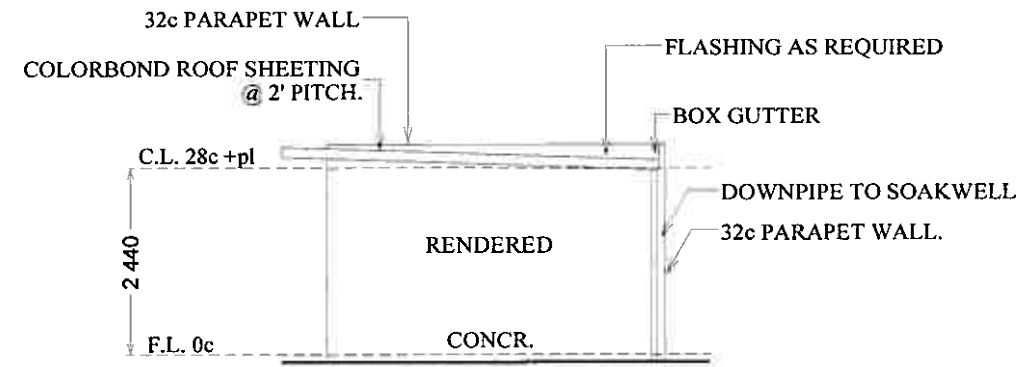
Scale:

AS SHOWN



NORTH ELEVATION (1)

SCALE: 1:100

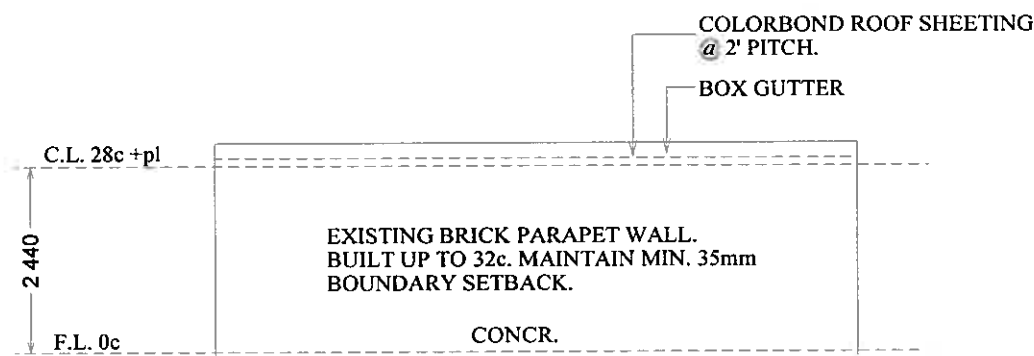


WEST ELEVATION (2)

SCALE: 1:100

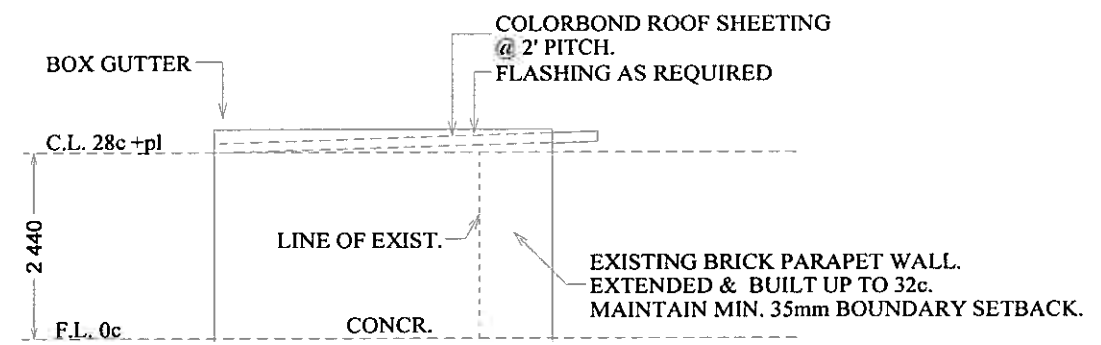
NOTE:
 -EXISTING BRICK PARAPET WALL. BUILT UP TO 32c. MAINTAIN MIN. 35mm BOUNDARY SETBACK.
 -200mm CONCR. BLOCK WALLS. MORTAR INFILL, RENDERED FINISH.
 -COLORBOND ROOF SHEETING @ 2° PITCH.
 -FASCIA TO MATCH ROOF SHEETING.
 -100mm THICK REINFORCED CONCRETE FLOOR SLAB.
 -INSULATION TO CEILING SPACE.

TOWN OF EAST FREMANTLE
 PLANNING APPLICATION
 DATE: 1 AUG 2016 P 079-16
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SOUTH ELEVATION (1)

SCALE: 1:100



EAST ELEVATION (4)

SCALE: 1:100

PROPOSED GAMES ROOM FOR;
 THE WILLIS RESIDENCE.
 [LOT 28] 22 WINDSOR ROAD, EAST FREMANTLE

NOTE:
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 PRIOR TO ANY ORDERING OR OFF
 SITE PREPARATION.

PRELIMINARY/PLANNING DRAWINGS ONLY.
NOT FOR BUILDING SUBMISSION.