

# Plansing Committee Tuesday, 2 April 2024 at 6:30 PM

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# MINUTES

#### 1 DECLARATION OF OPENING OF MEETING/ANNOUNCEMENTS OF VISITORS

Presiding Member opened the meeting at 6.38 pm and welcomed members of the gallery.

#### 2 ACKNOWLEDGEMENT OF COUNTRY

"On behalf of the Council I would like to acknowledge the Whadjuk Nyoongar people as the traditional custodians of the land on which this meeting is taking place and pay my respects to Elders, past and present."

#### 3 ANNOUNCEMENT TO GALLERY

"Members of the gallery are advised that no Council decision from tonight's meeting, while communicated or implemented until 12 noon on the first clear working day after this meeting, unles, Council, by resolution carried at this meeting, requested the CEO to take immediate action to implement the value icid."

#### 4 RECORD OF ATTENDANCE

#### 4.1 ATTENDANCE

4.1 ATTENDANCE	
Cr C Collinson Mayor J O'Neill Cr A White Cr J Harrington Cr L Maywood	Presiding member
A Malone K Culkin	Executive Managur Régulatory Services Minute: Secreta
There were 2 members of the	ublic in the gallery.
4.2 APOLOGIES	
Nil	
4.3 APPROXED LEAVE	
Cr K Donovan	

#### 5 MEMORANDUM OF OUTSTANDING BUSINESS

#### Nil

# 6 DISCLOSURES OF INTEREST

#### 6.1 FINANCIAL

Nil



#### 6.2 PROXIMITY

Nil

#### 6.3 IMPARTIALITY

Nil

## 7 7. PUBLIC QUESTION TIME

#### 7.1 RESPONSES TO PREVIOUS QUESTIONS FROM MEMBERS OF THE PUBLIC TAK NOTICE Nil PUBLIC QUESTION TIME 7.2 Nil PRESENTATIONS/DEPUTATIONS PRESENTATIONS 8.1 Nil DEPUTATIONS 8.2 Nil CONFIRMATION OF MINUTES MEETING PRE 5 M TOWN PLANNING COM KCH 2024) 9.1 TEL 9.1 OFFICER RECOMMEND τισι Moved Mayor O'Ne cons d Cr White That the minutes of the Town Pranning Committee meeting held on 5 March 2024 be confirmed as a true and correct re d o proceedings.

(CARRIED UNANIMOUSLY)

#### 10 ANNOUNCEMENTS BY THE PRESIDING MEMBER

Nil

#### 11 REPORTS OF COMMITTEES

Nil



#### 12 REPORTS OF OFFICERS (COMMITTEE DELEGATION)

#### 12.1 34 MOSS STREET - ALTERATIONS & ADDITIONS

Owner	Sean Darcy
Applicant	Anthony & Associates
Report Reference Number	TPR-1743
Planning Reference Code	P003/24
Prepared by	James Bannerman
Supervised by	Anderw Malone
Meeting date	Tuesday, 2 April 2024
Voting requirements	Simple majority
Documents tabled	Nil

#### Attachments

- 1. Location and advertising plan
- 2. Photos
- 3. Plans
- 4. Place Record Form

#### PURPOSE

The purpose of this report is for Council to consider the analopment application for proposed alterations and additions at 34 (Lot 1) Moss Street, East Fremantle.

#### EXECUTIVE SUMMARY

This development application proposes Ilteratio and additions to an existing Category B heritage dwelling located at 34 (Lot 1) Moss Street, East Fremant It is pro osed to demolish the rear section of the existing dwelling including the garage located on, n ha ndary of the property. The proposed development is two storeys and will have a new living, kitchen, meale alfresco, laundry, bathroom, powder room, garage and workshop located bedroo h, ensuite, sitting room and ensuite located on the upper storey. Access to on the ground floor and a mast t is already in existence that utilises an easement shared with the southern the new rear garage is via a sed development is located to the rear of the existing heritage dwelling with the neighbouring propert nrò. the lounge being retained. The second storey has negligible impact on the streetscape of front three bedroe is a cated a minimum of 15.75m from the front boundary of the property. the existing dwelling d is

The following valuations are requested to the Residential Design codes and the Residential Design Guidelines;

- (i) Clause 3.7.8.3 Residential Design Guidelines Roof Pitch 28 to 36 degrees required, less than 28 degrees provided,
- (ii) Clause 5.1.3 Residential Design Codes Lot Boundary Setback Southern Wall Bathroom, Bed 3, Bed 2 Ground Floor – Residential Design Codes – – 1.5m required, 1.23m provided,
- (iii) Clause 5.1.3 Residential Design Codes Lot Boundary Setback Northern Wall Living, Laundry, Linen, Bed 4, Lounge, Verandah Ground Floor 1.5m required, 1.2m provided,
- (iv) Clause 5.3.5 Residential Design Codes Driveway Access Turning circle required, no turning circle provided, and

It is recommended that Council support the proposed alterations and additions subject to the conditions included in the final recommendation.



#### BACKGROUND

Zoning	Residential R20
Site Area	412m2
Heritage	Category B
Fremantle Port Buffer	Category B
Previous Decision of Town and/or History of Issue Onsite	Nil

#### CONSULTATION

#### <u>Advertising</u>

The proposed development was advertised to surrounding properties and online from 1 to 16 February 2024. One submission was received and have been included below.

Submission	Applicant Response	Toron Reconse
Our property lies directly south of 34 Moss St.	The design was modified by the applicant in	is noted that the plans have been
We have one concern we would like you to	response to the submission.	modified to relative the concealed
address.		and adopt a skillion roof to
On Site plan 1/6 it states that overshadowing on		reace the overshadowing on the
our property is 29.3%. We understand the		offected neighbouring property
maximum allowed under your regulation is 25%.		
We would ask that you uphold the regulation		
amount of 25%.		T
By allowing the overshadowing to go over 25%		
the upper story of the planned renovation will		
directly impact on our property. This will result in		
a loss of sunlight into our living room which has		
north facing windows. There are only two north		
facing windows on our property. One is a		
bedroom which is already permanently overshadowed by the existing house on 34 Moss		
St. The other is the living room.		
Of more pressing importance in the		
overshadowing issue is that the second story		
addition will, due to its height, cast a shadow		
over 100% of our new solar hot water system.		
Rendering it near useless in the winter		
increasing our heating expenses. The system is		
fully within the hatched overshadow ng portion		
of the site plan.		
I have directly discussed this issue with the		
neighbour and his design the boy are		
sympathetic to the issue any the designer has		
suggested that removing a part pet facia on the		
upper story roof which would increase the		
amount of sun hoting our plaperty. This facia		
appears to be an authetic dement. Mostly for		
our benefit. We would much prefer the extra		
sunlight and see this as a sensible solution to our		
concerns and enable the overshadowing to fall		
within the regulated percentage of		
overshadowing.		

## Internal Consultation

Nil

#### External Consultation

The development application was advertised to the Water Corporation and the following response was received.



#### Re: Development Application - P003/24 - Lot 1, 34 Moss Street East Fremantle

Thank you for your email dated 7th February 2024. Water Corporation offers the following comments regarding this proposal.

#### Water

Reticulated water is available to the subject lot.

#### Wastewater

*Reticulated sewerage is available to the subject lot. The proposed setback to the rear boundary is not supported by our Technical Guidelines without piling to protect the sewer main.* 

As there is a 150mm VC sewer main inside the rear boundary on an alignment of approximately 1.0m. The minimum distance a building can be to the centre of this sewer main is 0.6m with piling and 2.5m without piling. This includes the pool, pool store, Alfresco & Garage.

#### Approval for works

Any works carried out in proximity to our Assets must receive prior approval by applying for a Asset Protection Risk Assessment (APRA) To assess whether the proposed development will require and APRA details of the Prescribed Proximities and relevant legislation are available in our guidelines.

#### Application

The applicant is required to submit a Single Residential Application by using our own por al BuilderNet. Attachments required for approval will include:

- Final construction site & architectural floor plans
- Piling Detail plans (certified by engineer)

The information provided above is subject to review and may change. If the proposal has not proceeded within the next 6 months, please contact us to confirm that this information is still valid. Please provide the above comments to the landowner, developer and/or their representative.

#### STATUTORY ENVIRONMENT

Planning and Development Act 2005 Residential Design Codes (Volume 1) Local Planning Scheme No. 3 (LPS 3)

#### POLICY IMPLICATIONS

Local Planning Policy 3.1.1 – Residential Lesign Guidelines Local Planning Policy 3.1.8 – Wood Encryaragement - General

#### FINANCIAL IMPL CAT

Nil

## STRATEGIC IMPICATIONS

The Town of East Fremantle Strategic Community Plan 2020-2030 states as follows:

#### <u>Built Environment</u>

Accessible, well planned built landscapes which are in balance with the Town's unique heritage and open spaces. 3.1 Facilitates sustainable growth with housing options to meet future community needs.

- 3.1.1 Advocate for a desirable planning and community outcome for all major strategic development sites.
- 3.1.2 Plan for a mix of inclusive diversified housing options.
- 3.1.3 Plan for improved streetscapes.
- 3.2 Maintaining and enhancing the Town's character.
- 3.2.1 Ensure appropriate planning policies to protect the Town's existing built form.
- 3.3 Plan and maintain the Town's assets to ensure they are accessible, inviting and well connected.
  - 3.3.1 Continue to improve asset management within resource capabilities.



3.3.2 Plan and advocate for improved access and connectivity.

#### **RISK IMPLICATIONS**

A risk assessment was undertaken and the risk to the Town in determining this application was deemed to be negligible.

#### SITE INSPECTION

A site inspection was undertaken.

#### COMMENT

#### Statutory Assessment

This development application was assessed against the Town's Local Planning Scheme 10. 3, e Residential Design Codes, and the Residential Design Guidelines.

A summary of the assessment is included in the following tables.

Leger	nd
А	Acceptable
D	Discretionary
N/A	Not applicable

Local Planning Scheme No. 3/Residential Design Guidelin s/Residential Design Codes

Design Element	Required	Proposed	Status
Street front setback	6m	>6m	А
Garage setback	vince in vilding line of	>1.2m behind building line of existing	А
	ex. ying dwelling	dwelling	
Minor incursions			N/A
Lot Boundary Setbacks			
Southern boundary – garage – ground floor	Or	0m	А
Southern wall – meals, kitchen – groundhoor		2.74m	А
Southern wall – bathroom, bed 3, be 2 – ground floor	1.5m	1.23m	D
Eastern wall – garage, alfresco – groui floor	1m	1.55m	А
Northern wall – alfresco, meals - & und por	2.4m	4.5m	А
Northern wall – living, laundry, linen, bed 4, lounge,	1.5m	1.2m	D
verandah – ground floor			
Southern wall – ensuite WIR - upper storey	8.06m	5.95m	А
Eastern wall – meals – ground flore	4m	4.2m	А
Eastern wall – be 1, ensuite upper storey	7.99m	6.5m	А
Northern wall – bea pom 1, grting – upper storey	8.36m	6.5m	А
Car Parking	1-2 car bays	1 car bay	А
Open Space	50%	51.43%	А
Wall & Roof Height	8m	<8m	А
Site Works			N/A
Visual Privacy			
Sitting room	6m	Highlight windows above 1.6m from FFL	А
Bed 1	4.5m	Highlight windows above 1.6m from FFL	А
Overshadowing	25% maximum	21.39%	А
Garage width	30% maximum	<30%	А
Roof form and pitch	28 to 36 degrees	3 degrees	D
Materials and colours			А
Landscaping	2m x 2m deep planting zone and	Shown on plans	А
	tree		
Front fence & gate			N/A



Sightlines		N/A
Footpaths and crossovers	No change	
Drainage	Condition	
Wood Encouragement Policy	Timber floors	

This development application proposes alterations and additions to an existing Category B heritage dwelling located at 34 (Lot 1) Moss Street, East Fremantle. It is proposed to demolish the rear section of the existing dwelling including the garage located on the southern boundary of the property. The proposed development is two storeys and will have a new living, kitchen, meals, alfresco, laundry, bathroom, powder room, garage and workshop located on the ground floor and a master bedroom, ensuite, sitting room and ensuite located on the upper storey. Access to the new rear garage is via a laneway that is already in existence that utilises an easement shared with the southern neighbouring property. The proposed development is located to the rear of the existing heritage dwelling with the front three bedrooms and the lounge being retained. The second storey has negligible impact on the speetscap of the existing dwelling and is located a minimum of 15.75m from the front boundary of the property.

There are four variations requested to the Residential Design Codes and the Residencial Design Guidelines including lot boundary setbacks (2 locations), roof pitch, driveway access and overshado h.g. These variations are described below.

#### Lot Boundary Setback - Southern Wall - Bathroom, Bed 3, Bed 2 - Gour

The southern wall of the bathroom, bed 3 and bed 2 on the ground flowr is 21m long and less than 3.5m high with major openings. In accordance with the Residential Design Colles around to comply clause 5.1.3 the wall should be located 1.5m from the boundary. In this case the wall is located 2.23m from the boundary. The reduced lot boundary setback can be supported in accordance with design principles 5.1.3 P3.1 for the following reasons;

- Minimal impacts of building bulk on adjoining proper
- Adequate direct sun and ventilation can reach be bilding and open spaces on the site and the adjoining properties, and
- Minimal overlooking and loss of privacy on accoining properties.

Much of the wall is existing and a portion of wallen, this being added towards the rear of the dwelling. There is only a marginal reduction in setback. The letback between the proposed development and the adjoining property is guaranteed by the easement in place the ensure that vehicles can access the rear garages of each property. Although there are major openings in place these have been located on site for many years and are not changing. For these reasons the reduced lot boundary setback can be supported.

#### Lot Boundary Setback - Northein Waii - Living, Laundry, Linen, Bed 4, Lounge, Verandah - Ground Floor

The northern wall of the invingence m, laundry, linen cupboard, bedroom 4, lounge and verandah is 16.8m long and 3.15m high with may ropinings. In accordance with the Residential Design Codes deemed to comply clause 5.1.3 the wall should be located 5m from the boundary. In this case the wall is located 1.2m from the boundary. The reduced lot boundary subjack can be supported in accordance with design principles 5.1.3 P3.1 for the following reasons;

- Minimal impact building bulk on adjoining properties,
- Adequate direct sun and ventilation can reach the building and open spaces on the site and the adjoining properties, and
- Minimal overlooking and loss of privacy on adjoining properties.

Much of the wall is existing and a portion of wall length is being added towards the rear of the dwelling. There is only a marginal reduction in setback. Although there are major openings in place these have been located on site for many years and are not changing. As the dwelling is to the south of the northern neighbouring property there is no impact on access to sunlight and there is sufficient space around the building to allow for airflow and penetration of sunlight. For these reasons the reduced lot boundary setback can be supported.



#### Roof Pitch

The roof pitch of a new roof should be between 28 and 36 degrees in accordance with the Residential Design Guidelines acceptable development provision 3.7.8.3 A4.1. Int his case it is proposed to have a concealed roof with a roof pitch of 3 degrees. The reduced roof pitch can be supported as the roof form of the new development at the rear of the existing dwelling complements the traditional form of the surrounding development in the immediate locality. It is noted that the reduced roof pitch ensures that the height of the dwelling and the overshadowing is not greater than shown on the plans and does not have greater amenity impacts on the neighbouring property.

#### Driveway Access

No turning circle is provided in this design. It is a requirement of the Residential Design Codes deemed to comply clause 5.3.5 C5.4 that a turning circle is provided to allow vehicles to drive in and out of the property in forward gear. In this case there is an existing accessway (which is created as a result of an easement that is hared with the neighbouring property to the south) that is located more than 15m from the street (26.02m from the boundary). This driveway has been used without incident for many years. In accordance with design principles 5.3.4 P5.1 the existing driveway arrangement can be supported for the following reasons;

- Vehicle access is relatively safe,
- There is no change to the streetscape from the existing situation,
- Access is legible,
- Pedestrian safety is maintained,
- There is no change in the number of crossovers, and
- There is no change in the landscaping on site from the driv

There is no change in the current driveway situation other than a new garage being constructed in a similar position to the existing garage. There are minimal risks given that the driveway has been in use for many years without incident. For this reason, the driveway as presented can be supported

#### **Overshadowing**

The property has a density code of R20 which parmits approved 25% overshadowing in accordance with the Residential Design Codes deemed to comply clause areas C2. In this case the overshadowing reached 29.37%. A submission received from the southern neighbouring proper pointed raised concern with regards to the level of overshadowing including overshadowing of a solar hot water system on the roof of the adjacent property caused by the proposed development.

adowi g is at the maximum level at the winter solstice and declines at other times It is noted that the level of ve of the year. The overshadow pact on the solar hot water system and did affect the courtyard on the north g dha property. The proposed design was modified to reduce the impact of overshadowing side of the southern n following the subr rom the neighbouring property owners. The overshadowing was reduced to 21.39% of the sio it 3. Lot 2) Moss Street which is within the acceptable level of overshadowing for properties neighbouring propert in R20 zones.

#### CONCLUSION

The proposed development has four variations to the Residential Design Codes and the Residential Design Guidelines. Amended plans were presented by the applicant that addressed the issues raised by the neighbours following advertising of the proposal. The remaining variations are not considered significant and for this reason can be supported. It is recommended that Council support the proposed development at 34 (Lot 1) Moss Street subject to the conditions included in the final recommendation.

• Mr Brett Anthony (designer) attended the meeting and spoke in favour of the officer's recommendation.



#### OFFICER RECOMMENDATION / COMMITTEE RESOLUTION

#### OFFICER RECOMMENDATION/ COMMITTEE RESOLUTION TP010424 Moved Cr White, seconded Cr Harrington

That development approval is granted, and Council exercises its discretion regarding the following;

- (i) Clause 3.7.8.3 Residential Design Guidelines Roof Pitch 28 to 36 degrees required, less than 28 degrees provided,
- (ii) Clause 5.1.3 Residential Design Codes Lot Boundary Setback Southern Wall Bathroom, Bed 3, Bed 2 – Ground Floor – Residential Design Codes – – 1.5m required, 1.23m provided,
- (iii) Clause 5.1.3 Residential Design Codes Lot Boundary Setback Northern Wall Lister Laundry, Linen, Bed 4, Lounge, Verandah – Ground Floor – 1.5m required, 1.2m rovided, and
- (iv) Clause 5.3.5 Residential Design Codes Driveway Access Turning circle required, no turning circle provided,

for alterations and additions at No. 34 (Lot 1) Moss Street, East Fremantle, in acturdance with the plans submitted 28 February 2024, subject to the following conditions:

- (1) All chimneys are to be retained as part of the development.
- (2) Existing trees located within the verge are a Town asset and as use mult be retained and not pruned, shaped, or modified except where otherwise approved here remetal or modification by the Town.
- (3) During construction the verge trees are to be protected with a generound the trunks to ensure that they are not damaged by surrounding works, vericles or materials.
- (4) An application is to be submitted to the Operations Department of the Town for the removal of any verge trees. Verge trees are not to be smoved without written approval from the Town.
- (5) The footpath is to always remain accessible per strians.
- (6) Prior to the submission of a building a unit application, a Construction Management Plan shall be prepared to the satisfaction of the Town. This plan is to address the following matters during the construction/development period:
  - (a) Noise, vibration, air, and dust man gement;
  - (b) Contact details of econtria site personnel, construction periods and construction operating hours:
  - (c) Traffic management, including footpath closures and proposed signage;
  - (d) Parking management for all trades, contractors, and visitors to site;
  - (e) Public sefety and amenity (traffic control and pedestrian management);
  - (f) Site occert/egress-hanagement;
  - (g) Scafforling hanagement plan;
  - (h) Management plan for the loading and unloading of vehicles;
  - (i) A evy construction machinery and deliveries;
  - (j) Bulk chwork operations;
  - (k) Stormwater and sand/sediment control;
  - (I) Street tree management and protection;
  - (m) Protection of footpath;
  - (n) Details of all concrete pours and requirements relating to piling methods or associated works;
  - (o) Temporary fencing;
  - (p) Temporary toilets;
  - (q) Dilapidation of Town infrastructure and nearby properties;
  - (r) Hoardings and gantries; and
  - (s) Any other relevant matters.

The requirements of this plan are to be observed at all times during the construction process.



- (7) The works are to be constructed in conformity with the drawings and written information accompanying the application for development approval other than where varied in compliance with the conditions of this development approval or with the Town's further approval.
- (8) The proposed works are not to be commenced until the Town has received an application for a Building Permit and the Building Permit issued in compliance with the conditions of this development approval unless otherwise amended by the Town.
- (9) With regards to the plans submitted with respect to the Building Permit application, changes are not to be made in respect of the plans which have received development approval, without those changes being specifically marked for the Town's attention.
- (10) All stormwater is to be disposed of on site, an interceptor channel installed if required and a drainage plan be submitted to the satisfaction of the Town prior to the issue of Building Permit.
- (11) If requested by the Town within the first two years following installation, the roofing robe treated to reduce reflectivity. The treatment to be to the satisfaction of the Chief Executive Officer in consultation with relevant officers and all associated costs in the burne by the owner.
- (12) All introduced filling of earth to the lot or excavated cutting into the existing ground level of the lot, either temporary or permanent, shall be adequately count level to prevent damage to structures on adjoining lots or in the case of fill, not be allowed to prevent beyond the lot boundaries. This shall be in the form of structurally adequate retaining walls and/or sloping of fill at the natural angle of repose and/or another methol as approved by the Town.
- (13) Where this development requires that any facility of reviewithin a street verge (street trees, footpath, crossover, light pole, drainage point at similar is to be removed, modified, or relocated then such works must be approved by the Town and if approved, the total cost to be borne by the applicant. The Town must ac rease hably and not refuse any reasonable proposal for the removal, modification or relocation or such acilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (14) This development approval is to remain valid for a period of 24 months from date of this approval.

#### Footnote:

- The following are not conditions but notes of advice to the applicant/owner:
- (a) This decision does not include acknowledgement or approval of any unauthorised development which may there site.
- (b) A copy of the a proved plans as stamped by Town are attached and the application for a Building Pennit Is to conform with the approved plans unless otherwise approved by the Town.
- (c) It is accommended that the applicant provides a structural engineer's dilapidation report, at the applicant, where expense, specifying which structures on adjoining sites may be adversely affected by the works and providing a record of the existing condition of the structures. Two copies of each dilapidation report should be lodged with the Town and one copy should be given to the owner of any affected property.
- (d) All noise levels produced by the construction of the development are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).
- (e) Matters relating to dividing fences are subject to the Dividing Fences Act 1961.
- (f) Trees on verges are the property of the Town. They are not to be damaged, pruned or removed. Any actions which harm verge trees will result in the Town acting against the owners/builders/contractors responsible. If there are concerns regarding trees owners/builders/contractors are asked to contact the Town to seek further advice.



(g) Any damage to other Town assets including but not limited to the kerb, drainage, footpaths, roads, and signage will have to be repaired by the applicant/owners/contractors at their cost.
(h) A construction management plan will have to be prepared and submitted as part of the building permit application to show traffic management, contractor parking and materials storage.

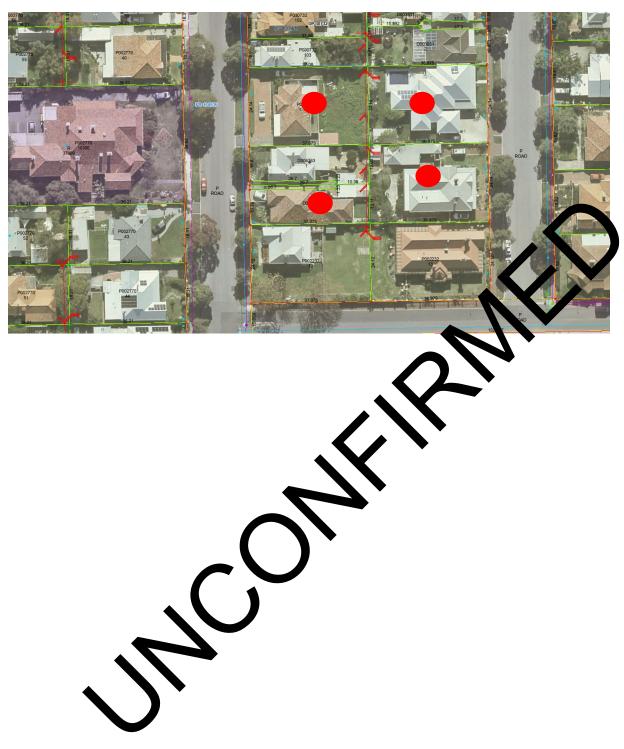
(CARRIED UNANIMOUSLY)

Note: As 4 Committee members voted in favour of the Reporting Officer's recommendation, pursuant to Council's decision regarding delegated decision making made on 16 May 2023, this application is deemed determined, on behalf of Council, under delegated authority.

#### **REPORT ATTACHMENTS**

Attachments start on the next page

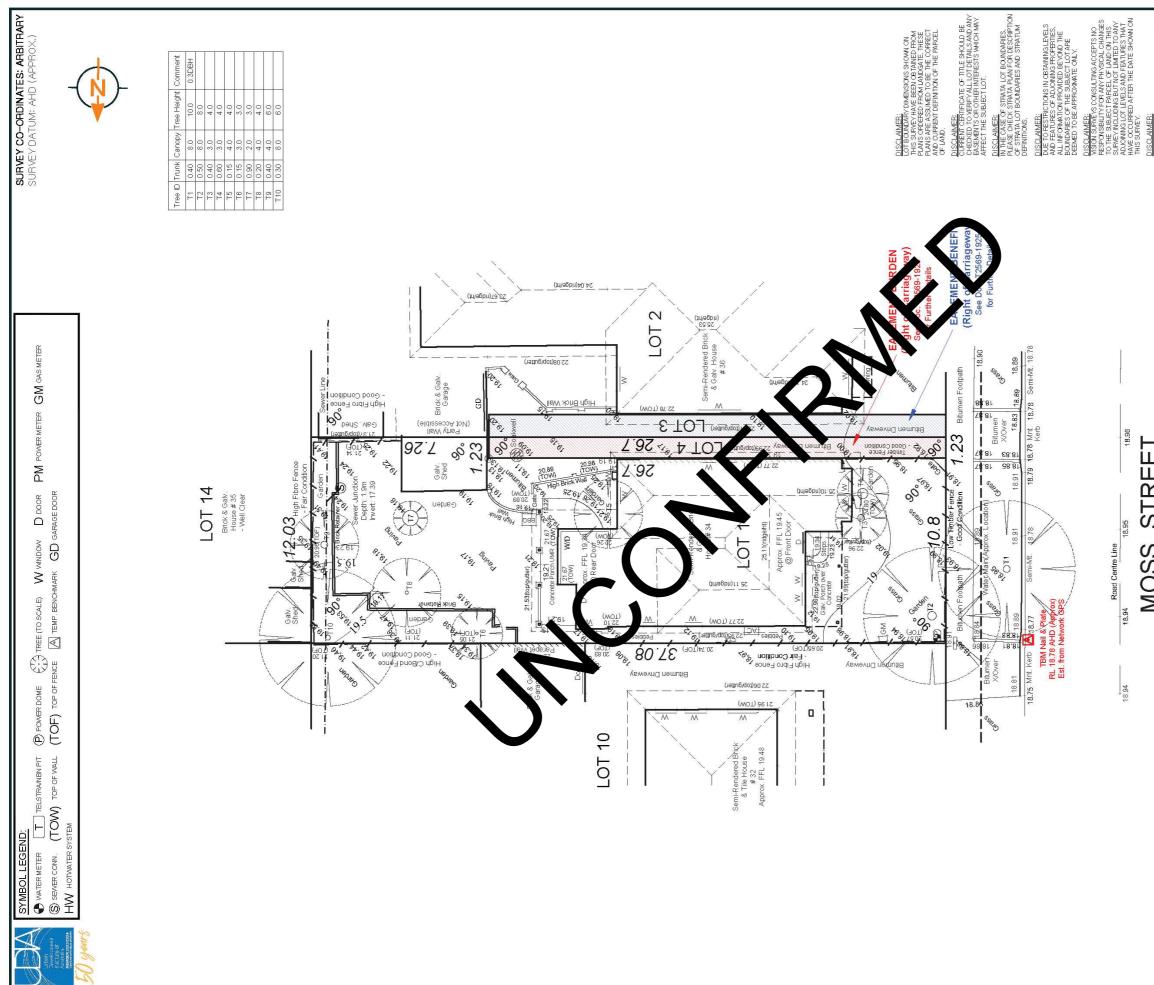
# 34 Moss Street – Location and Advertising Plan





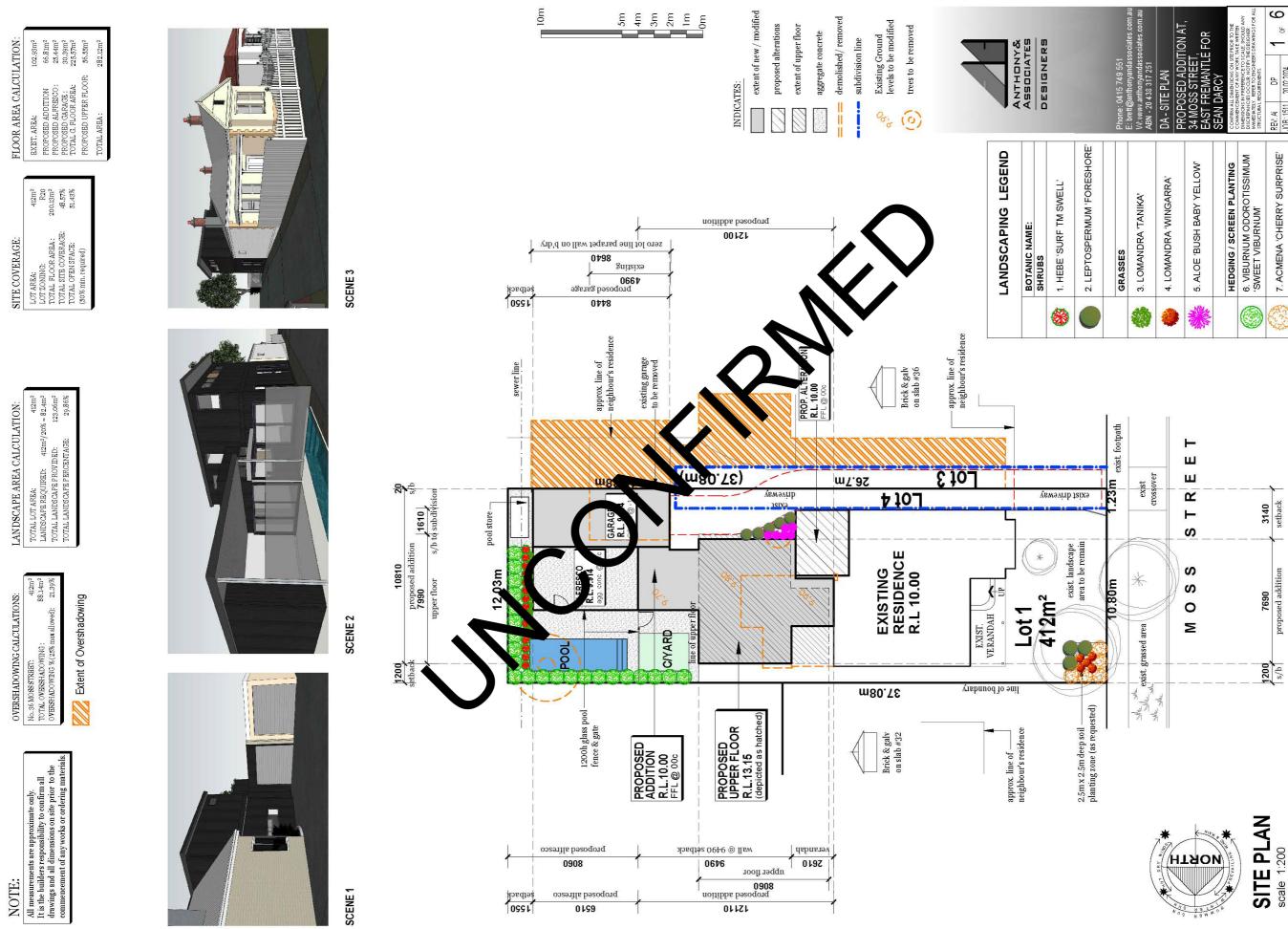
#### Attachment -2



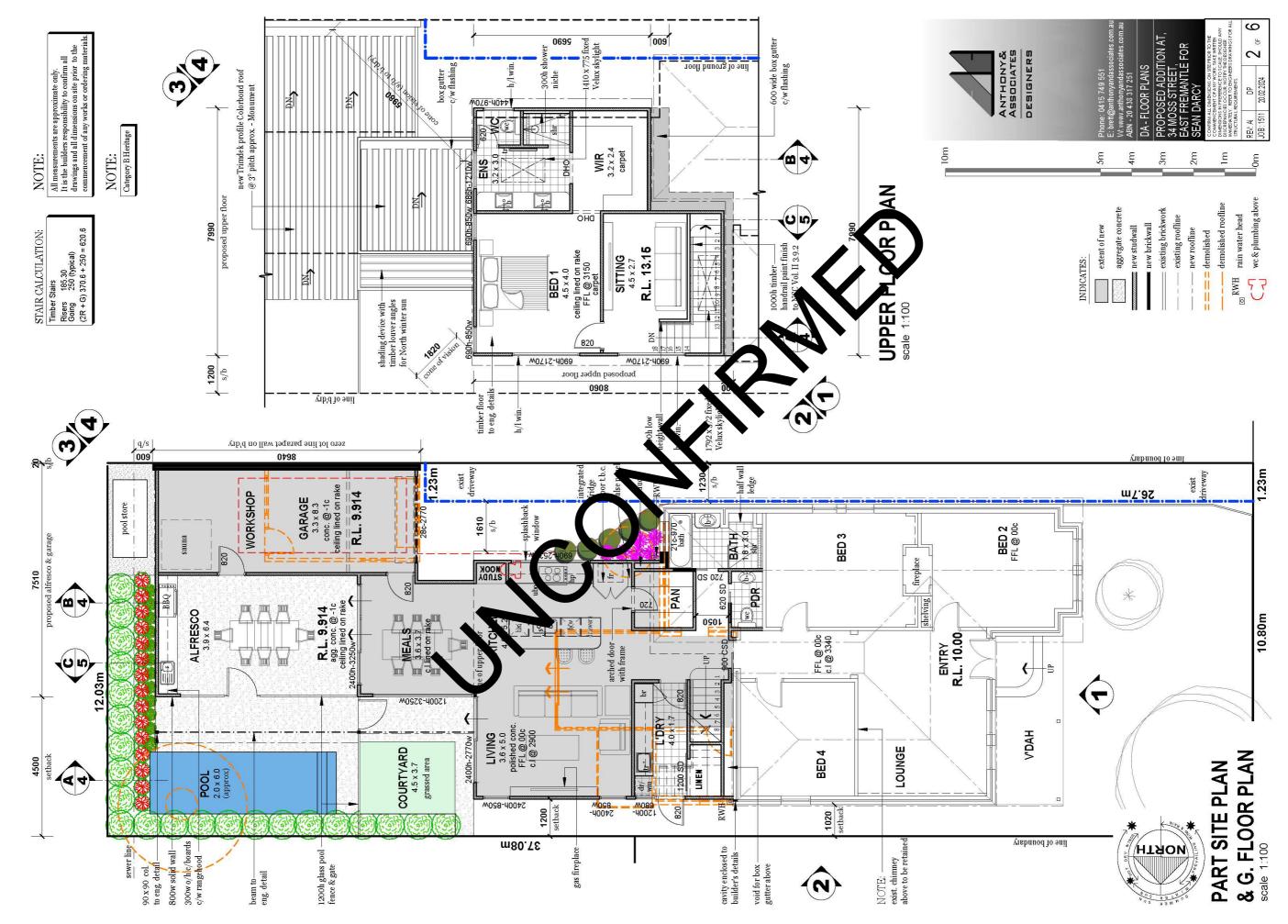


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Visionsurvevs			200	NOTE: THIS PLAN IS THE PROPERTY OF BOTH VISION SUPAEVS CONSULTING AND ITS CLIENT. THIS PLAN SHOULD NOT BE	CLIENT: Sean Darcy			DRAFTED BY: SH CHECKED BY: DS	
CONSULTING					DRESS: 34 MOSS (	ADDRESS: 34 MOSS STREET, EAST FREMANTLE		DRAFTING DATE: 18.10.2023	
59 Scarborough Beach Rd, scrapping inch warento				CONJUNCTION WITH VISION SURVEYS CONSULTING TERMS AND CONDITIONS.	OT THE PROPERTY OF THE	TOWN OF EAST EDEMANTIE		DWG REF: Moss 34 F - V1.0	
Tel:(08) 6144 0000 Fax(08) 6144 0099				5 10					
info@visionsc.com.au www.visionsc.com.au	REV DATE	AMENDMENT	APPROVED	41 SCALE 1:200 (A3)	412m <sup>2</sup> R20 LOT AREA: R COD	R CODE: D6763 R CODE: PLAN:	1327/637 ппсе:	1 OF 1 SHEETS SHEET	1 VERSION
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e **17** of **65** 

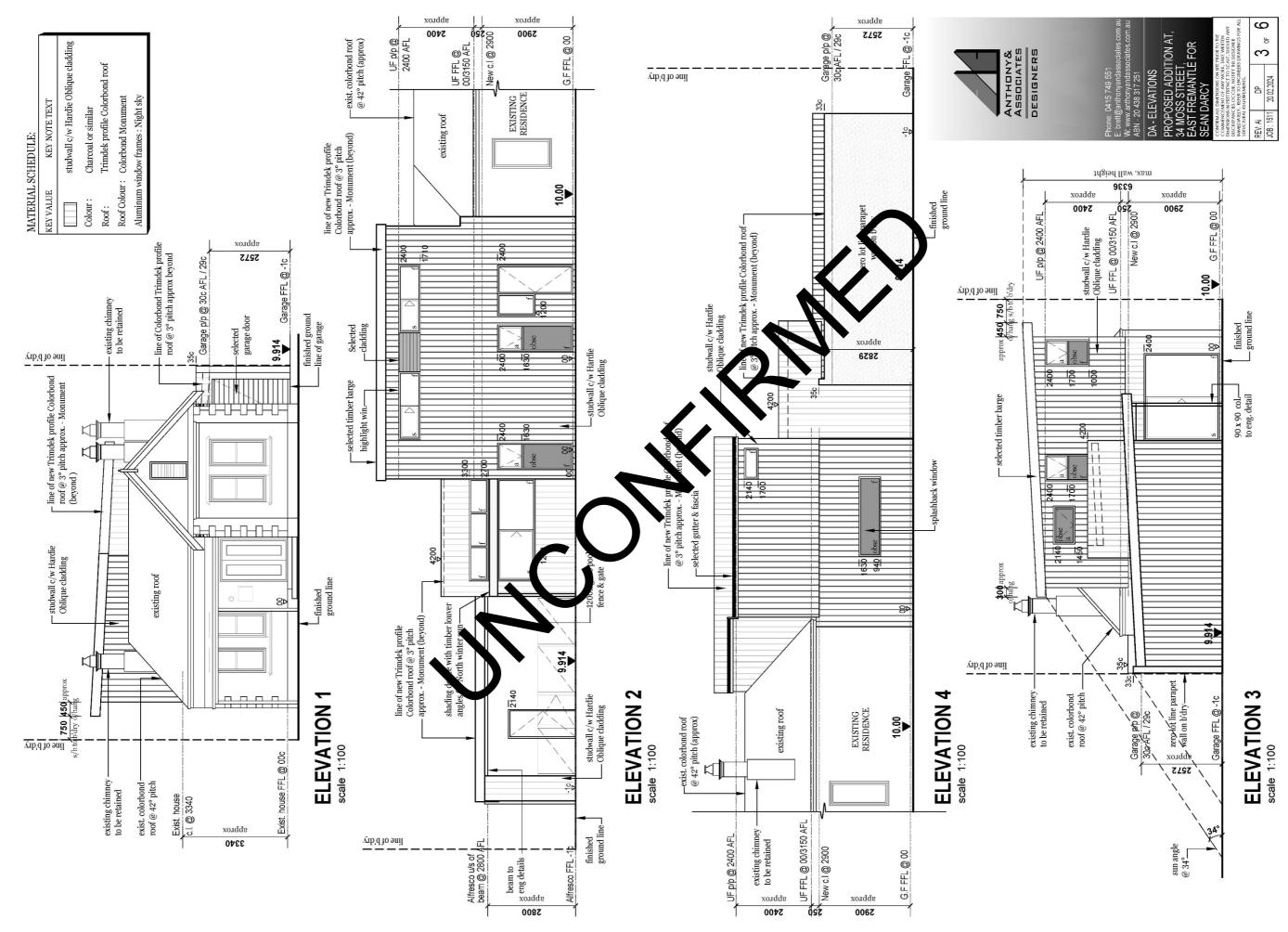


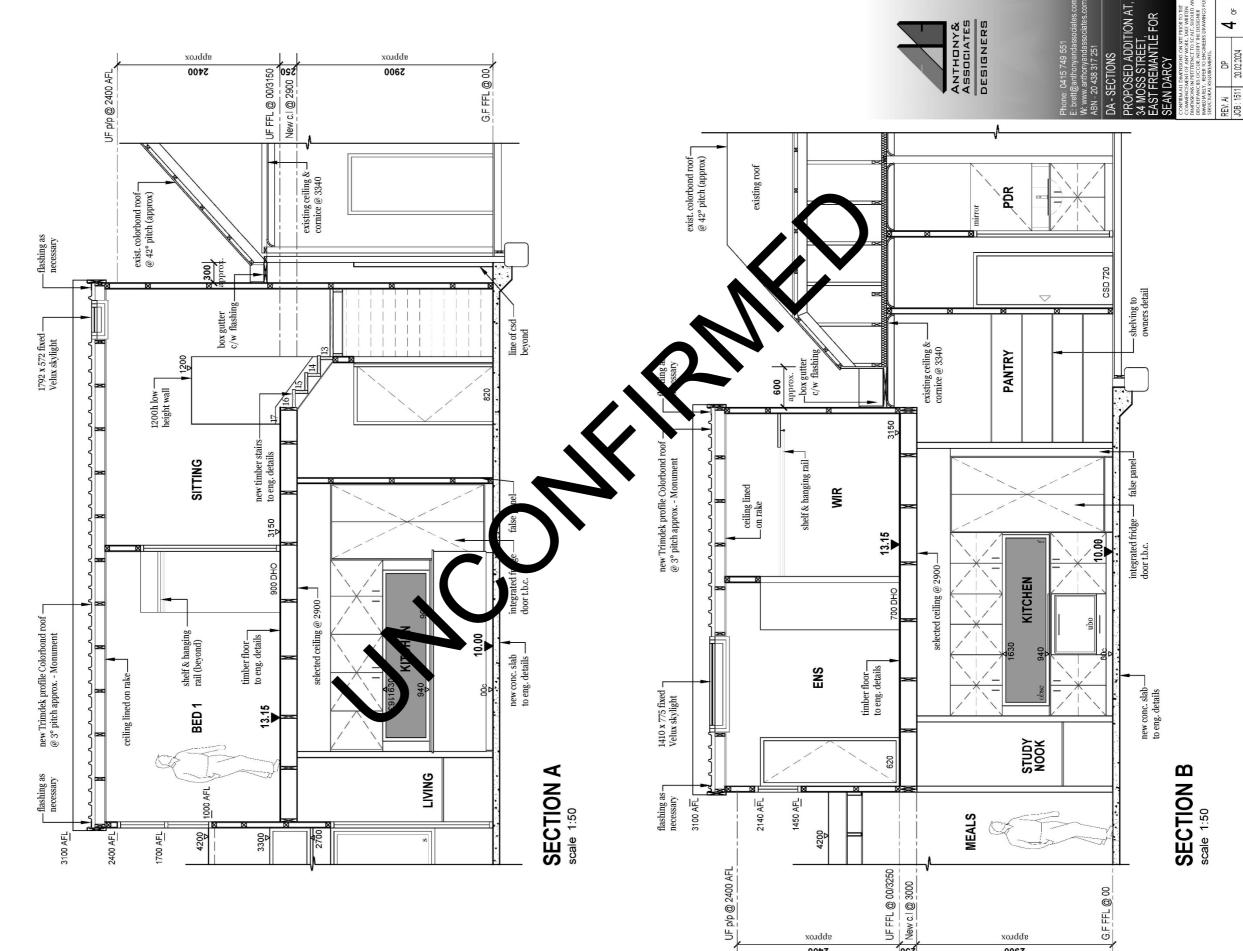
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<sup>2</sup>age **19** of **65** 







1

5400

NOTE : Roof construction as specified and in accordance with AS1684-2010

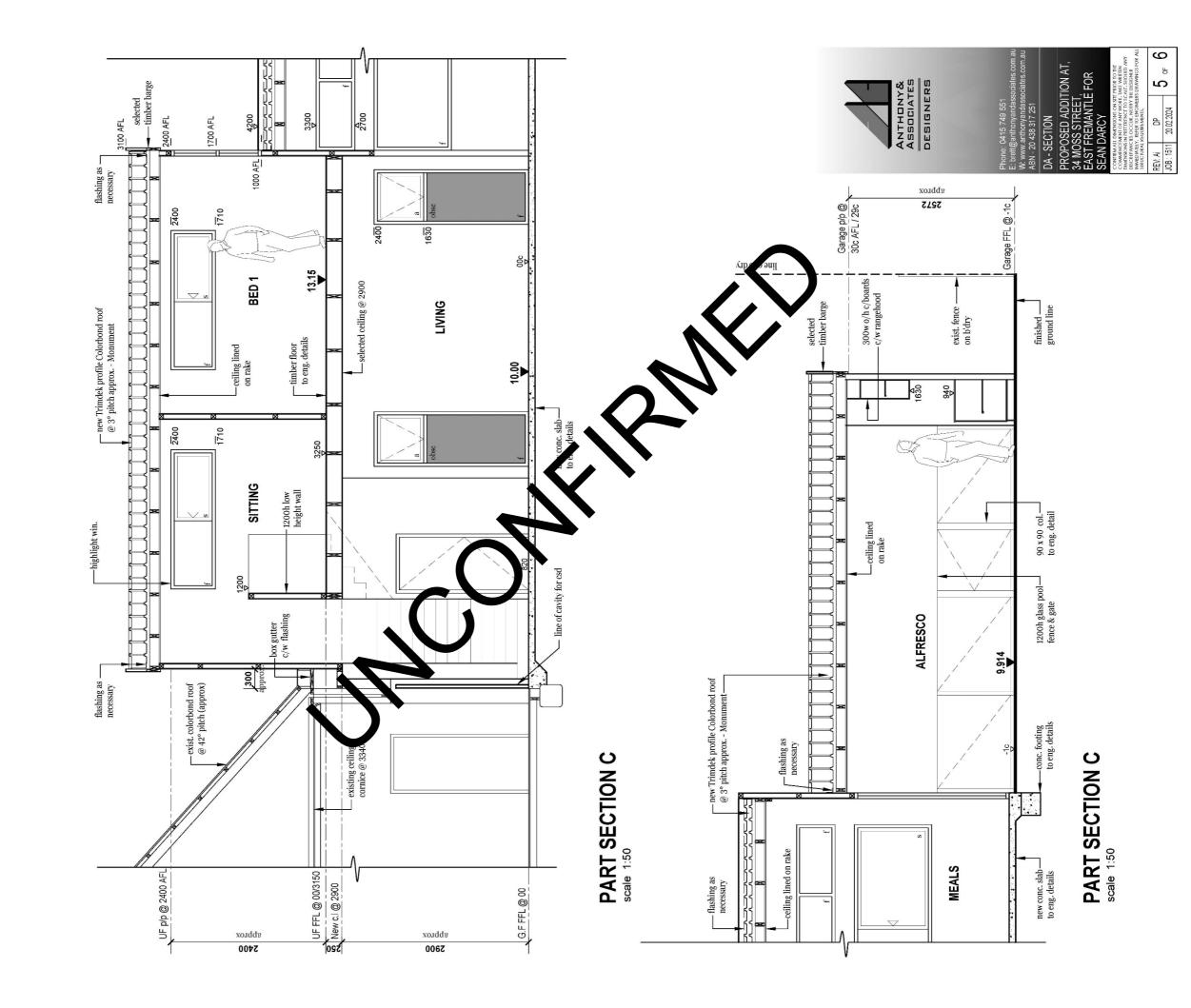
NOTE: Termite treatment to BCA requirements.

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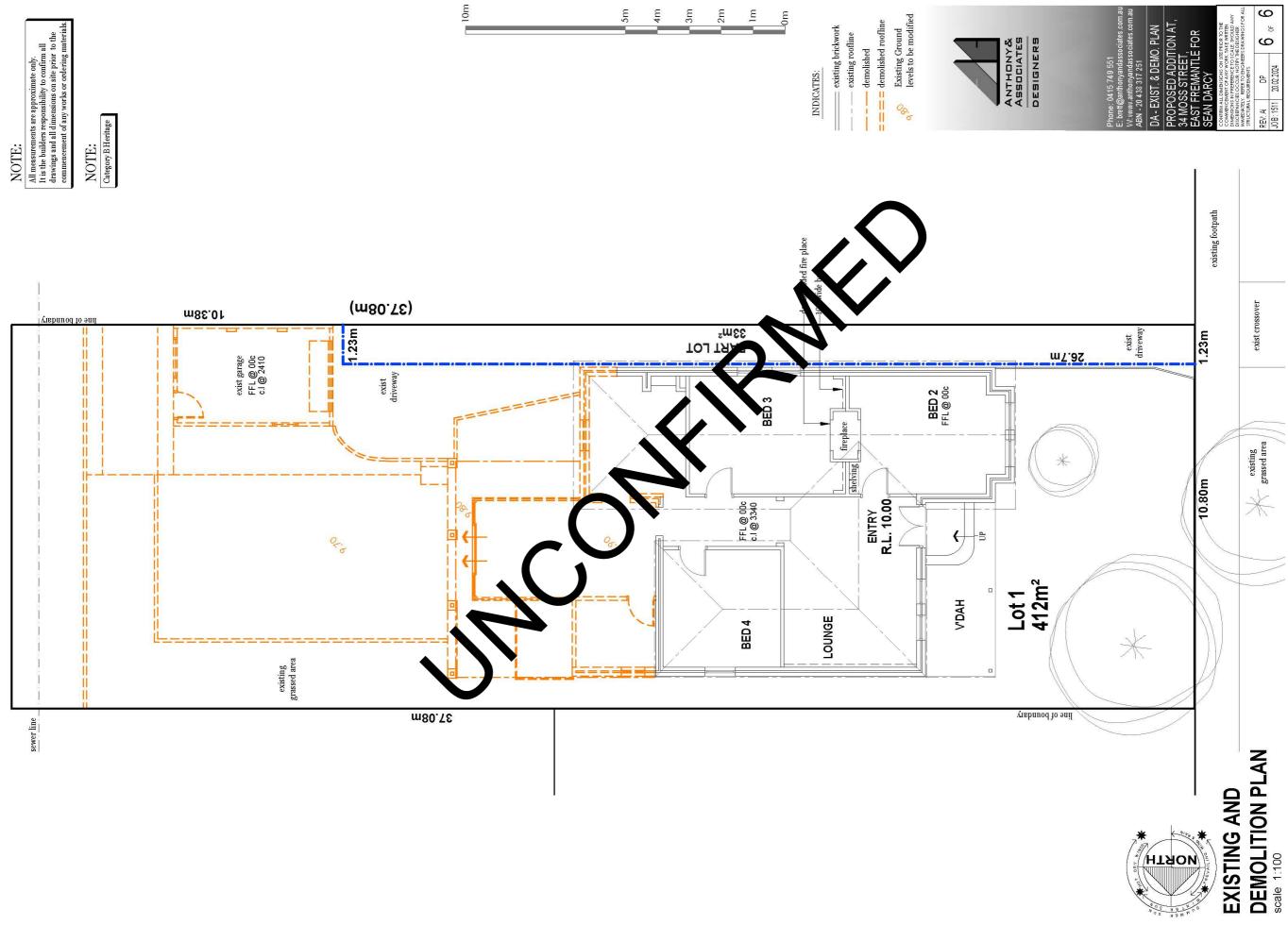
SILOULE



NOTE: Termite treatment to BCA requirements.

NOTE : Roof construction as specified and in accordance with AS1684-2010









# PLACE RECORD FORM

	<image/>
PRECINCT	Woodside
ADDRESS	34 Moss Street
PROPERTY NAME	N/A
LOT NO	Lots 1 & 4
PLACE TYPE	Risidence
CONSTRUCTION DATE	C 912
ARCHITECTURAL STYLE	Fouration Bungalow
USE/S	Original Use: Residence/ Current Use: Residence
STATE REGISTER	N/A
OTHER LISTINGS	N/A
MANAGEMENT CATEGORY	Category B
PHYSICAL DESCRIPTION	No 34 Moss Street is a single storey house constructed in rendered brick with a hipped and gable corrugated iron roof. It is a fine expression of the Federation Bungalow style. It is asymmetrically composed with a thrust gable bay and a part width bull-nosed roofed verandah. The verandah is supported on timber posts and it terminates at the gabled bay. The gable bay features a large vent and a pair of double hung sash windows. There is a central door flanked by a pair of double hung sash windows. In recent times the place has been rendered. The roofscape features several render capped chimneys.



The place retains its form and most of its details. There are additions to the rear.

The place is consistent with the building pattern in the Precinct. The place plays an important role in the pattern of development of a middle class suburb.

HISTORICAL NOTES Woodside is a relatively cohesive precinct where most of the places were constructed following the subdivision of W.D. Moore's Estate commencing in 1912. Most of the lots were sold between 1912 and 1929 and the majority of buildings were completed in this time. Residences were substantial and of various Federation period styles distinguishing the area from the small worker's cottages of Plympton. The Inter-War Bungalow style residence is also represented in Woodside.

The Woodside Precinct remains largely intact in terms of origin, housing with little infill subdivision or replacement housing.

OWNERS

Unknown Demographic Settlements - Residential Subdivisio

J/A

HISTORIC THEME CONSTRUCTION MATERIALS

Walls – Rendered brick

Roof – Corrugated iron sheeting

PHYSICAL SETTING The residence is situated on a near flat site with a mober picket fence on the lot boundary.

STATEMENT OF No 34 Moss SIGNIFICANCE and a corru contribution

No 34 Moss Street is a single hou constructed in rendered brick tor and a corrugated iron roof. d aesthetic value for its has his ric a contribution to Woodside' ation of predominantly oigh *c* ncer Federation period houses a ssociated buildings. The place contributes to the local itv's sense of place. nm

The place has contract the esthetic value as a Federation Bungalow. The place retains a coderate degree of authenticity and a high degree of integrity.

The additions to the ear have no significance.

AESTHETIC SIGNIFICANCE

HISTORIC SIGNIFICANCE

SCIENTIFIC SIGNIFICATCE SOCIAL

SIGNIFICANCE

RARITY

CONDITION INTEGRITY AUTHENTICITY MAIN SOURCES No. + Moss Street has considerable aesthetic value as a Federation Bingalow. It retains most of the characteristic features of a dwelling of the type and period.

to 3.000s Street has some historic value. It was part of the suburban evidential development associated with the expansion of East Fremantle include subdivision of W. D. Moore's Woodside Estate from 1912.

No 34 Moss Street has some social value. It is associated with a significant area of middle class Federation and Inter-War period development which contributes to the community's sense of place.

No 34 Moss Street is not rare in the immediate context but Woodside has rarity value as a cohesive middle class suburb.

No 34 Moss Street is in good condition.

No 34 Moss Street retains a high degree of integrity.

No 34 Moss Street retains a moderate degree of authenticity.



#### 12.2 156 PRESTON POINT ROAD - 2 STOREY RESIDENCE

Owner	Mark Campana
Applicant	Blend Residential Designs
Report Reference Number	TPR-1745
Planning Reference Code	P005/24
Prepared by	James Bannerman
Supervised by	Andrew Malone
Meeting date	Tuesday, 2 April 2024
Voting requirements	Simple majority
Documents tabled	Nil

#### Attachments

- 1. Location and advertising plan
- 2. Photos
- 3. Plans

#### PURPOSE

The purpose of this report is for Council to consider a development a polication for the demolition of an existing dwelling and the construction of a new double storey residential evelopment at 156 Preston Point Road, East Fremantle.

#### EXECUTIVE SUMMARY

This development application proposes the demolition isting dwelling and the construction of a new double an storey residential dwelling at 156 Preston Point remantle. The proposed dwelling is double storey with Odu. four bedrooms, two bathrooms, gym/act kitchen, dining, and family room with a rear loading double on garage. The existing property is not her tage liste A undscaping plan as well as a materials and colour schedule was provided with the development applica on. The l t is relatively large compared to the footprint of the dwelling so there is significant open space p e property. The following variations to the Residential Design Codes ed a and the Residential Design Gui elines ar proposed;

- (i) Clause 5.1.3 Residentic Describedes –Lot Boundary Setback Western Wall Bed 3, Semi- ensuite, Laundry, Gym/Activity, Alexandry, Grund Floor 1.7m required, 1.605m provided
- (ii) Clause 5.1.3 Restantial Design Codes Lot Boundary Setback Western Wall Kitchen, Scullery, Study Upper Storey 1.8m required, 1.605m provided
- (iii) Clause 3. 17.4.1.3 Residential Design Guidelines Wall Height 5.6m required, 7m provided
- (iv) Clause 3.7.1 4.1.2 Residential Design Guidelines Roof Height 8.1m required, 8.2m provided

The development application for the proposed new dwelling is recommended for support subject to the conditions included in the final recommendation.

#### BACKGROUND

Zoning	Residential R17.5
Site Area	1040m2
Heritage	N/A
Fremantle Port Buffer	N/A
Previous Decision of Town and/or History of Issue Onsite	Nil



#### CONSULTATION

The proposed development was advertised from 1 to 16 February 2024. No submissions were received.

No other referrals were made.

#### STATUTORY ENVIRONMENT

Planning and Development Act 2005 Residential Design Codes (Volume 1) Local Planning Scheme No. 3 (LPS 3)

#### POLICY IMPLICATIONS

Local Planning Policy 3.1.1 – Residential Design Guidelines Local Planning Policy 3.1.8 – Wood Encouragement - General

#### FINANCIAL IMPLICATIONS

Nil

#### STRATEGIC IMPLICATIONS

The Town of East Fremantle Strategic Community Plan 2020-2030 tate as Hows

#### <u>Built Environment</u>

Accessible, well planned built landscapes which are in balance with the Nown's unique heritage and open spaces. 3.1 Facilitates sustainable growth with housing options to mark future community needs.

- 3.1.1 Advocate for a desirable planning and community utcome for all major strategic development sites.
- 3.1.2 Plan for a mix of inclusive diversified housing of tions
- 3.1.3 Plan for improved streetscapes.
- 3.2 Maintaining and enhancing the Town's devace x. 3.2.1 Ensure appropriate planning pricies to protect the Town's existing built form.
- 3.3 Plan and maintain the Town's asset to ensure they are accessible, inviting and well connected.
  - 3.3.1 Continue to improve assert and smerr within resource capabilities.
  - 3.3.2 Plan and advocate for mproved access and connectivity.

#### **RISK IMPLICATIONS**

A risk assessment was much the and the risk to the Town in determining this application was deemed to be negligible.

#### SITE INSPECT.

A site inspection was andertaken.

#### COMMENT

#### Statutory Assessment

This development application was assessed against the Town's Local Planning Scheme No. 3, the Residential Design Codes, and the Residential Design Guidelines.



A summary of the assessment is included in the following tables.

Legend		
А	Acceptable	
D	Discretionary	
N/A	Not applicable	

## Local Planning Scheme No. 3/Residential Design Guidelines/Residential Design Codes

Design Element	Required	Proposed	Status
Street front setback	7.5m	>7.5m	
Garage setback		Garage hidden behind proposed dwelling	A
Minor incursions			VA
Lot Boundary Setbacks			
Western wall – bed 3, semi- ensuite,	1.7m	1.605m	
laundry, gym/activity, alfresco –			
ground floor			
Southern wall – alfresco, garage –	1m	>1m	А
ground floor			
Eastern wall – bed 2, entry, garage –	1.6m	>1000	А
ground floor			
Western wall – kitchen, scullery, study	1.8m	507-11	D
– upper storey			
Western wall – <del>lift,</del> ensuite – upper	1.2m	1.2m	А
storey		·	
Southern wall – WIR, ensuite - upper	1.2m	>1.2m	А
storey			
Southern wall – lift, study	1.2m	>1.2m	A
Eastern wall – WIR, master suite, family	2.2m	5.193m	А
– upper storey			
Car Parking	2 car ays	>2 car bays	А
Open Space	50%	>50%	А
Wall Height	5.6r	7m	D
Roof Height	0.1m	8.2m	D
Site Works		Site works and retaining walls	А
		within requirements	
Visual Privacy	Balc Iy – western edge – 7.5m	<7.5m	A -
	Baicony -eastern edge – 7.5m	>7.5m	Screening
	Master suite – south window –	>4.5m	provided
	4.5m	<7.5m	А
	Front verandah – 7.5m		А
			A -
			Screening
			provided
Overshadowing		Overshadows subject site	Α
Garage width		Garage hidden behind	A
		proposed dwelling	
Roof form and pitch	Impact of roof to be	Impact of roof demonstrated	А
	demonstrated		+
Materials and colours			A
Landscaping	2m x 2m deep planting zone	Provided	A
	1 tree	Provided	A
Front fence & gate		No front fence	N/A
Sightlines		N/A	
Footpaths and crossovers		Condition	
Drainage		Condition	
Wood Encouragement Policy		No timber indicated	



This development application proposes the demolition of an existing dwelling and the construction of a new double storey residential dwelling at 156 Preston Point Road, East Fremantle. The proposed dwelling is double storey with four bedrooms, two bathrooms, gym/activity room, kitchen, dining, and family room with a rear loading double garage. The existing property is not heritage listed. A landscaping plan as well as a materials and colour schedule was provided with the development application. The lot is relatively large compared to the footprint of the dwelling so there is significant open space provided across the property. There is a request for four variations to the Residential Design Codes and the Residential Design Guidelines in relation to lot boundary setback (two locations), wall height and roof height.

Lot Boundary Setback - Western Wall – Bed 3, Semi- ensuite, Laundry, Gym/Activity, Alfresco – Ground Floor The western wall of the dwelling on the ground floor is 20.2m long and a maximum height of 27.5% and without major openings. It is required to be 1.7m from the boundary in accordance with the Residential Design Codes deemed to comply clause 5.1.3 C3.1. In this case the wall is marginally closer to the wallthan equire (at 1.605m. This marginal reduction in setback can be supported in accordance with design principles 5.1.3 M for the following reasons;

- There is minimal impact on building bulk on the adjoining property,
- Adequate sunlight and ventilation will be able to reach the building and open spisses on the site and the adjoining properties, and
- There is minimal overlooking and loss of privacy on adjoining pro-

There is only a 0.1m reduction in setback which does not impact the ability of the sun to access the area between the subject dwelling and the neighbouring property and still allows into circulate around the area. The wall is without major openings and there is no impact on visual privacy. Glazing is obscured or above 1.6m from the finished floor level. For these reasons, the proposed reduction in the boundary setback can be supported.

#### Lot Boundary Setback - Western Wall – Kitchen, Scun ry, Sudy – Upper Storey

The western wall of the dwelling on the upper storey is 2.93. long and has a maximum height of 6.8m and without major openings. It is required to be 1.8m from the bound the in accordance with the Residential Design Codes deemed to comply clause 5.1.3 C3.1. In this target the wall is marginally closer to the wall than required at 1.605m. This marginal reduction in setback can be supported in accordance with design principles 5.1.3 P3.1 for the following reasons;

- There is minimal impact on banding bolk or the adjoining property,
- Adequate sunlight and ven lation will be able to reach the building and open spaces on the site and the adjoining properties, and
- There is minimal overlooking and loss of privacy on adjoining properties.

There is only a 0.195h counting in setback which does not impact the ability of the sun to access the area between the subject dwelling and the neighbouring property and still allows air to circulate around the area. The wall is without major openings and there is no impact on visual privacy. Glazing from the kitchen is obscured. For these reasons, the proposed reduction in lot boundary setback can be supported.

#### Maximum Wall Height

The maximum wall height that the dwelling reaches is 7m. This is 1.4m above the maximum wall height that is considered permissible under the Residential Design Guidelines acceptable development provision 3.7.17.4.1.3 A1.4. The increased wall height above this level achieves performance criteria 3.7.17.4.1.3 P1. The new development is of a compatible form, bulk, and scale to traditional development in the immediate locality. Although the development is higher it is narrower than the existing development so some river views are retained. For this reason, the proposed increase in wall height can be supported.

#### Maximum Roof Height

The maximum roof height that the dwelling reaches is 8.2m. This is 0.1m above the maximum roof height that is considered permissible under the Residential Design Guidelines acceptable development provision 3.7.17.4.1.3 A1.4.



The increased roof height above this level achieves performance criteria 3.7.17.4.1.3 P1. The new development is of a compatible form, bulk, and scale to traditional development in the immediate locality. It is noted that although the development is higher the development is narrower therefore ensures views are retained for some properties to the south of the proposed dwelling. For this reason, the proposed increase in wall height can be supported.

#### CONCLUSION

There are only four variations and these are considered relatively minor given the location of the dwelling that has been proposed. The proposed dwelling has a relatively small footprint relative to the site area and the design has limited amenity impacts on neighbouring properties. Issues related to visual privacy are addressed through privacy screens, obscured glazing and highlight windows. Following advertising there were no submissions in opposition to the development.

The proposed development is recommended for support subject to the conditions included in the first recommendation.

#### OFFICER RECOMMENDATION / COMMITTEE RESOLUTION

#### **OFFICER RECOMMENDATION/ COMMITTEE RESOLUTION TP0204**

#### Moved Mayor O'Neill, seconded Cr White

That development approval is granted, and Council exercises is discretion regarding the following;

- (i) Clause 5.1.3 Residential Design Codes –Lot Boundary St back Western Wall Bed 3, Semi- ensuite, Laundry, Gym/Activity, Alfresco – Ground Florr – 7.7m required, 1.605m provided
- (ii) Clause 5.1.3 Residential Design Codes Let Boundary Setback Western Wall Kitchen, Scullery, Study Upper Storey – 1.8m required, 1.60sm provided
- (iii) Clause 3.7.17.4.1.3 Residential Design Guidenes Wall Height 5.6m required, 7m provided
- (iv) Clause 3.7.17.4.1.3 Residential Login uidelines Roof Height 8.1m required, 8.2m provided for a double storey dwelling at No. 15b (Lot 1) resion Point Road, East Fremantle, in accordance with the plans submitted 27 February 2024, subject to the following conditions:
- (1) Visual privacy screening is to be establed in accordance with the plans submitted 27 February 2024 that achieves the deemed to comply requirements of clause 5.4.1 C1.2 of the Residential Design Codes that is it is a minimum of 1.6m from the finished floor level, at least 75% obscure, permanently fixed, made of durable minimum, and restrict view in the direction of the overlooking.
- (2) The footpatient strength remain accessible to pedestrians.
- (3) Prior to the sumission of a building permit application, a Construction Management Plan shall be prepared to the satisfaction of the Town. This plan is to address the following matters during the construction/development period:
  - (a) Note, vibration, air, and dust management;
  - (b) Contact details of essential site personnel, construction periods and construction operating hours;
  - (c) Traffic management, including footpath closures and proposed signage;
  - (d) Parking management for all trades, contractors, and visitors to site;
  - (e) Public safety and amenity (traffic control and pedestrian management);
  - (f) Site access/egress management;
  - (g) Scaffolding management plan;
  - (h) Management plan for the loading and unloading of vehicles;
  - (i) Heavy construction machinery and deliveries;
  - (j) Bulk earthwork operations;
  - (k) Stormwater and sand/sediment control;



- (I) Street tree management and protection;
- (m) Protection of footpath;
- (n) Details of all concrete pours and requirements relating to piling methods or associated works;
- (o) Temporary fencing;
- (p) Temporary toilets;
- (q) Dilapidation of Town infrastructure and nearby properties;
- (r) Hoardings and gantries; and
- (s) Any other relevant matters.

The requirements of this plan are to be observed at all times during the construction process.

- (4) The crossover widths are not to exceed the width of the crossover indicated on the plans date submitted and to be in accordance with the Town of East Fremantle's (the Town) closs ver policy, the Residential Design Guidelines and the Urban Streetscape and Public Realm Style Guide.
- (5) The works are to be constructed in conformity with the drawings and writter information accompanying the application for development approval other than where varied in purpliance with the conditions of this development approval or with the Town's further approval.
- (6) The proposed works are not to be commenced until the Town has releved to application for a Building Permit and the Building Permit issued in compliance with the conditions of this development approval unless otherwise amended by the Town.
- (7) With regards to the plans submitted with respect to the Building Aarma pplication, changes are not to be made in respect of the plans which have received revelopment approval, without those changes being specifically marked for the Town's attent on
- (8) All stormwater is to be disposed of on site, an intercentor trannel installed if required and a drainage plan be submitted to the satisfaction of the Torun prior in the submitted prior.
- (9) If requested by the Town within the first two rears following installation, the roofing to be treated to reduce reflectivity. The treatment to be to the substantiation of the Chief Executive Officer in consultation with relevant officers and all associated costs to be borne by the owner.
- (10) All introduced filling of earth to the local curve ded cutting into the existing ground level of the lot, either temporary or permanent circle be dequately controlled to prevent damage to structures on adjoining lots or in the case outill, not be aboved to encroach beyond the lot boundaries. This shall be in the form of structurally addituate retaining walls and/or sloping of fill at the natural angle of repose and/or another method approved by the Town.
- (11) Where this development requires that any facility or service within a street verge (street trees, footpath, crossover, light pole, drainage point or similar) is to be removed, modified, or relocated then such works must be per oved by the Town and if approved, the total cost to be borne by the applicant. The Tewn must act reasonably and not refuse any reasonable proposal for the removal, modification or relocation of such facilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (12) This levelopment approval is to remain valid for a period of 24 months from date of this approval.

#### Footnote:

*The following are not conditions but notes of advice to the applicant/owner:* 

- (a) This decision does not include acknowledgement or approval of any unauthorised development which may be on site.
- (b) A copy of the approved plans as stamped by Town are attached and the application for a Building Permit is to conform with the approved plans unless otherwise approved by the Town.
- (c) An application for a new crossover is to be submitted to the Operations Department of the Town and plans are to be included with the application that meets the requirements of the Town's crossover policy, the Residential Design Guidelines and the Urban Streetscape and Public Realm Style Guide. This application and relevant information are available at the following links;



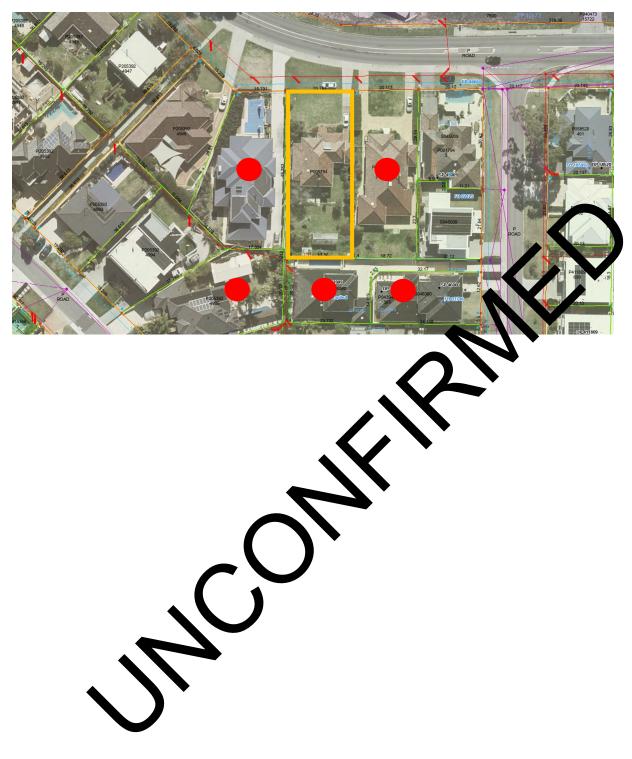


Attachments start to the next page

**REPORT ATTACHM** 

Attachment -1

# 156 Preston Point Road – Location and Advertising Plan







# 23-1034

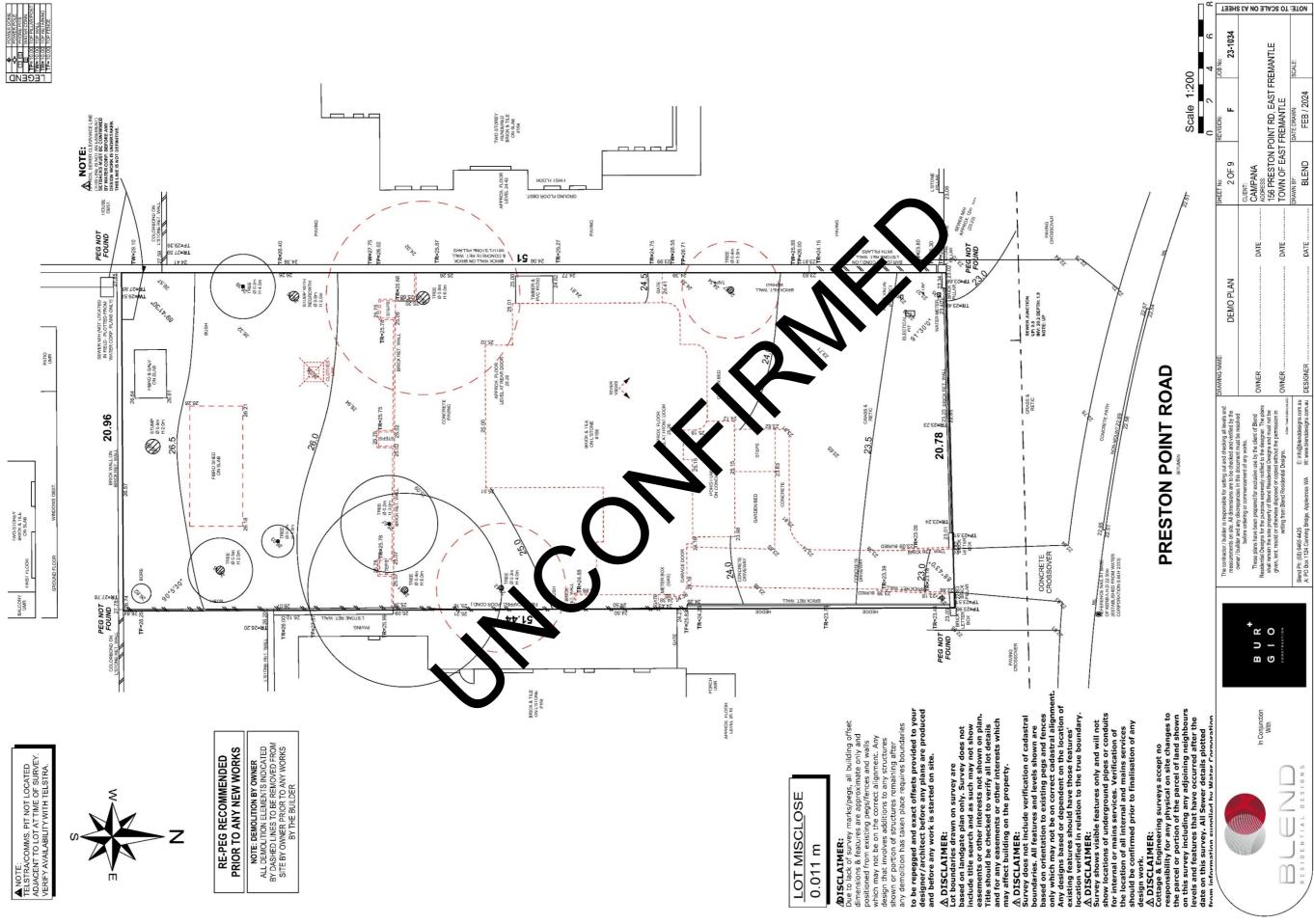
PROPOSED DEVELOPMENT: TWO STOREY DWELLING ADDRESS: 156 PRESTON POINT RD, EAST FREMANTLE LOCAL GOVERNMENT: TOWN OF EAST FREMANTLE **APPLICANT: CAMPANA** 

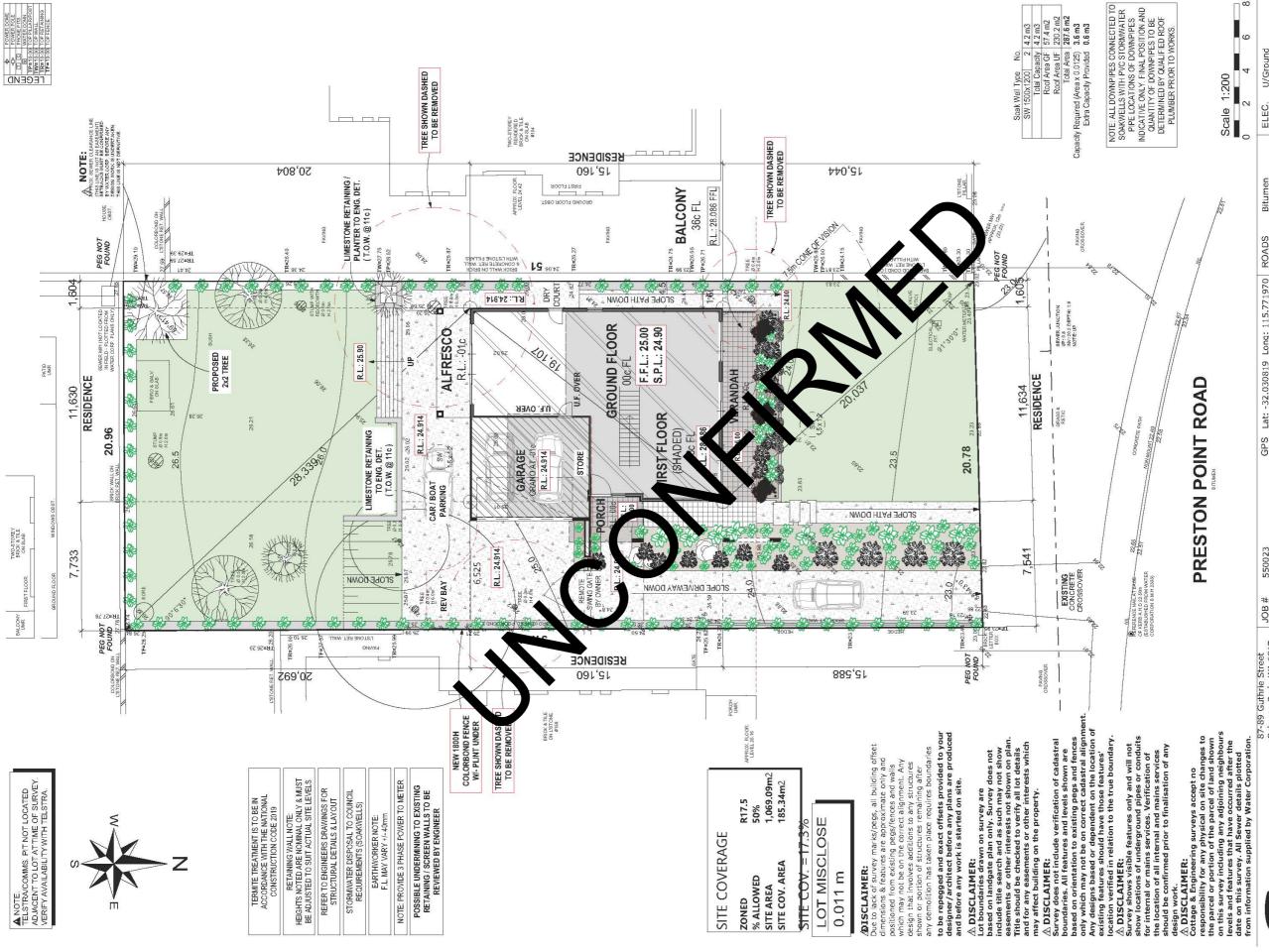
#### SHEET INDEX

- 1 COVER
- 2 DEMO PLAN
- 3 SITE PLAN
- 4 GF FLOOR PLAN
- FF FLOOR PLAN 5
- ELEVATIONS 1 & 2 6
- 7 ELEVATIONS 3 & 4
- 8 PERSPECTIVES 1
- 9 PERSPECTIVES 2



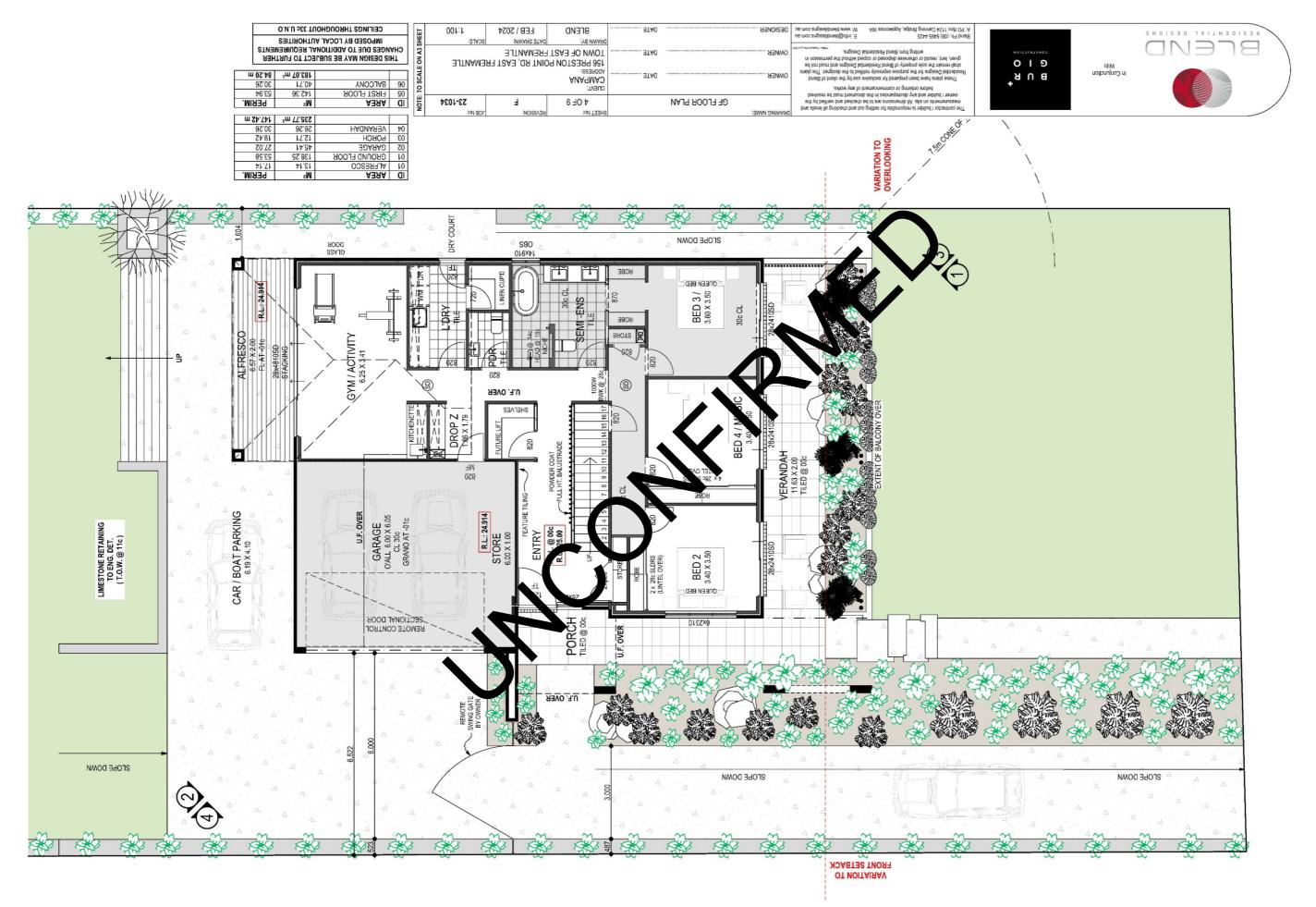


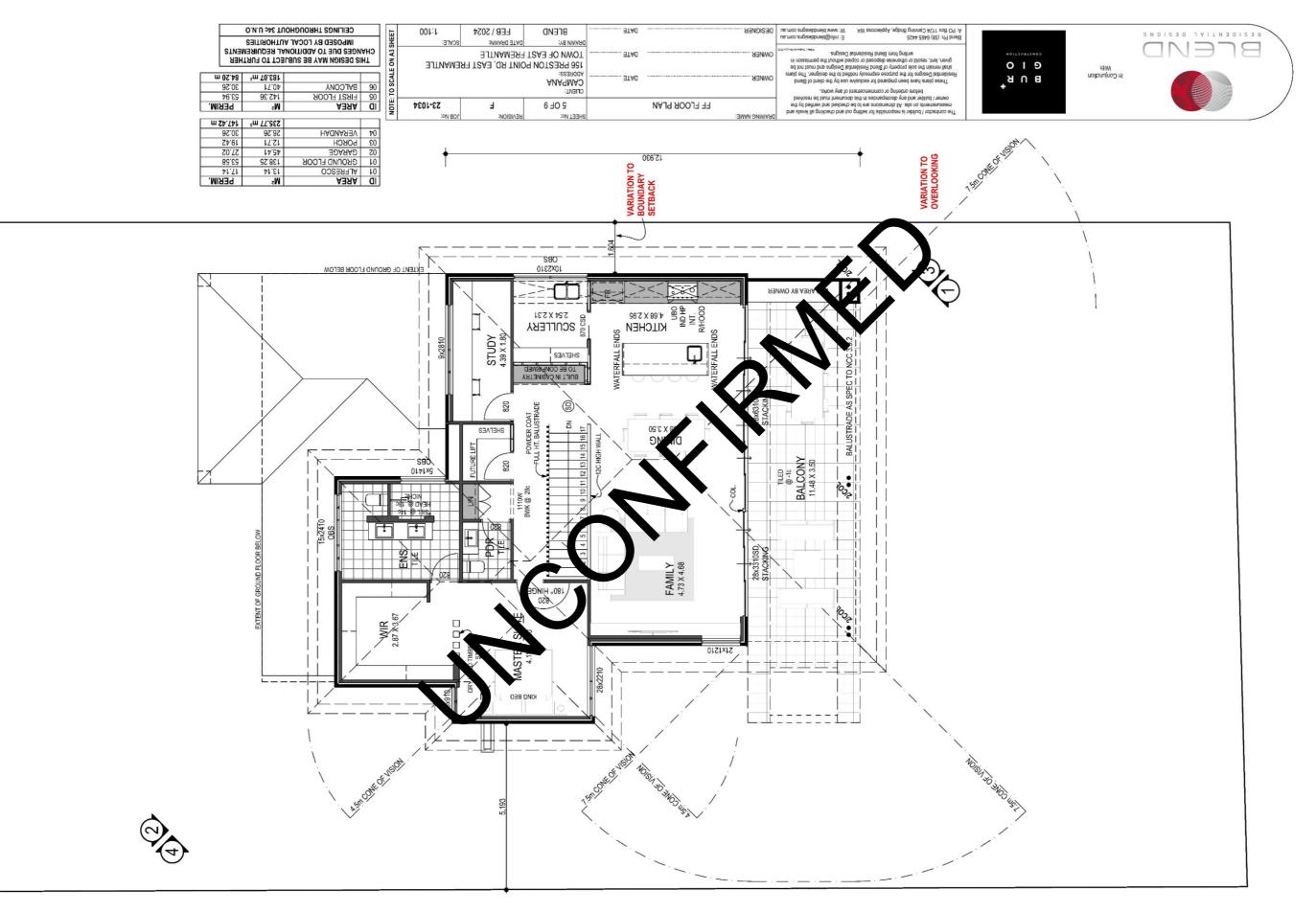


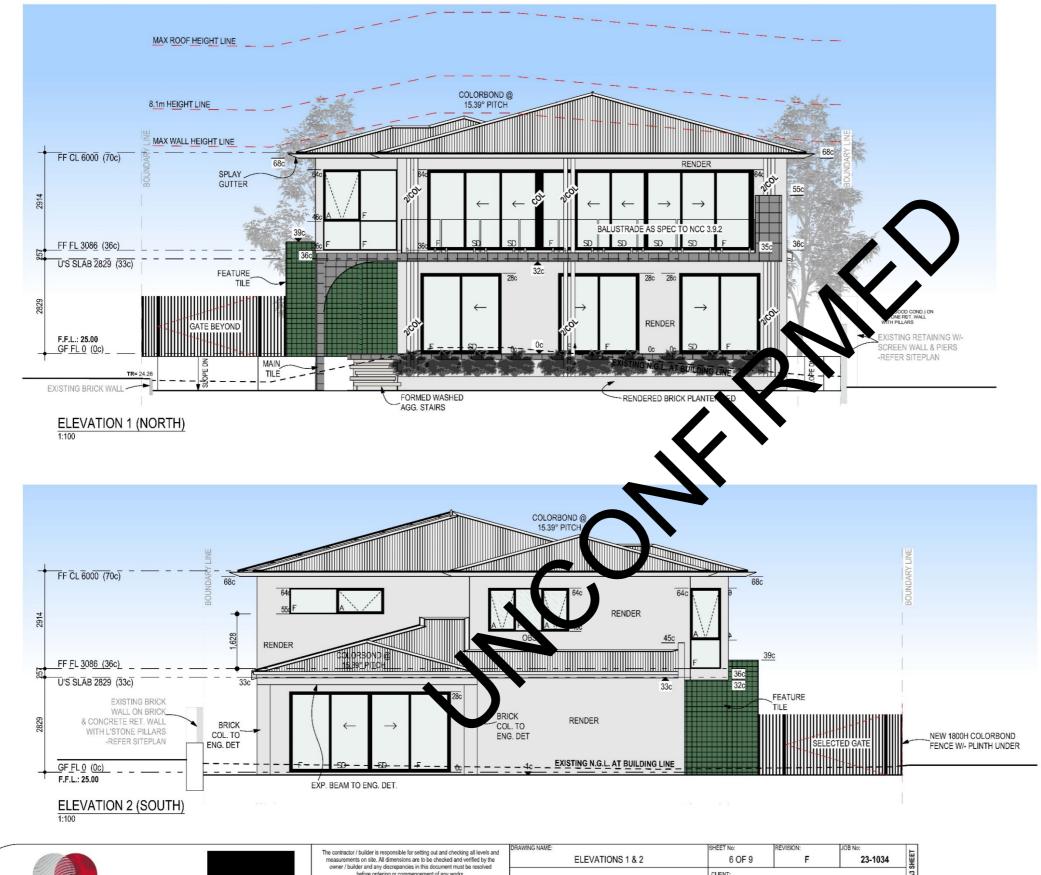


Attachment -3

Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work. <b>DISCLAIMER:</b> Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the	21 9 E S	Reference Hull AT trade- References Hull AT trade- restructions from Wards and Correction 8 and 12333	PRESTON POI	OONDERE RATH REMAINLESSE ZEA DINT ROAD	The Lot of the			PIPE LOCATIONS DUCATIVE ONLY FI DUCATIVE ONLY FI OUANTITY ONLY FI DETERMINED BY ( PLUMBER PRIO PLUMBER PRIO Scale 1:200	PIPE LOCATIONS OF DOWNPIPES NDCATIVE ONLY FINAL POSITION AND QUANTITY OF DOWNPIPES TO BE DETERMINED BY CUALIFIED ROOF PLUMBER PRIOR TO WORKS. Scale 1:200	IPES ON AND O BE ROOF (S.
date on this survey. All Sewer details plotted from information supplied by Water Corporation.	on.						•0	2	4	00
	87-89 Guthrie Street Osborne Park, WA 6017	JOB #	550023	GPS Lat: -32.030819 Long: 115.771970 ROADS	15.771970	ROADS	Bitumen	ELEC. U/Ground	U/Ground	
		CLIENT	Campana, Mark			KERBS	Non-Mount / Nil	COMMS. Not loc.	Not loc.	
	Osborne Park	ADDRES	ADDRESS #156 Preston Point Road	LOT Lot 1 (Plan 1794)		FOOTPATH Concrete	Concrete	WATER Yes	res	
コフミニー)	Business Centre WA 6917 SUBURB	SUBURB	East Fremantle			SOIL	Sand	GAS	Check Alinta	
	P: (08) 9446 7361	LGA	TOWN OF EAST FREMANTLE	TOWN OF EAST FREMANTLE AREA 1067m <sup>2</sup> VOL. 1017 F	FOL. 188 1	DRAINAGE Good	Good	SEWER Yes		(Approximate Only Confirm With Shire)
	W: www.cottage.com.au DRAWN	DRAWN	B. Smith	DATE 11 Jul 23 S	SSA No	'EGETATIO	VEGETATIONLight Grass Cover COASTAL 200m To River	COASTAL	200m To River	



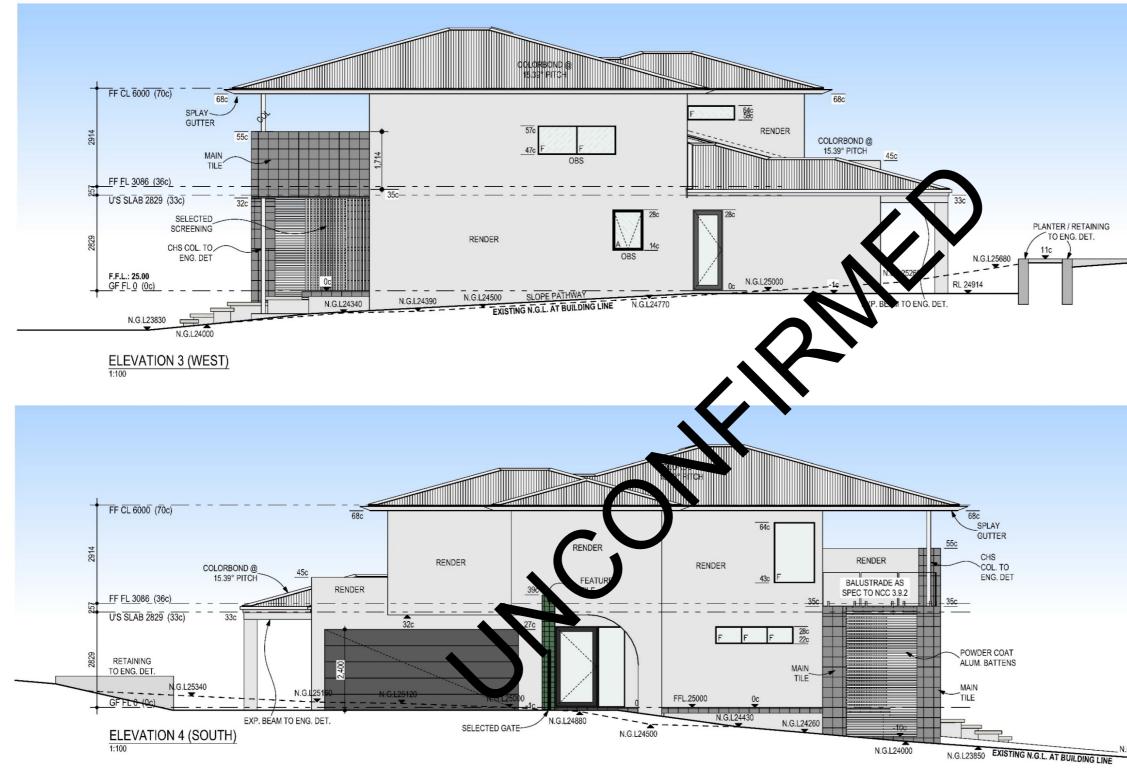




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	In Conjunction		Residential Designs for the purpose expressly not	fied to the designer. The plans	OWNER		ADDRESS:			
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		CONSTRUCTION	writing from Blend Residential		OWNER	DATE	TOWN OF EAST	FREMANTLE		10.8
DLEND							DRAWN BY:	DATE DRAWN:	SCALE:	- i
RESIDENTIAL DESIGNS			Blend Ph: (08) 6465 4425 A: PO Box 1124 Canning Bridge, Applecross WA	E: info@blenddesigns.com.au W: www.blenddesigns.com.au	DESIGNER	DATE	BLEND	FEB / 2024	1:100	NOTE

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES

Page **40** of **65** 



/				The contractor / builder is responsible for setting out and measurements on site. All dimensions are to be checke owner / builder and any discrepancies in this documer	checking all levels and ed and verified by the	DRAWING NAME: ELEVATIONS 3 & 4		SHEET No: 7 OF 9	REVISION: F	JOB No: 23-1034	SHEET
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	RESIDENTIAL DESIGNS				nfo@blenddesigns.com.au www.blenddesigns.com.au	DESIGNER	DATE	DRAWN BY: BLEND	DATE DRAWN: FEB / 2024	scale: 1:100	NOTE

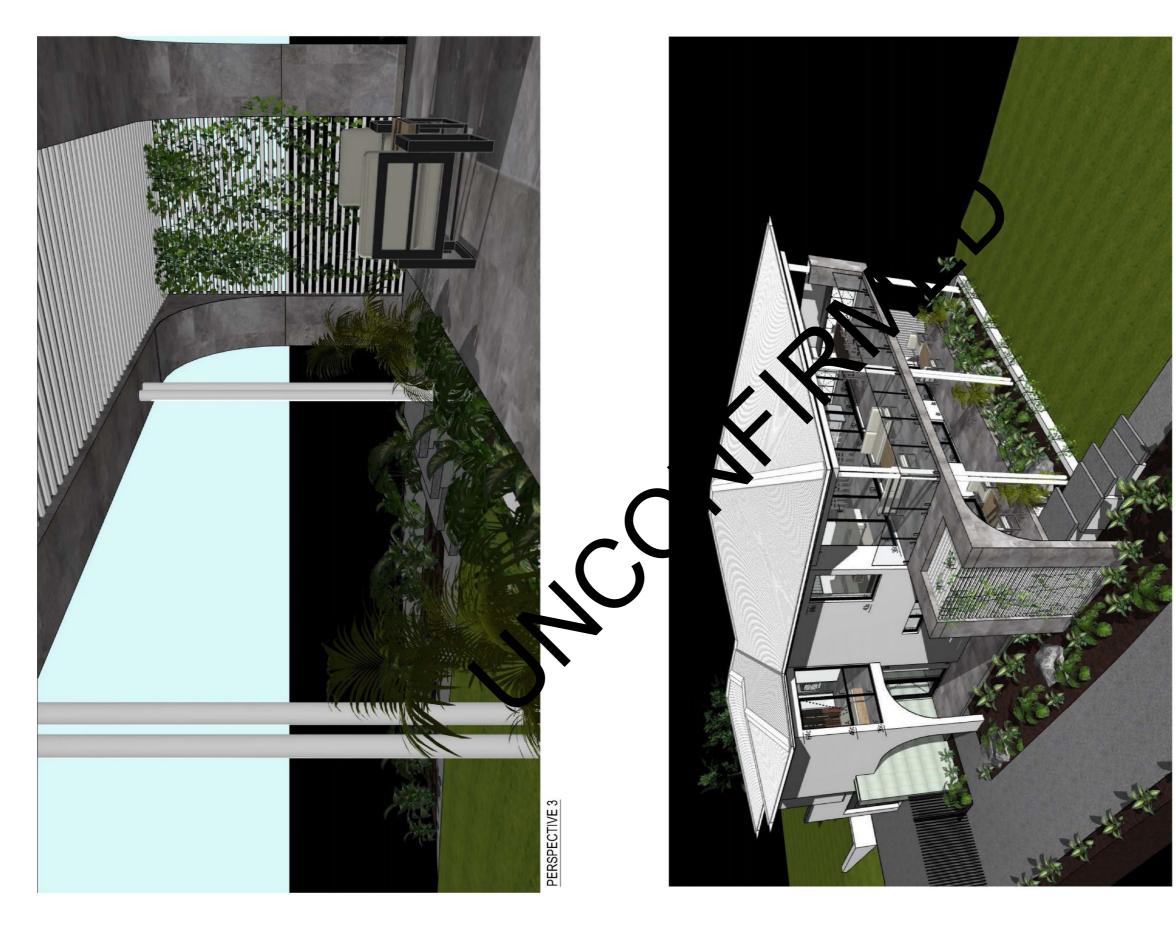
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## 12.3 58 ALLEN STREET - ALTERATIONS AND ADDITIONS

Owner	Janet Tunjic & Justin Osborne
Applicant	Peter Fryer Design
Report Reference Number	TPR-1761
Planning Reference Code	P009/24
Prepared by	James Bannerman
Supervised by	Andrew Malone
Meeting date	Tuesday, 2 April 2024
Voting requirements	Simple majority
Documents tabled	Nil

#### Attachments

- 1. Location and advertising plan
- 2. Photos
- 3. Plans
- 4. Photo of original roof terrace
- 5. Place Record Form

#### PURPOSE

The purpose of this report is for Council to consider the nevel pament application for proposed alterations and additions at 58 (Lot 32) Allen Street, East Fremantle

## EXECUTIVE SUMMARY

This development application proposes a ad additions to an existing heritage listed dwelling (Category B) located at 58 (Lot 32) Allen Street, East remanti It proposed to remove the rear verandah and renovate the ew enclosed alfresco area at the rear of the dwelling. A new storey is to be kitchen and bathroom, as well as add a added towards the rear of the b ing room, bedroom, loft and third bathroom and kitchenette being lg w s originally part of the building, but removed many years ago, is being rebuilt to the installed. A roof terrace that w ns requested to the Residential Design Guidelines and the Residential top of the dwelling. There o variati ce t Design Codes. These include

- (i) Clause 3.7.8.3 Resciential Design Guidelines Roof Pitch 28 to 36 degrees required, 2.5 degrees (concealed roof) provided, and
- (ii) Clause 5...3 Residential Design Codes Visual Privacy Setback Roof Deck Southern Wall 7.5m required, less than 7.5m provided

It is recommended that Council support the proposed alterations and additions subject to the conditions included in the final recommendation.

#### BACKGROUND

Zoning	Residential R12.5
Site Area	1088m2
Heritage	Category B
Fremantle Port Buffer	Category B
Previous Decision of Town and/or History of Issue Onsite	Nil



# CONSULTATION

#### **Advertising**

The proposed development was advertised to surrounding properties and online from 14 February to 1 March 2024. One submission was received and have been included below.

Submission	Applicant Response	Town Response
I have some concerns I wish to	The upper level addition exceeds the council's height	The design achieves the deemed to
address.	policy of 6.5m by up to 0.6m (7.1m maximum proposed)	comply height requirements of the
Please confirm the following;	The height is in accordance with the R-Codes building and	Residential Design Codes. The
That this design meets Council	wall height limit and setback requirements. Whilst there is	statement made by the applicant is
height restrictions.	a relatively minor variation sought of 0.6m, it is considered	incorrect as the heights indicated by
That this design meets Council	that the concealed roof design with slightly higher walls is	the applicate only oply o heights in
setbacks.	the correct design approach to mitigate any impact of the	areas where view shels/ corridors ar
That this Design complies with the	additions on the heritage building, as it will be readily	considered sensitive. ssessment is
Council overlooking rules.	identifiable from the existing heritage building by using	or , as per the R-Crues.
Is there a right to object to the	different materials and form.	he der in achieves the lot boundary
proposed colour?	Setbacks are in accordance with and generally exceed the	stbucks.
Is there a location for the Air	R-Codes and Town's requirements.	The besign uses not achieve the visua
Conditioning outdoor units?	The cone of vision requirement from the proposed upper	vivacy etback requirement to the
	level sitting room windows exceed the 6.0m minimum	southern property.
	requirement of the R-Codes and therefore comply . he	The colours of the proposed
	cone of vision from the Roof Deck reinstatement is	development are not considered to b
	compliant on the North, East and West Houndaries. There	a reason for not supporting the
	is a variation to the cone of vision from the rounded	development.
	the southern side with a 2.15m intrution. It considered	Planning does not control the locatio
	that this is justified under Part C1.2 the hoodes for	of air conditioning units. Noise relate
	the following reason: The direct line of sign over the	to air conditioning units can only be
	adjoining site is restricted to smar area over the roof of	dealt with after they are installed
	the adjoining residence. This is emonstrated on sheet 7	when the noise can be measured.
	of the Architectural drawing. The will be no direct	
	overlooking of a series one, ags or unenclosed outdoor	
	active habitable spares.	
	The color for the lade og has been selected in	
	conjunction with the Herwage Architect. The colour was	
	selected to be recesive in nature, rather than dominate or	
	competent the custing heritage residence.	
	No additional un-conditioning units are proposed. If	
	additiona air-conditioning units are required at a later	
	date, the will be installed in accordance with the Towns	
	Is simplents and the EPA guidelines.	

Internal Consultati

Nil

External Consultation Nil

# STATUTORY ENVIRONMENT

Planning and Development Act 2005 Residential Design Codes (Volume 1) Local Planning Scheme No. 3 (LPS 3)

## POLICY IMPLICATIONS

Local Planning Policy 3.1.1 – Residential Design Guidelines Local Planning Policy 3.1.8 – Wood Encouragement - General



# FINANCIAL IMPLICATIONS

Nil

# STRATEGIC IMPLICATIONS

The Town of East Fremantle Strategic Community Plan 2020-2030 states as follows:

# <u>Built Environment</u>

Accessible, well planned built landscapes which are in balance with the Town's unique heritage and open spaces. 3.1 Facilitates sustainable growth with housing options to meet future community needs.

- 3.1.1 Advocate for a desirable planning and community outcome for all major strategic development sites.
- 3.1.2 Plan for a mix of inclusive diversified housing options.
- 3.1.3 Plan for improved streetscapes.
- 3.2 Maintaining and enhancing the Town's character.

3.2.1 Ensure appropriate planning policies to protect the Town's existing built form

- 3.3 Plan and maintain the Town's assets to ensure they are accessible, inviting and sel 3.3.1 Continue to improve asset management within resource capabilities.
- 3.3.2 Plan and advocate for improved access and connectivity.

## **RISK IMPLICATIONS**

A risk assessment was undertaken and the risk to the Town in determining this explication was deemed to be negligible.

#### SITE INSPECTION

A site inspection was undertaken.

## COMMENT

#### Statutory Assessment

This development application was assessed against the Town's Local Planning Scheme No. 3, the Residential Design Codes, and the Residential Design Guidelines.

A summary of the assessment i fincluded in the following tables.

Legen	d

A Acceptable D Discretionary

N/A Not applicable

Local Planning Cheme (p. 3/Residential Design Guidelines/Residential Design Codes

Design Element	Required	Proposed	Status
Street front setback	7.5m	>7.5m	А
Garage setback	1.2m behind building line	No change	N/A
Minor incursions			N/A
Lot Boundary Setbacks	·	·	
Northern wall – living, alfresco – ground floor	2.4m	3.3m	А
Eastern wall – alfresco – ground floor	2.5m	>2.5m	Α
Northern wall – sitting	1.3m	>1.3m	Α
Eastern wall – sitting, bedroom	4.8m	>4.8m	Α
Northern wall – roof deck	4m	11.2m	А
Eastern wall – roof deck	4m	>4m	А
Southern wall – roof deck	4m	6.8m	А
Car Parking	2 car bays	No change	N/A



Open Space	55%	68%	А
Wall Height	7m	<7m	А
Roof Height	10m	<10m	А
Site Works		No change	N/A
Visual Privacy	7.5m from roof terrace	<7.5m	D
Overshadowing	25% maximum	10.5%	A
Garage width		No change	N/A
Roof form and pitch	28 to 36 degrees	<28 degrees	D
Materials and colours			A
Landscaping			Α
Front fence & gate		No change	N/A
Sightlines		No change	N/A
Footpaths and crossovers	No change		
Drainage	Condition		
Wood Encouragement Policy	Timber to be utilised thro	ughout structure	

g (Category B) This development application proposes alterations and additions to an existing her inda located at 58 (Lot 32) Allen Street, East Fremantle. It is proposed to remove the d renovate the kitchen and bathroom, as well as add a new enclosed alfresco area at the rear of g. A new storey is to be third added towards the rear of the building with a sitting room, bedroom, loft ba room and kitchenette being installed. A roof terrace that was originally part of the building and re ars ago is being rebuilt to the veð top of the dwelling. Photographic evidence shows the terrace had roof see A achment 4). In this case the design has been simplified such that the roof terrace is an open viewing pritage impact assessment was provided by the applicant that supported the proposed alterations at additions. It is noted that the heritage elements of the existing dwelling are being retained. The opment was advertised to the neighbouring oppose dev property owners with one submission being received. own responses to this submission are included plica t and in the Submissions Table earlier in this report.

There are two variations requested to the Residence Design Guidelines and the Residential Design Codes relating to roof pitch and visual privacy setbacks. The proposed variations are discussed below.

## Roof Pitch

The proposed alterations and ad concealed roof with a pitch of 2.5 degrees installed at the l see. rear of the dwelling. The Residential Design Guidelines acceptable development provisions 3.7.8.3 A4.1 requires a roof pitch of between 28 and 3 degrees In this case the roof pitch is less than 28 degrees at 2.5 degrees. The reduced roof pitch can be su 100 d be ause it complements the traditional form of surrounding development in the immediate localit The proposed additions are contemporary in style and do not mimic the existing heritage dwelling which is t vn's preserred outcome and in accordance with the Residential Design Guidelines e Tu requirements.

#### Visual Privacy Schack

The proposed re-instantion of the roof terrace involves the creation of a viewing platform that does not achieve the minimum visual privacy setback of 7.5m that is required from spaces that are elevated more than 0.5m above ground level in accordance with the Residential Design Codes deemed to comply clause 5.4.1 C1.1. In this case the reduced visual privacy setback of 5.4m can be supported because the area overlooks the roof of the southern neighbouring property, and no objections were received from the neighbour following advertising.

In accordance with design principles 5.4.1 P1.1 there is minimal direct overlooking of active habitable spaces and outdoor living areas of the adjacent dwelling. There is a narrow area between the buildings of approximately 1m between the boundary and the neighbouring building that allows for light and air penetration but little opportunity to utilise for active outdoor pursuits and negligible impact on privacy towards the southern neighbouring building. For these reasons the proposed development with the roof terrace and reduced visual privacy setback can be supported without any visual privacy screening.



## **Advertising**

Only one submission was received from the northern neighbouring property and all queries related to the development have been responded to in the Submissions Table earlier in this report.

The two variations to the Residential Design Codes or the Residential Design Guidelines that are considered in this report do not impact directly on the northern neighbouring property.

# CONCLUSION

The proposed alterations and additions to the existing Category B heritage dwelling will enhance the existing building rather than detract from it. Although the proposed development includes a third storev element in the form of a roof terrace this structure is being re-introduced where it was previously located (albeit in a slightly different form given that it has no roof like the original) but removed some time in the 1950s or 1960. Photographic evidence is included in Attachment 4 that shows the original roof terrace.

There are only 2 variations to the Residential Design Codes and the Residential Design Caldeline's for roof pitch and visual privacy setback. The former variation is a result of the additions at the real of the virtual dwelling and has no impact on the streetscape presence of the heritage dwelling as it cannot be seen whether street. The latter is not considered a major issue as the proposed new roof terrace overlooks the heritage duarrow open space area of the adjacent dwelling to the south and will have negligible impact on the new hoo sing property.

It is recommended that the proposed alterations and addition, be supported subject to the conditions included in the final recommendation.

• Mr Justin Osborne, (owner) attended the meeting and spoke in favour of the officer's recommendation.

# OFFICER RECOMMENDATION / COMMITTERSOL VION

## OFFICER RECOMMENDATION/ COMMITTEE RECOLUTION TP030424

## Moved Cr White, seconded Cr Harring on

That development approval is granted, and council exercises its discretion regarding the following;

- (i) Clause 3.7.8.3– Residential Design Guidelines Roof Pitch 28 to 36 degrees required, 2.5 degrees (concealed roof) rootled
- (ii) Clause 5.1.3 Residential Lesign Codes Visual Privacy Setback Roof Deck Southern Wall 7.5m required, les grant 7.5 provided

for alterations an eado ions at No. 58 (Lot 32) Allen Street, East Fremantle, in accordance with the plans submitted 6 Februar 2021 subject to the following conditions:

- (1) The root bimneys and all associated elements of the chimneys are to be retained and not to be modified or lemenshed.
- (2) Existing trees located within the verge are a Town asset and as such must be retained and not pruned, shaped, or modified except where otherwise approved for removal or modification by the Town.
- (3) During construction the verge trees are to be protected with cages around the trunks to ensure that they are not damaged by surrounding works, vehicles, or materials.
- (4) An application is to be submitted to the Operations Department of the Town for the removal of any verge trees. Verge trees are not to be removed without written approval from the Town.
- (5) The footpath is to always remain accessible to pedestrians.
- (6) Prior to the submission of a building permit application, a Construction Management Plan shall be prepared to the satisfaction of the Town. This plan is to address the following matters during the construction/development period:



- (a) Noise, vibration, air, and dust management;
  - (b) Contact details of essential site personnel, construction periods, and construction operating hours;
  - (c) Traffic management, including footpath closures and proposed signage;
  - (d) Parking management for all trades, contractors, and visitors to site;
  - (e) Public safety and amenity (traffic control and pedestrian management);
  - (f) Site access/egress management;
  - (g) Scaffolding management plan;
  - (h) Management plan for the loading and unloading of vehicles;
  - (i) Heavy construction machinery and deliveries;
  - (j) Bulk earthwork operations;
  - (k) Stormwater and sand/sediment control;
  - (I) Street tree management and protection;
  - (m) Protection of footpath;
  - (n) Details of all concrete pours and requirements relating to piling met odr or associated works;
  - (o) Temporary fencing;
  - (p) Temporary toilets;
  - (q) Dilapidation of Town infrastructure and nearby properties,
  - (r) Hoardings and gantries; and
  - (s) Any other relevant matters.
- The requirements of this plan are to be observed at all the during the construction process.
- (7) The works are to be constructed in conformity with the drawings and written information accompanying the application for development approval other than where varied in compliance with the conditions of this development approval or with the Town's further approval.
- (8) The proposed works are not to be commensed a til the Town has received an application for a Building Permit and the Building Permit issuel in compliance with the conditions of this development approval unless otherwise and read by the Town.
- (9) With regards to the plans submitted with respect to the Building Permit application, changes are not to be made in respect of the plans which have received development approval, without those changes being specifically marked for the Town's attention.
- (10) All stormwater is to be insposed of or site, an interceptor channel installed if required and a drainage plan be submitted to the satisfaction of the Town prior to the issue of a Building Permit.
- (11) If requested by the Town within the first two years following installation, the roofing to be treated to reduce reflective. The treatment to be to the satisfaction of the Chief Executive Officer in consultation, the relevant officers and all associated costs to be borne by the owner.
- (12) All introduced "Illing or earth to the lot or excavated cutting into the existing ground level of the lot, either temp grany or permanent, shall be adequately controlled to prevent damage to structures on adjoining lots or in the case of fill, not be allowed to encroach beyond the lot boundaries. This shall be in the form of structurally adequate retaining walls and/or sloping of fill at the natural angle of repose and/or another method as approved by the Town.
- (13) Where this development requires that any facility or service within a street verge (street trees, footpath, crossover, light pole, drainage point or similar) is to be removed, modified, or relocated then such works must be approved by the Town and if approved, the total cost to be borne by the applicant. The Town must act reasonably and not refuse any reasonable proposal for the removal, modification or relocation of such facilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (14) This development approval is to remain valid for a period of 24 months from date of this approval.

Footnote:

The following are not conditions but notes of advice to the applicant/owner:



- (a) This decision does not include acknowledgement or approval of any unauthorised development which may be on site.
- (b) A copy of the approved plans as stamped by Town are attached and the application for a Building Permit is to conform with the approved plans unless otherwise approved by the Town.
- (c) It is recommended that the applicant provides a structural engineer's dilapidation report, at the applicant/owner expense, specifying which structures on adjoining sites may be adversely affected by the works and providing a record of the existing condition of the structures. Two copies of each dilapidation report should be lodged with the Town and one copy should be given to the owner of any affected property.
- (d) All noise levels produced by the construction of the development are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).
- (e) Matters relating to dividing fences are subject to the Dividing Fences Act 1961.
- (f) Trees on verges are the property of the Town. They are not to be damaged, youne or removed. Any actions which harm verge trees will result in the Town acting against the owners/builders/contractors responsible. If there are concerns regarding responsible. If there are concerns regarding responsible. There are concerns regarding responsible.
- (g) Any damage to other Town assets including but not limited to the kerb on inage, footpaths, roads, and signage will have to be repaired by the applicant/owners/including at their cost.

(CARRIED UNANIMOUSLY)

Note: As 4 Committee members voted in favour of the Reporting officer's recommendation, pursuant to Council's decision regarding delegated decision making made in 16 ay 2023, this application is deemed determined, on behalf of Council, under delegated authority.

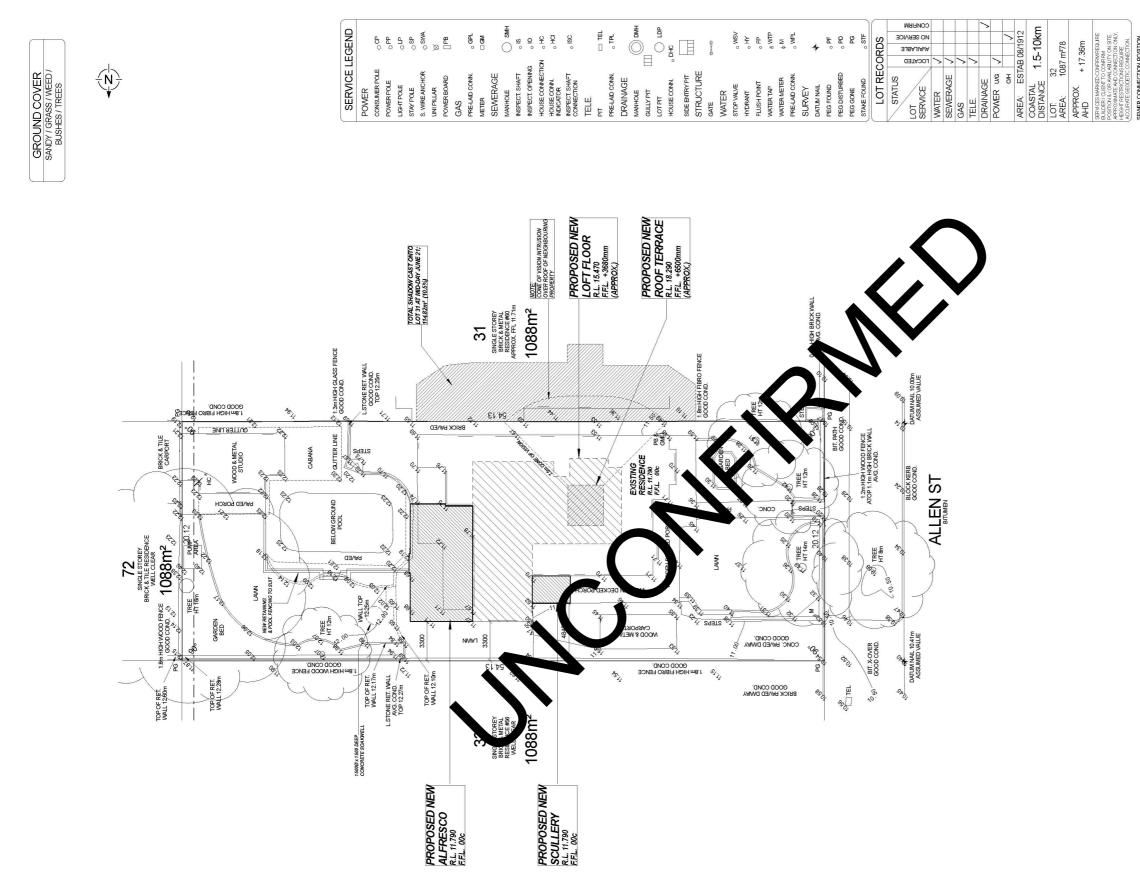
REPORT ATTACHMENTS

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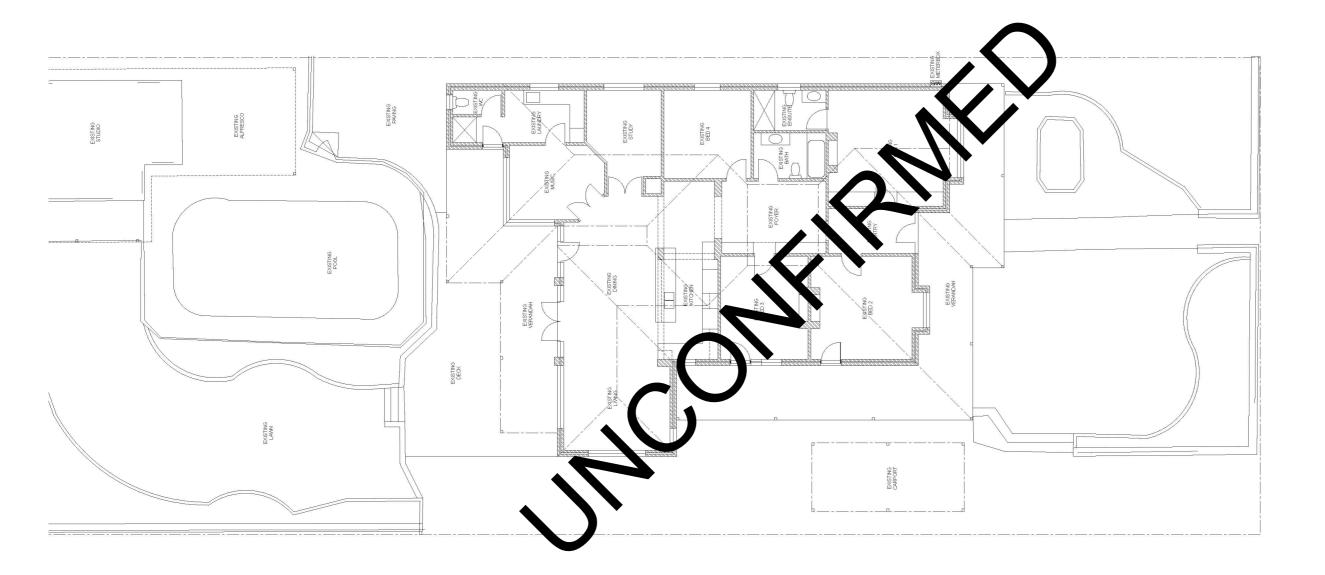
# 58 Allen Street – Location and Advertising Plan



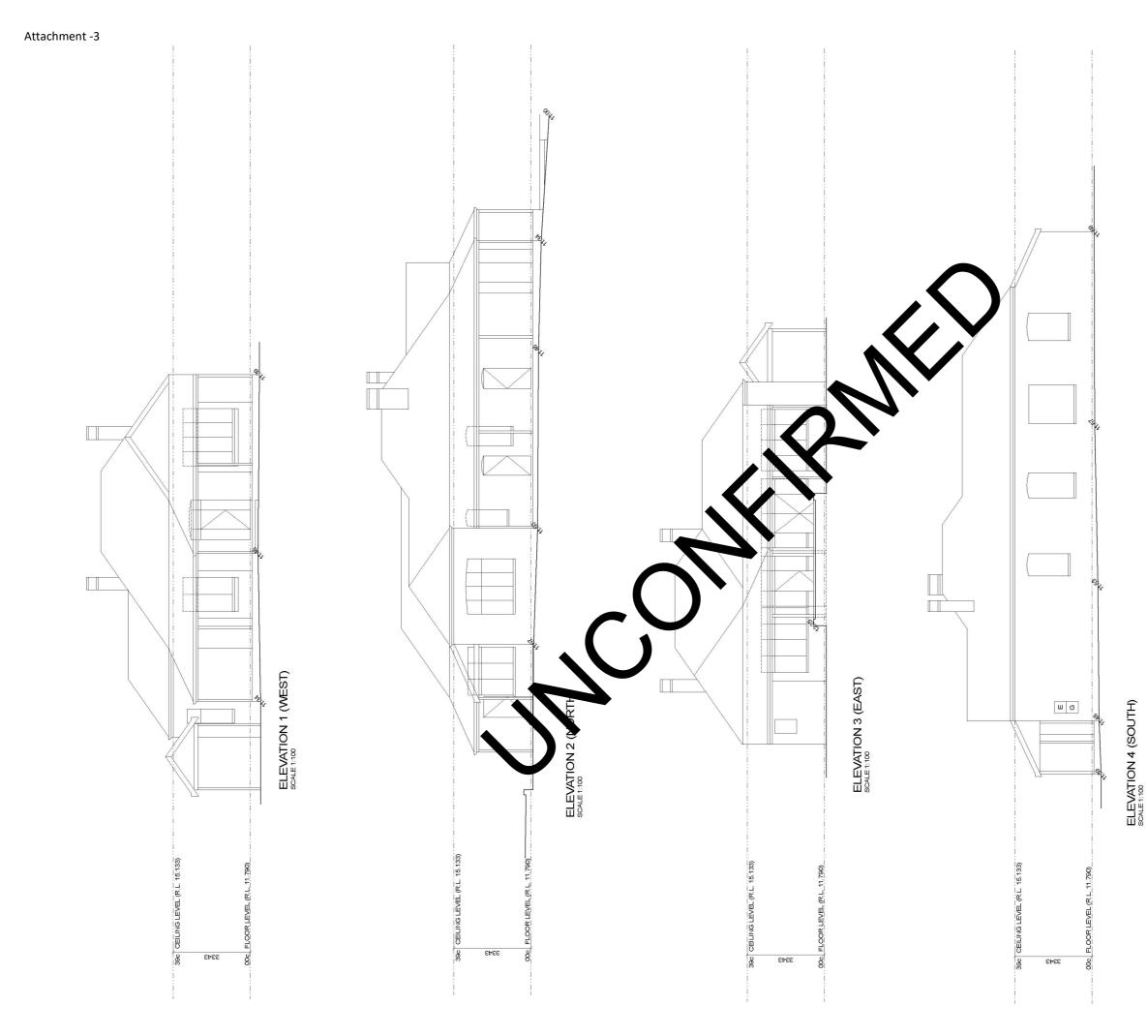




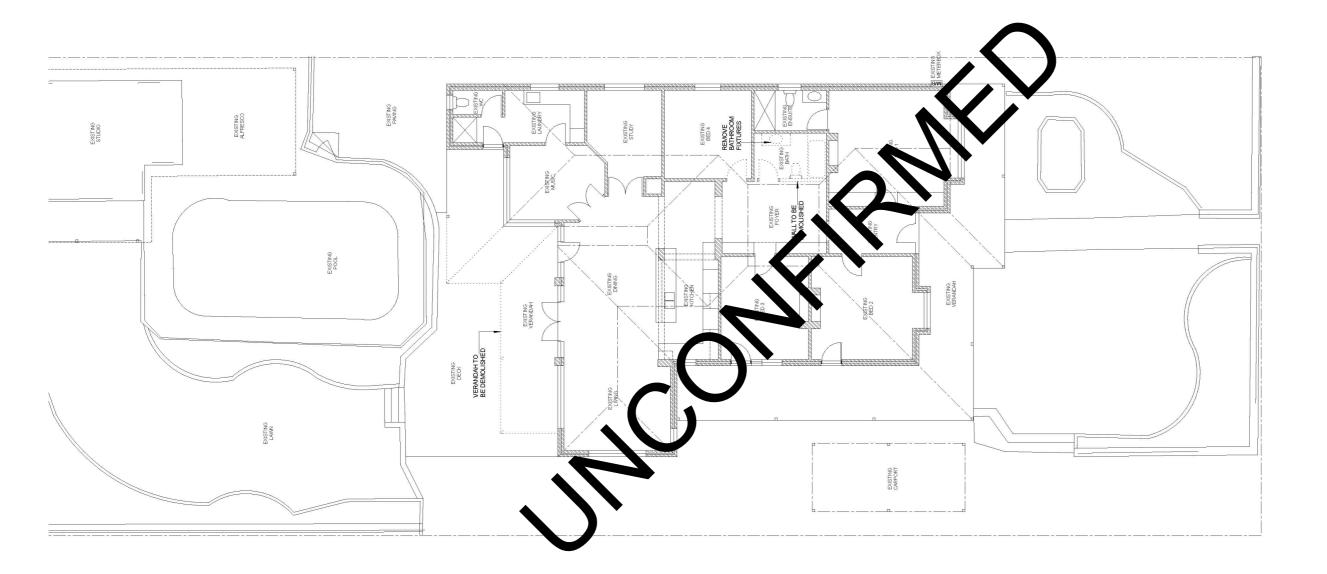
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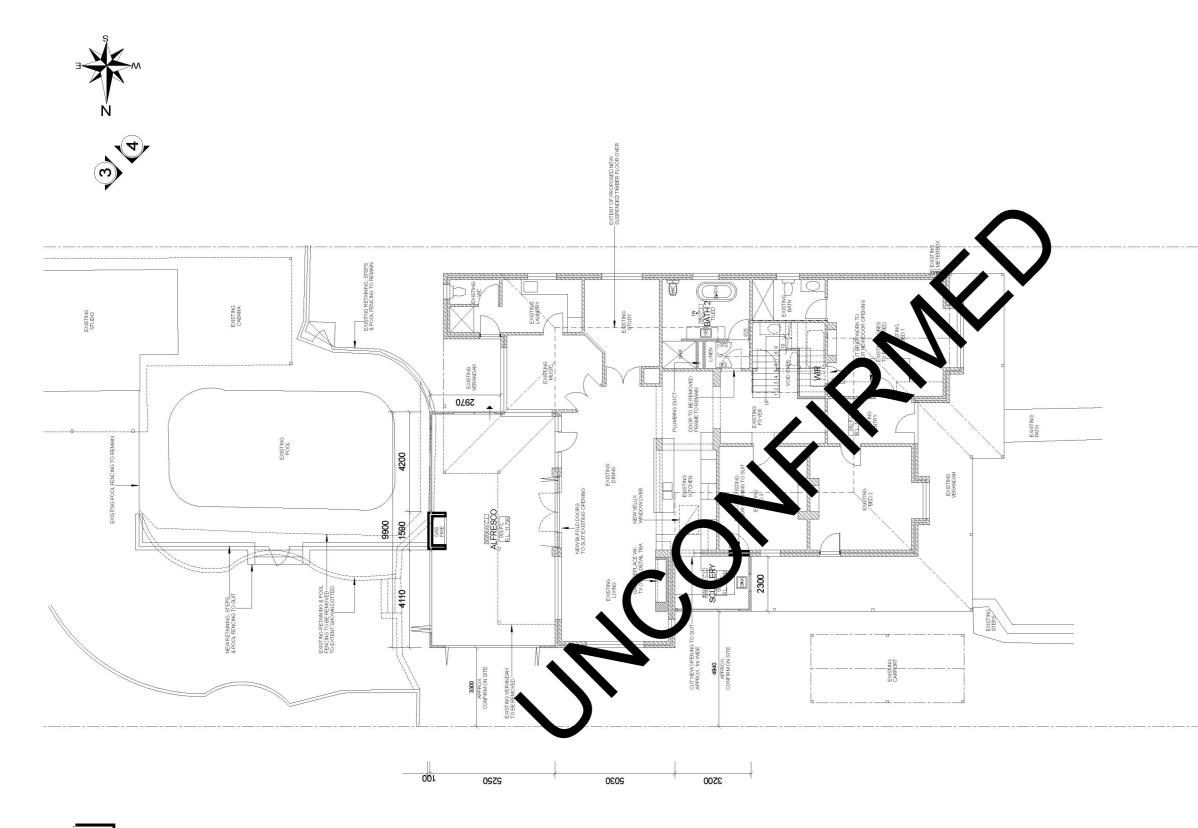
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ALLENTION ADDRESS J. OSBORNE & J. TUNJIC LOT 32 (#58) ALLEN STREET EAST FREMANTLE			neter fin/er <b>design</b>	C Copyright	EXISTING ELEVATIONS	DRAWN: PJTAYLOR
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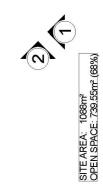
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AREAS:	
existing house:	230.312m <sup>2</sup>
existing studio:	40.723m <sup>2</sup>
existing carport:	18.518m <sup>2</sup>
proposed alfresco:	51.724m <sup>2</sup>
proposed scullery:	7.360m <sup>2</sup>
proposed loft /	
upper level addition :118.228m <sup>2</sup>	1:118.228m²
Total:	466.865m <sup>2</sup>

Page **57** of **65** 



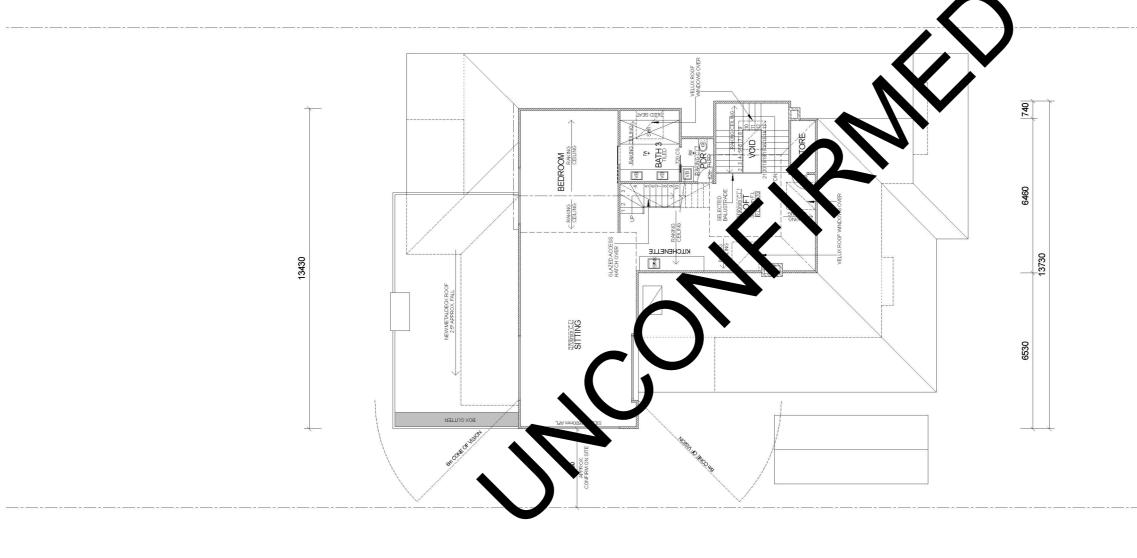


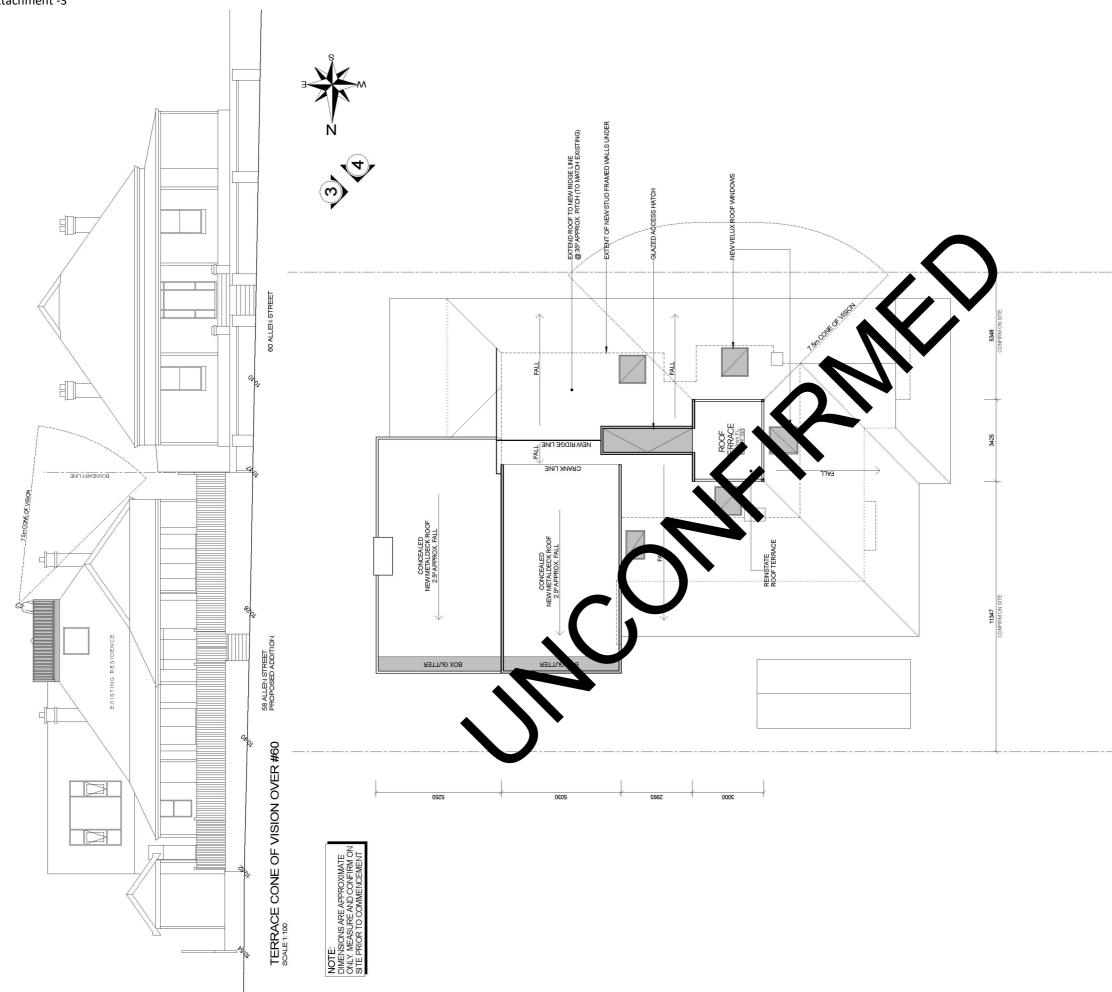




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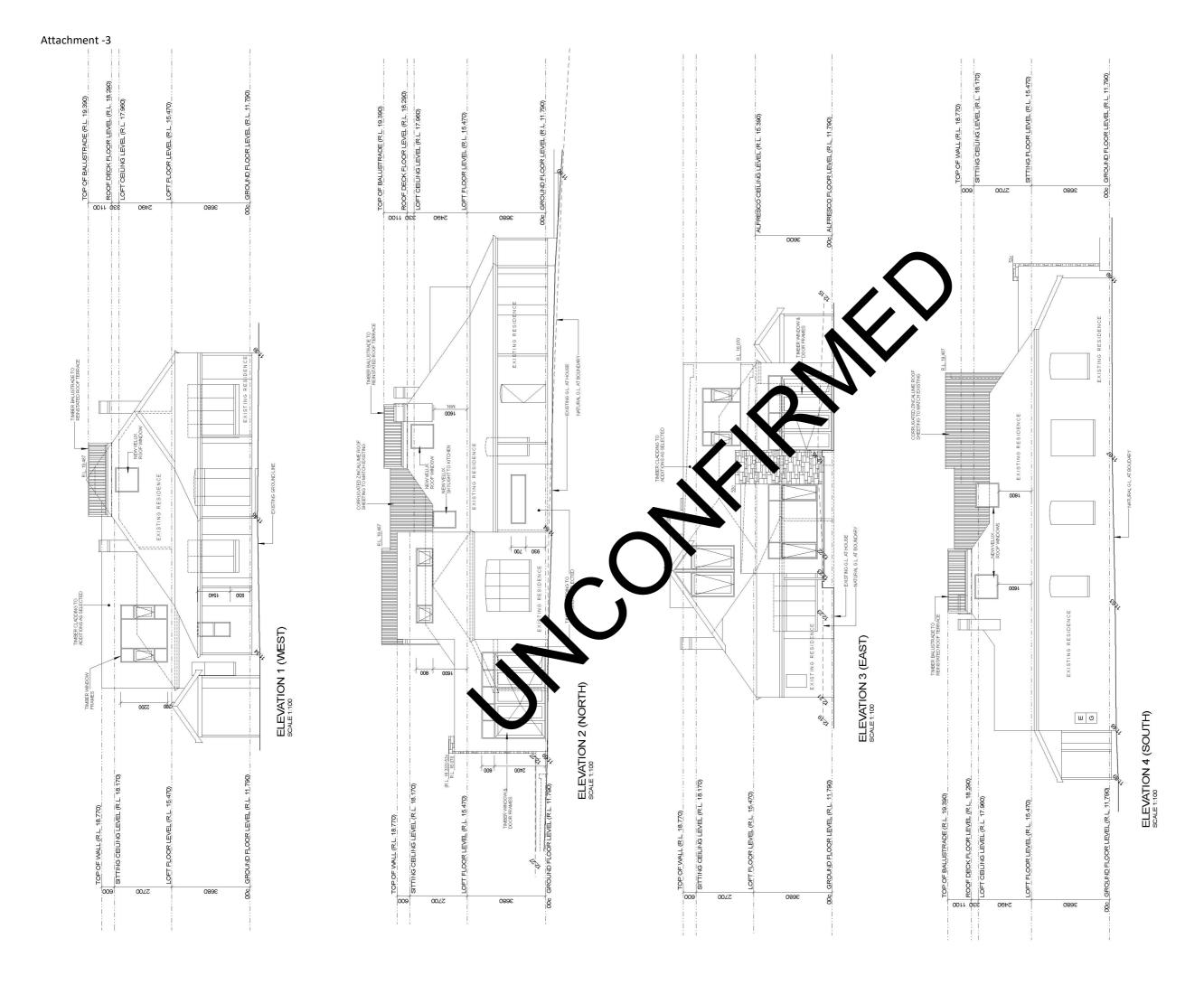






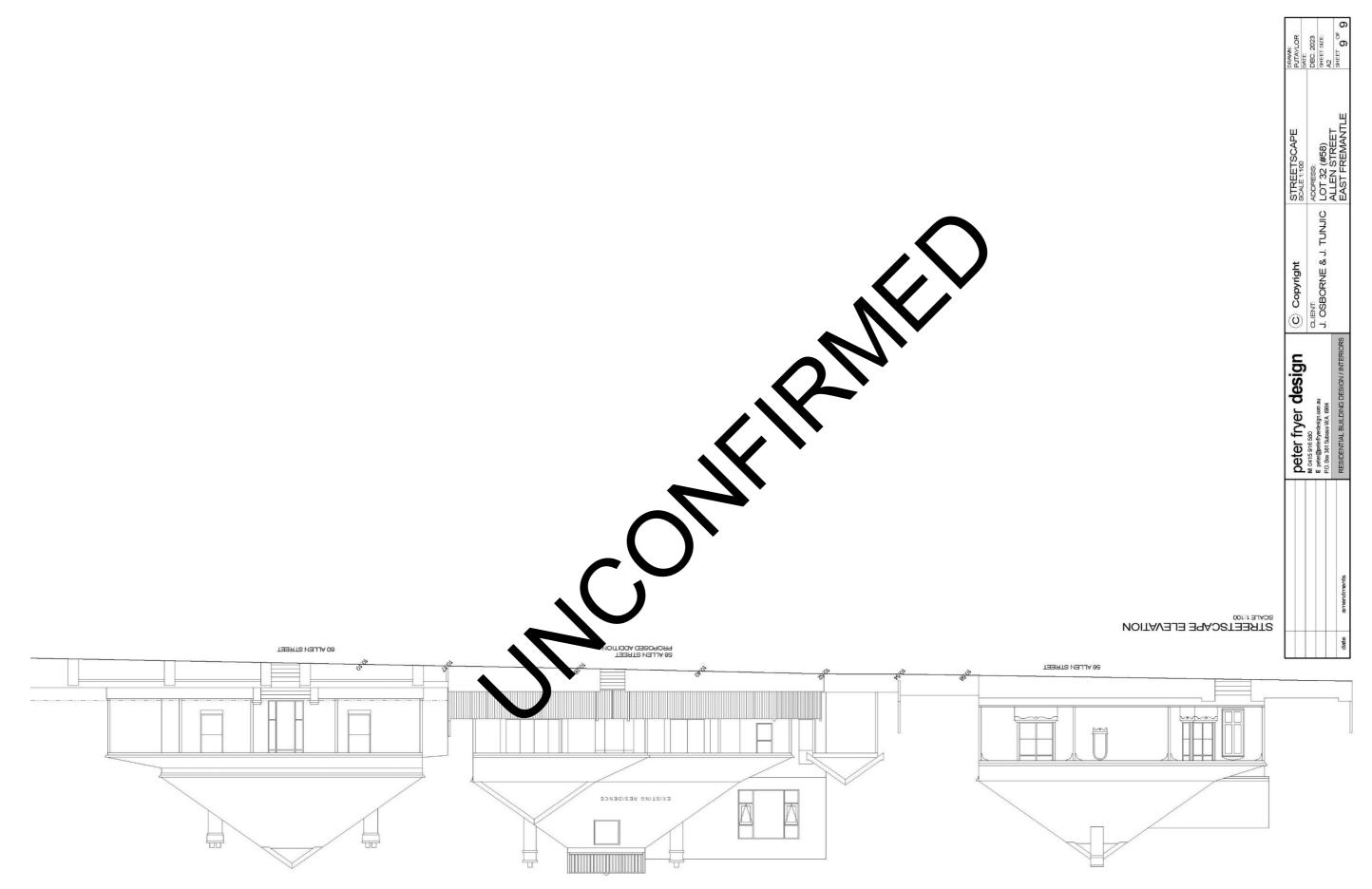
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WALLS: TIMBER CLADDING - MOLTLOCK CHARRED TIMBER			M 0415 916 580	CLIENT	ADDRESS:	DEC. 2023
WINDOW FRAMES: TIMBER PAINTED			E peter@peterfryerdesign.com.au	J. OSBORNE & J. TUNJIC ILOT 32 (#58)	LOT 32 (#58)	SHEET SIZE:
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Attachment -3



# Attachment -4 Photo of original roof terrace





# PLACE RECORD FORM



roofscape features a pair of rendered chimneys.



The place retains its form and details. A carport has been added to the north side of the house and there are rear additions.

The place is consistent with the building pattern in the Precinct. The place plays an important role in the pattern of development of a middle class suburb.

HISTORICAL NOTES Woodside is a relatively cohesive precinct where most of the places were constructed following the subdivision of W.D. Moore's Estate commencing in 1912. Most of the lots were sold between 1912 and 1929 and the majority of buildings were completed in this time. Residences were substantial and of various Federation period styles distinguishing the area from the small worker's cottages of Plympton. The Inter-War Californian Bungalow style residence is also represented in Workside.

The Woodside Precinct remains largely intact in terms of origin, housing with little infill subdivision or replacement housing.

A carport has been added to the north side of the house and mere are rear additions.

OWNERS

MATERIALS

**AESTHETIC** 

HISTORIC

SCIENTIFIC

SOCIAL

RARITY

SIGNIFICANCE

SIGNIFICANCE

SIGNIFICANCE

SIGNIFICANCE

HISTORIC THEME CONSTRUCTION

Walls – Rendered brick

Unknown

Roof – Corrugated iron sheeting

PHYSICAL SETTING The residence is situated on a genty sloping site with a low limestone wall and gothic picket fence at the lot outpary.

Demographic Settlements - Residential Sub

STATEMENT OF SIGNIFICANCE No 58 Allen Street is a single storey house constructed in tuck-pointed brick with an iron roof. Thas astoric and aesthetic value for its contribution to Woodside shigh concentration of predominantly Federation period store as Lassociated buildings. The place contributes to the local community's sense of place.

> The place was considerable heritage value for its intrinsic aesthetic value as a Federation Burnalow style house. The place retains a moderate degree of authenticity and a high degree of integrity.

e additions have no significance.

No 58 Aller Street has considerable aesthetic value as a Federation Rung in . It retains most of the characteristic features of a dwelling of the type and period.

No 58 Allen Street has some historic value. It was part of the suburban residential development associated with the expansion of East Fremantle and the subdivision of W. D. Moore's Woodside Estate from 1912.

N/A

No 58 Allen Street has some social value. It is associated with a significant area of middle class Federation and Inter-War period development which contributes to the community's sense of place.

No 58 Allen Street is not rare in the immediate context but Woodside has rarity value as a cohesive middle class suburb.

CONDITION No 58 Allen Street is in good condition.

INTEGRITY No 58 Allen Street retains a high degree of integrity.

No 58 Allen Street retains a moderate degree of authenticity.

AUTHENTICITY MAIN SOURCES



# 13 MATTERS BEHIND CLOSED DOORS

Nil

# 14 CLOSURE OF MEETING

There being no further business, the Presiding member declared the meeting closed at 6.53 pm.

	of the ordinary meeting of the Town Planning Committee of the Town <b>124</b> , Minute Book reference 1 to 14 were confirmed at the meeting of	of the
Presiding Member		
	<b>)</b>	
J'		