



AGENDA

Planning Committee

Tuesday, 2 April 2024 at 6:30 PM

Disclaimer

The purpose of this Council meeting is to discuss and, where possible, make resolutions about items appearing on the agenda. Whilst Council has the power to resolve such items and may in fact, appear to have done so at the meeting, no person should rely on or act on the basis of such decision or on any advice or information provided by a member or officer, or on the content of any discussion occurring, during the course of the meeting. Persons should be aware that the provisions of the Local Government Act 1995 (section 5.25 (e)) establish procedures for revocation or rescission of a Council decision. No person should rely on the decisions made by Council until formal advice of the Council decision is received by that person.

The Town of East Fremantle expressly disclaims liability for any loss or damage suffered by any person as a result of relying on or acting on the basis of any resolution of Council, or any advice or information provided by a member or officer, or the content of any discussion occurring, during the course of the Council meeting.

Copyright

The Town wishes to advise that any plans or documents contained within this Agenda may be subject to copyright law provisions (Copyright Act 1968, as amended) and that the express permission of the copyright owner(s) should be sought prior to their reproduction.

Procedure for Deputations, Presentations and Public Question Time at Council Meetings

Council thanks you for your participation in Council Meetings and trusts that your input will be beneficial to all parties. Council has a high regard for community input where possible, in its decision making processes.

<p>Deputations</p> <p>A formal process where members of the community request permission to address Council or Committee on an issue.</p>	<p>Presentations</p> <p>An occasion where awards or gifts may be accepted by the Council on behalf of the community, when the Council makes a presentation to a worthy recipient or when agencies may present a proposal that will impact on the Local Government.</p>
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Procedures for Deputations

The Council allows for members of the public to make a deputation to Council on an issue related to Local Government business.

Notice of deputations need to be received by 5pm on the day before the meeting and agreed to by the Presiding Member. Please contact Executive Support Services via telephone on 9339 9339 or email admin@eastfremantle.wa.gov.au to arrange your deputation.

Where a deputation has been agreed to, during the meeting the Presiding Member will call upon the relevant person(s) to come forward and address Council.

A Deputation invited to attend a Council meeting:

- (a) is not to exceed five (5) persons, only two (2) of whom may address the Council, although others may respond to specific questions from Members;
- (b) is not to address the Council for a period exceeding ten (10) minutes without the agreement of the Council; and
- (c) additional members of the deputation may be allowed to speak with the agreement of the Presiding Member.

Council is unlikely to take any action on the matter discussed during the deputation without first considering an officer's report on that subject in a later Council agenda.

Procedure for Presentations

Notice of presentations being accepted by Council on behalf of the community, or agencies presenting a proposal, need to be received by 5pm on the day before the meeting and agreed to by the Presiding Member. Please contact Executive Support Services via telephone on 9339 9339 or email admin@eastfremantle.wa.gov.au to arrange your presentation.

Where the Council is making a presentation to a worthy recipient, the recipient will be advised in advance and asked to attend the Council meeting to receive the award.

All presentations will be received/awarded by the Mayor or an appropriate Councillor.

Procedure for Public Question Time

The Council extends a warm welcome to you in attending any meeting of the Council. Council is committed to involving the public in its decision making processes whenever possible, and the ability to ask questions during 'Public Question Time' is of critical importance in pursuing this public participation objective.

Council (as required by the *Local Government Act 1995*) sets aside a period of 'Public Question Time' to enable a member of the public to put up to three (3) questions to Council. Questions should only relate to the business of Council and should not be a statement or personal opinion. Upon receipt of a question from a member of the public, the Mayor may either answer the question or direct it to a Councillor or an Officer to answer, or it will be taken on notice.

Having regard for the requirements and principles of Council, the following procedures will be applied in accordance with the ***Town of East Fremantle Local Government (Council Meetings) Local Law 2016***:

1. Public Questions Time will be limited to ten (10) minutes.
2. Public Question Time will be conducted at an Ordinary Meeting of Council immediately following "Responses to Previous Public Questions Taken on Notice".
3. Each member of the public asking a question will be limited to two (2) minutes to ask their question(s).
4. Questions will be limited to three (3) per person.
5. Please state your name and address, and then ask your question.
6. Questions should be submitted to the Chief Executive Officer in writing by 5pm on the day before the meeting and be signed by the author. This allows for an informed response to be given at the meeting.
7. Questions that have not been submitted in writing by 5pm on the day before the meeting will be responded to if they are straightforward.
8. If any question requires further research prior to an answer being given, the Presiding Member will indicate that the "question will be taken on notice" and a response will be forwarded to the member of the public following the necessary research being undertaken.
9. Where a member of the public provided written questions then the Presiding Member may elect for the questions to be responded to as normal business correspondence.
10. A summary of the question and the answer will be recorded in the minutes of the Council meeting at which the question was asked.

During the meeting, no member of the public may interrupt the meetings proceedings or enter into conversation.

Members of the public shall ensure that their mobile telephone and/or audible pager is not switched on or used during any meeting of the Council.

Members of the public are hereby advised that use of any electronic, visual or audio recording device or instrument to record proceedings of the Council is not permitted without the permission of the Presiding Member.

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NOTICE OF MEETING

Elected Members

An Ordinary Meeting of the Town Planning Committee will be held on 2 April 2024 at 6:30 PM in the Council Chamber, 135 Canning Highway, East Fremantle and your attendance is requested.



Jonathan Throssell
Chief Executive Officer
27 March 2024

AGENDA

1 DECLARATION OF OPENING OF MEETING/ANNOUNCEMENTS OF VISITORS

2 ACKNOWLEDGEMENT OF COUNTRY

“On behalf of the Council I would like to acknowledge the Whadjuk Nyoongar people as the traditional custodians of the land on which this meeting is taking place and pay my respects to Elders, past and present.”

3 ANNOUNCEMENT TO GALLERY

“Members of the gallery are advised that no Council decision from tonight’s meeting will be communicated or implemented until 12 noon on the first clear working day after this meeting, unless Council, by resolution carried at this meeting, requested the CEO to take immediate action to implement the decision.”

4 RECORD OF ATTENDANCE

4.1 ATTENDANCE

Cr C Collinson	Presiding member
Mayor J O’Neill	
Cr A White	
Cr J Harrington	
Cr L Maywood	

A Malone	Executive Manager Regulatory Services
K Culkin	Minutes Secretary

4.2 APOLOGIES

Nil

4.3 APPROVED LEAVE

Cr K Donovan

5 MEMORANDUM OF OUTSTANDING BUSINESS

Nil

6 DISCLOSURES OF INTEREST

6.1 FINANCIAL

Nil

6.2 PROXIMITY

Nil

6.3 IMPARTIALITY

Nil

7 7. PUBLIC QUESTION TIME

7.1 RESPONSES TO PREVIOUS QUESTIONS FROM MEMBERS OF THE PUBLIC TAKEN ON NOTICE

Nil

7.2 PUBLIC QUESTION TIME

Nil

8 PRESENTATIONS/DEPUTATIONS

8.1 PRESENTATIONS

Nil

8.2 DEPUTATIONS

Nil

9 CONFIRMATION OF MINUTES OF PREVIOUS MEETING

9.1 TOWN PLANNING COMMITTEE (5 MARCH 2024)

9.1 OFFICER RECOMMENDATION

That the minutes of the Town Planning Committee meeting held on 5 March 2024 be confirmed as a true and correct record of proceedings.

10 ANNOUNCEMENTS BY THE PRESIDING MEMBER

Nil

11 REPORTS OF COMMITTEES

Nil

12 REPORTS OF OFFICERS (COMMITTEE DELEGATION)

12.1 34 MOSS STREET - ALTERATIONS & ADDITIONS

Owner	Sean Darcy
Applicant	Anthony & Associates
Report Reference Number	TPR-1743
Planning Reference Code	P003/24
Prepared by	James Bannerman
Supervised by	Anderw Malone
Meeting date	Tuesday, 2 April 2024
Voting requirements	Simple majority
Documents tabled	Nil

Attachments

1. Location and advertising plan
2. Photos
3. Plans
4. Place Record Form

PURPOSE

The purpose of this report is for Council to consider the development application for proposed alterations and additions at 34 (Lot 1) Moss Street, East Fremantle.

EXECUTIVE SUMMARY

This development application proposes alterations and additions to an existing Category B heritage dwelling located at 34 (Lot 1) Moss Street, East Fremantle. It is proposed to demolish the rear section of the existing dwelling including the garage located on the southern boundary of the property. The proposed development is two storeys and will have a new living, kitchen, meals, alfresco, laundry, bathroom, powder room, garage and workshop located on the ground floor and a master bedroom, ensuite, sitting room and ensuite located on the upper storey. Access to the new rear garage is via a laneway that is already in existence that utilises an easement shared with the southern neighbouring property. The proposed development is located to the rear of the existing heritage dwelling with the front three bedrooms and the lounge being retained. The second storey has negligible impact on the streetscape of the existing dwelling and is located a minimum of 15.75m from the front boundary of the property.

The following variations are requested to the Residential Design codes and the Residential Design Guidelines;

- Clause 3.7.8.3 – Residential Design Guidelines – Roof Pitch – 28 to 36 degrees required, less than 28 degrees provided,
- Clause 5.1.3 – Residential Design Codes - Lot Boundary Setback - Southern Wall – Bathroom, Bed 3, Bed 2 – Ground Floor – Residential Design Codes – – 1.5m required, 1.23m provided,
- Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback - Northern Wall – Living, Laundry, Linen, Bed 4, Lounge, Verandah – Ground Floor – 1.5m required, 1.2m provided,
- Clause 5.3.5 – Residential Design Codes – Driveway Access – Turning circle required, no turning circle provided, and

It is recommended that Council support the proposed alterations and additions subject to the conditions included in the final recommendation.

BACKGROUND

Zoning	Residential R20
Site Area	412m2
Heritage	Category B
Fremantle Port Buffer	Category B
Previous Decision of Town and/or History of Issue Onsite	Nil

CONSULTATION

Advertising

The proposed development was advertised to surrounding properties and online from 1 to 16 February 2024. One submission was received and have been included below.

Submission	Applicant Response	Town Response
<p>Our property lies directly south of 34 Moss St. We have one concern we would like you to address.</p> <p>On Site plan 1/6 it states that overshadowing on our property is 29.3%. We understand the maximum allowed under your regulation is 25%. We would ask that you uphold the regulation amount of 25%.</p> <p>By allowing the overshadowing to go over 25% the upper story of the planned renovation will directly impact on our property. This will result in a loss of sunlight into our living room which has north facing windows. There are only two north facing windows on our property. One is a bedroom which is already permanently overshadowed by the existing house on 34 Moss St. The other is the living room.</p> <p>Of more pressing importance in the overshadowing issue is that the second story addition will, due to its height, cast a shadow over 100% of our new solar hot water system. Rendering it near useless in the winter and increasing our heating expenses. The system is fully within the hatched overshadowing portion of the site plan.</p> <p>I have directly discussed this issue with the neighbour and his designer. They are sympathetic to the issue and the designer has suggested that removing a parapet fascia on the upper story roof which would increase the amount of sun hitting our property. This fascia appears to be an aesthetic element. Mostly for our benefit. We would much prefer the extra sunlight and see this as a sensible solution to our concerns and enable the overshadowing to fall within the regulated percentage of overshadowing.</p>	<p>The design was modified by the applicant in response to the submission.</p>	<p>It is noted that the plans have been modified to remove the concealed roof and adopt a skillion roof to reduce the overshadowing on the affected neighbouring property</p>

Internal Consultation

Nil

External Consultation

The development application was advertised to the Water Corporation and the following response was received.

Re: Development Application – P003/24 – Lot 1, 34 Moss Street East Fremantle

Thank you for your email dated 7th February 2024. Water Corporation offers the following comments regarding this proposal.

Water

Reticulated water is available to the subject lot.

Wastewater

Reticulated sewerage is available to the subject lot. The proposed setback to the rear boundary is not supported by our Technical Guidelines without piling to protect the sewer main.

As there is a 150mm VC sewer main inside the rear boundary on an alignment of approximately 1.0m. The minimum distance a building can be to the centre of this sewer main is 0.6m with piling and 2.5m without piling. This includes the pool, pool store, Alfresco & Garage.

Approval for works

Any works carried out in proximity to our Assets must receive prior approval by applying for an [Asset Protection Risk Assessment](#) (APRA) To assess whether the proposed development will require and APRA details of the Prescribed Proximities and relevant legislation are available in our [guidelines](#).

Application

The applicant is required to submit a Single Residential Application by using our online portal [BuilderNet](#).

Attachments required for approval will include:

- Final construction site & architectural floor plans
- Piling Detail plans (certified by engineer)

The information provided above is subject to review and may change. If the proposal has not proceeded within the next 6 months, please contact us to confirm that this information is still valid. Please provide the above comments to the landowner, developer and/or their representative.

STATUTORY ENVIRONMENT

Planning and Development Act 2005
Residential Design Codes (Volume 1)
Local Planning Scheme No. 3 (LPS 3)

POLICY IMPLICATIONS

Local Planning Policy 3.1.1 – Residential Design Guidelines
Local Planning Policy 3.1.8 – Wood Encouragement - General

FINANCIAL IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

The Town of East Fremantle Strategic Community Plan 2020-2030 states as follows:

Built Environment

Accessible, well planned built landscapes which are in balance with the Town's unique heritage and open spaces.

3.1 Facilitates sustainable growth with housing options to meet future community needs.

3.1.1 Advocate for a desirable planning and community outcome for all major strategic development sites.

3.1.2 Plan for a mix of inclusive diversified housing options.

3.1.3 Plan for improved streetscapes.

3.2 Maintaining and enhancing the Town's character.

3.2.1 Ensure appropriate planning policies to protect the Town's existing built form.

3.3 Plan and maintain the Town's assets to ensure they are accessible, inviting and well connected.

3.3.1 Continue to improve asset management within resource capabilities.

3.3.2 Plan and advocate for improved access and connectivity.

RISK IMPLICATIONS

A risk assessment was undertaken and the risk to the Town in determining this application was deemed to be negligible.

SITE INSPECTION

A site inspection was undertaken.

COMMENT

Statutory Assessment

This development application was assessed against the Town’s Local Planning Scheme No. 3, the Residential Design Codes, and the Residential Design Guidelines.

A summary of the assessment is included in the following tables.

Legend	
A	Acceptable
D	Discretionary
N/A	Not applicable

Local Planning Scheme No. 3/Residential Design Guidelines/Residential Design Codes

Design Element	Required	Proposed	Status
Street front setback	6m	>6m	A
Garage setback	1.2m behind building line of existing dwelling	>1.2m behind building line of existing dwelling	A
Minor incursions			N/A
Lot Boundary Setbacks			
Southern boundary – garage – ground floor	0m	0m	A
Southern wall – meals, kitchen – ground floor	1.5m	2.74m	A
Southern wall – bathroom, bed 3, bed 2 – ground floor	1.5m	1.23m	D
Eastern wall – garage, alfresco – ground floor	1m	1.55m	A
Northern wall – alfresco, meals - ground floor	2.4m	4.5m	A
Northern wall – living, laundry, linen, bed 4, lounge, verandah – ground floor	1.5m	1.2m	D
Southern wall – ensuite, WIR – upper storey	8.06m	5.95m	A
Eastern wall – meals – ground floor	4m	4.2m	A
Eastern wall – bed 1, ensuite – upper storey	7.99m	6.5m	A
Northern wall – bedroom 1, sitting – upper storey	8.36m	6.5m	A
Car Parking	1-2 car bays	1 car bay	A
Open Space	50%	51.43%	A
Wall & Roof Height	8m	<8m	A
Site Works			N/A
Visual Privacy			
Sitting room	6m	Highlight windows above 1.6m from FFL	A
Bed 1	4.5m	Highlight windows above 1.6m from FFL	A
Overshadowing	25% maximum	21.39%	A
Garage width	30% maximum	<30%	A
Roof form and pitch	28 to 36 degrees	3 degrees	D
Materials and colours			A
Landscaping	2m x 2m deep planting zone and tree	Shown on plans	A
Front fence & gate			N/A

Sightlines			N/A
Footpaths and crossovers	No change		
Drainage	Condition		
Wood Encouragement Policy	Timber floors		

This development application proposes alterations and additions to an existing Category B heritage dwelling located at 34 (Lot 1) Moss Street, East Fremantle. It is proposed to demolish the rear section of the existing dwelling including the garage located on the southern boundary of the property. The proposed development is two storeys and will have a new living, kitchen, meals, alfresco, laundry, bathroom, powder room, garage and workshop located on the ground floor and a master bedroom, ensuite, sitting room and ensuite located on the upper storey. Access to the new rear garage is via a laneway that is already in existence that utilises an easement shared with the southern neighbouring property. The proposed development is located to the rear of the existing heritage dwelling with the front three bedrooms and the lounge being retained. The second storey has negligible impact on the streetscape of the existing dwelling and is located a minimum of 15.75m from the front boundary of the property.

There are four variations requested to the Residential Design Codes and the Residential Design Guidelines including lot boundary setbacks (2 locations), roof pitch, driveway access and overshadowing. These variations are described below.

Lot Boundary Setback - Southern Wall – Bathroom, Bed 3, Bed 2 – Ground Floor

The southern wall of the bathroom, bed 3 and bed 2 on the ground floor is 21m long and less than 3.5m high with major openings. In accordance with the Residential Design Codes deemed to comply clause 5.1.3 the wall should be located 1.5m from the boundary. In this case the wall is located 1.23m from the boundary. The reduced lot boundary setback can be supported in accordance with design principles 5.1.3 P3.1 for the following reasons;

- Minimal impacts of building bulk on adjoining properties,
- Adequate direct sun and ventilation can reach the building and open spaces on the site and the adjoining properties, and
- Minimal overlooking and loss of privacy on adjoining properties.

Much of the wall is existing and a portion of wall length is being added towards the rear of the dwelling. There is only a marginal reduction in setback. The setback between the proposed development and the adjoining property is guaranteed by the easement in place that ensures that vehicles can access the rear garages of each property. Although there are major openings in place these have been located on site for many years and are not changing. For these reasons the reduced lot boundary setback can be supported.

Lot Boundary Setback - Northern Wall – Living, Laundry, Linen, Bed 4, Lounge, Verandah – Ground Floor

The northern wall of the living room, laundry, linen cupboard, bedroom 4, lounge and verandah is 16.8m long and 3.15m high with major openings. In accordance with the Residential Design Codes deemed to comply clause 5.1.3 the wall should be located 1.5m from the boundary. In this case the wall is located 1.2m from the boundary. The reduced lot boundary setback can be supported in accordance with design principles 5.1.3 P3.1 for the following reasons;

- Minimal impacts of building bulk on adjoining properties,
- Adequate direct sun and ventilation can reach the building and open spaces on the site and the adjoining properties, and
- Minimal overlooking and loss of privacy on adjoining properties.

Much of the wall is existing and a portion of wall length is being added towards the rear of the dwelling. There is only a marginal reduction in setback. Although there are major openings in place these have been located on site for many years and are not changing. As the dwelling is to the south of the northern neighbouring property there is no impact on access to sunlight and there is sufficient space around the building to allow for airflow and penetration of sunlight. For these reasons the reduced lot boundary setback can be supported.

Roof Pitch

The roof pitch of a new roof should be between 28 and 36 degrees in accordance with the Residential Design Guidelines acceptable development provision 3.7.8.3 A4.1. In this case it is proposed to have a concealed roof with a roof pitch of 3 degrees. The reduced roof pitch can be supported as the roof form of the new development at the rear of the existing dwelling complements the traditional form of the surrounding development in the immediate locality. It is noted that the reduced roof pitch ensures that the height of the dwelling and the overshadowing is not greater than shown on the plans and does not have greater amenity impacts on the neighbouring property.

Driveway Access

No turning circle is provided in this design. It is a requirement of the Residential Design Codes deemed to comply clause 5.3.5 C5.4 that a turning circle is provided to allow vehicles to drive in and out of the property in forward gear. In this case there is an existing accessway (which is created as a result of an easement that is shared with the neighbouring property to the south) that is located more than 15m from the street (26.82m from the boundary). This driveway has been used without incident for many years. In accordance with design principles 5.3.5 P5.1 the existing driveway arrangement can be supported for the following reasons;

- Vehicle access is relatively safe,
- There is no change to the streetscape from the existing situation,
- Access is legible,
- Pedestrian safety is maintained,
- There is no change in the number of crossovers, and
- There is no change in the landscaping on site from the driveway.

There is no change in the current driveway situation other than a new garage being constructed in a similar position to the existing garage. There are minimal risks given that the driveway has been in use for many years without incident. For this reason, the driveway as presented can be supported.

Overshadowing

The property has a density code of R20 which permits up to 25% overshadowing in accordance with the Residential Design Codes deemed to comply clause 5.4.2 C2.1. In this case the overshadowing reached 29.37%. A submission received from the southern neighbouring property pointed raised concern with regards to the level of overshadowing including overshadowing of a solar hot water system on the roof of the adjacent property caused by the proposed development.

It is noted that the level of overshadowing is at the maximum level at the winter solstice and declines at other times of the year. The overshadowing did impact on the solar hot water system and did affect the courtyard on the north side of the southern neighbouring property. The proposed design was modified to reduce the impact of overshadowing following the submission from the neighbouring property owners. The overshadowing was reduced to 21.39% of the neighbouring property at 36 (Lot 2) Moss Street which is within the acceptable level of overshadowing for properties in R20 zones.

CONCLUSION

The proposed development has four variations to the Residential Design Codes and the Residential Design Guidelines. Amended plans were presented by the applicant that addressed the issues raised by the neighbours following advertising of the proposal. The remaining variations are not considered significant and for this reason can be supported. It is recommended that Council support the proposed development at 34 (Lot 1) Moss Street subject to the conditions included in the final recommendation.

OFFICER RECOMMENDATION / COMMITTEE RESOLUTION

OFFICER RECOMMENDATION

That development approval is granted, and Council exercises its discretion regarding the following;

- (i) Clause 3.7.8.3 – Residential Design Guidelines – Roof Pitch – 28 to 36 degrees required, less than 28 degrees provided,
- (ii) Clause 5.1.3 – Residential Design Codes - Lot Boundary Setback - Southern Wall – Bathroom, Bed 3, Bed 2 – Ground Floor – Residential Design Codes – – 1.5m required, 1.23m provided,
- (iii) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback - Northern Wall – Living, Laundry, Linen, Bed 4, Lounge, Verandah – Ground Floor – 1.5m required, 1.2m provided, and
- (iv) Clause 5.3.5 – Residential Design Codes – Driveway Access – Turning circle required, no turning circle provided,

for alterations and additions at No. 34 (Lot 1) Moss Street, East Fremantle, in accordance with the plans submitted 28 February 2024, subject to the following conditions:

- (1) All chimneys are to be retained as part of the development.
- (2) Existing trees located within the verge are a Town asset and as such must be retained and not pruned, shaped, or modified except where otherwise approved for removal or modification by the Town.
- (3) During construction the verge trees are to be protected with cages around the trunks to ensure that they are not damaged by surrounding works, vehicles, or materials.
- (4) An application is to be submitted to the Operations Department of the Town for the removal of any verge trees. Verge trees are not to be removed without written approval from the Town.
- (5) The footpath is to always remain accessible to pedestrians.
- (6) Prior to the submission of a building permit application, a Construction Management Plan shall be prepared to the satisfaction of the Town. This plan is to address the following matters during the construction/development period:
 - (a) Noise, vibration, air, and dust management;
 - (b) Contact details of essential site personnel, construction periods and construction operating hours;
 - (c) Traffic management, including footpath closures and proposed signage;
 - (d) Parking management for all trades, contractors, and visitors to site;
 - (e) Public safety and amenity (traffic control and pedestrian management);
 - (f) Site access/egress management;
 - (g) Scaffolding management plan;
 - (h) Management plan for the loading and unloading of vehicles;
 - (i) Heavy construction machinery and deliveries;
 - (j) Bulk earthwork operations;
 - (k) Stormwater and sand/sediment control;
 - (l) Street tree management and protection;
 - (m) Protection of footpath;
 - (n) Details of all concrete pours and requirements relating to piling methods or associated works;
 - (o) Temporary fencing;
 - (p) Temporary toilets;
 - (q) Dilapidation of Town infrastructure and nearby properties;
 - (r) Hoardings and gantries; and
 - (s) Any other relevant matters.

The requirements of this plan are to be observed at all times during the construction process.

- (7) The works are to be constructed in conformity with the drawings and written information accompanying the application for development approval other than where varied in compliance with the conditions of this development approval or with the Town's further approval.
- (8) The proposed works are not to be commenced until the Town has received an application for a Building Permit and the Building Permit issued in compliance with the conditions of this development approval unless otherwise amended by the Town.
- (9) With regards to the plans submitted with respect to the Building Permit application, changes are not to be made in respect of the plans which have received development approval, without those changes being specifically marked for the Town's attention.
- (10) All stormwater is to be disposed of on site, an interceptor channel installed if required and a drainage plan be submitted to the satisfaction of the Town prior to the issue of a Building Permit.
- (11) If requested by the Town within the first two years following installation, the roofing to be treated to reduce reflectivity. The treatment to be to the satisfaction of the Chief Executive Officer in consultation with relevant officers and all associated costs to be borne by the owner.
- (12) All introduced filling of earth to the lot or excavated cutting into the existing ground level of the lot, either temporary or permanent, shall be adequately controlled to prevent damage to structures on adjoining lots or in the case of fill, not be allowed to encroach beyond the lot boundaries. This shall be in the form of structurally adequate retaining walls and/or sloping of fill at the natural angle of repose and/or another method as approved by the Town.
- (13) Where this development requires that any facility or service within a street verge (street trees, footpath, crossover, light pole, drainage point or similar) is to be removed, modified, or relocated then such works must be approved by the Town and if approved, the total cost to be borne by the applicant. The Town must act reasonably and not refuse any reasonable proposal for the removal, modification or relocation of such facilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (14) This development approval is to remain valid for a period of 24 months from date of this approval.

Footnote:

The following are not conditions but notes of advice to the applicant/owner:

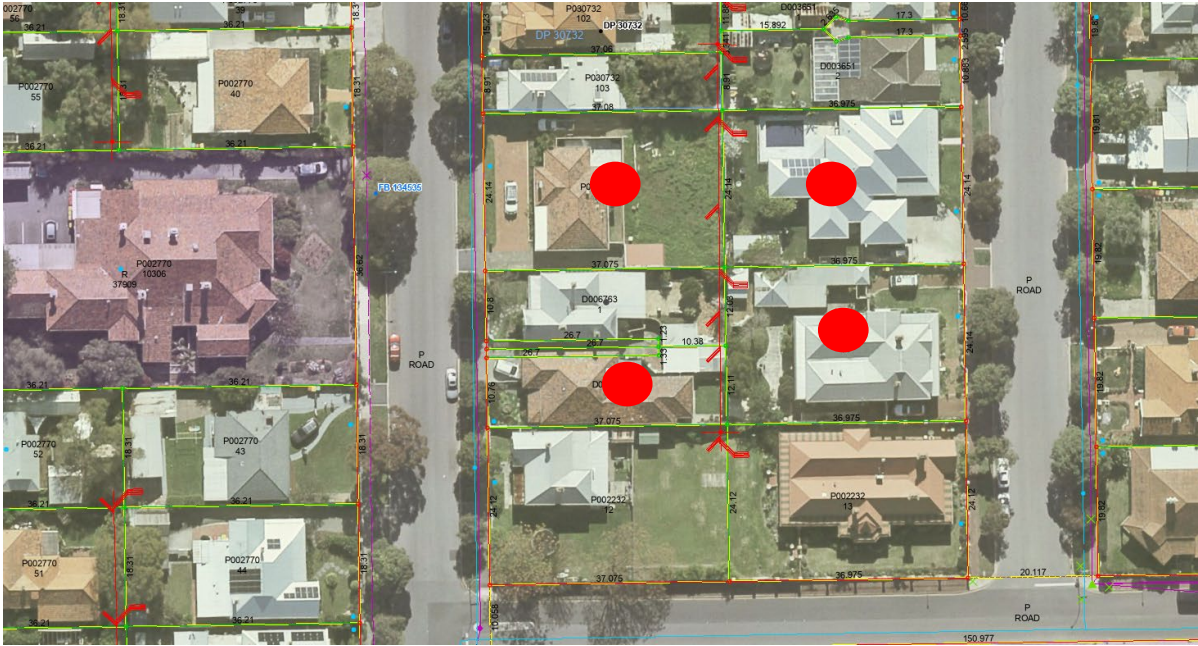
- (a) *This decision does not include acknowledgement or approval of any unauthorised development which may be on site.*
- (b) *A copy of the approved plans as stamped by Town are attached and the application for a Building Permit is to conform with the approved plans unless otherwise approved by the Town.*
- (c) *It is recommended that the applicant provides a structural engineer's dilapidation report, at the applicant/owner expense, specifying which structures on adjoining sites may be adversely affected by the works and providing a record of the existing condition of the structures. Two copies of each dilapidation report should be lodged with the Town and one copy should be given to the owner of any affected property.*
- (d) *All noise levels produced by the construction of the development are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).*
- (e) *Matters relating to dividing fences are subject to the Dividing Fences Act 1961.*

- (f) Trees on verges are the property of the Town. They are not to be damaged, pruned or removed. Any actions which harm verge trees will result in the Town acting against the owners/builders/contractors responsible. If there are concerns regarding trees owners/builders/contractors are asked to contact the Town to seek further advice.***
- (g) Any damage to other Town assets including but not limited to the kerb, drainage, footpaths, roads, and signage will have to be repaired by the applicant/owners/contractors at their cost.***
- (h) A construction management plan will have to be prepared and submitted as part of the building permit application to show traffic management, contractor parking and materials storage.***

REPORT ATTACHMENTS

Attachments start on the next page

34 Moss Street – Location and Advertising Plan



Attachment -2
34 Moss Street – Photos







SYMBOL LEGEND:

- WATER METER
- TELSTRAN PIT
- POWER DOME
- TREE (TO SCALE)
- WINDOW
- DOOR
- POWER METER
- GAS METER
- SEWER CONN. (TOW)
- TOP OF WALL
- TOP OF FENCE
- TEMP. BENCHMARK
- GARAGE DOOR
- HOT WATER SYSTEM

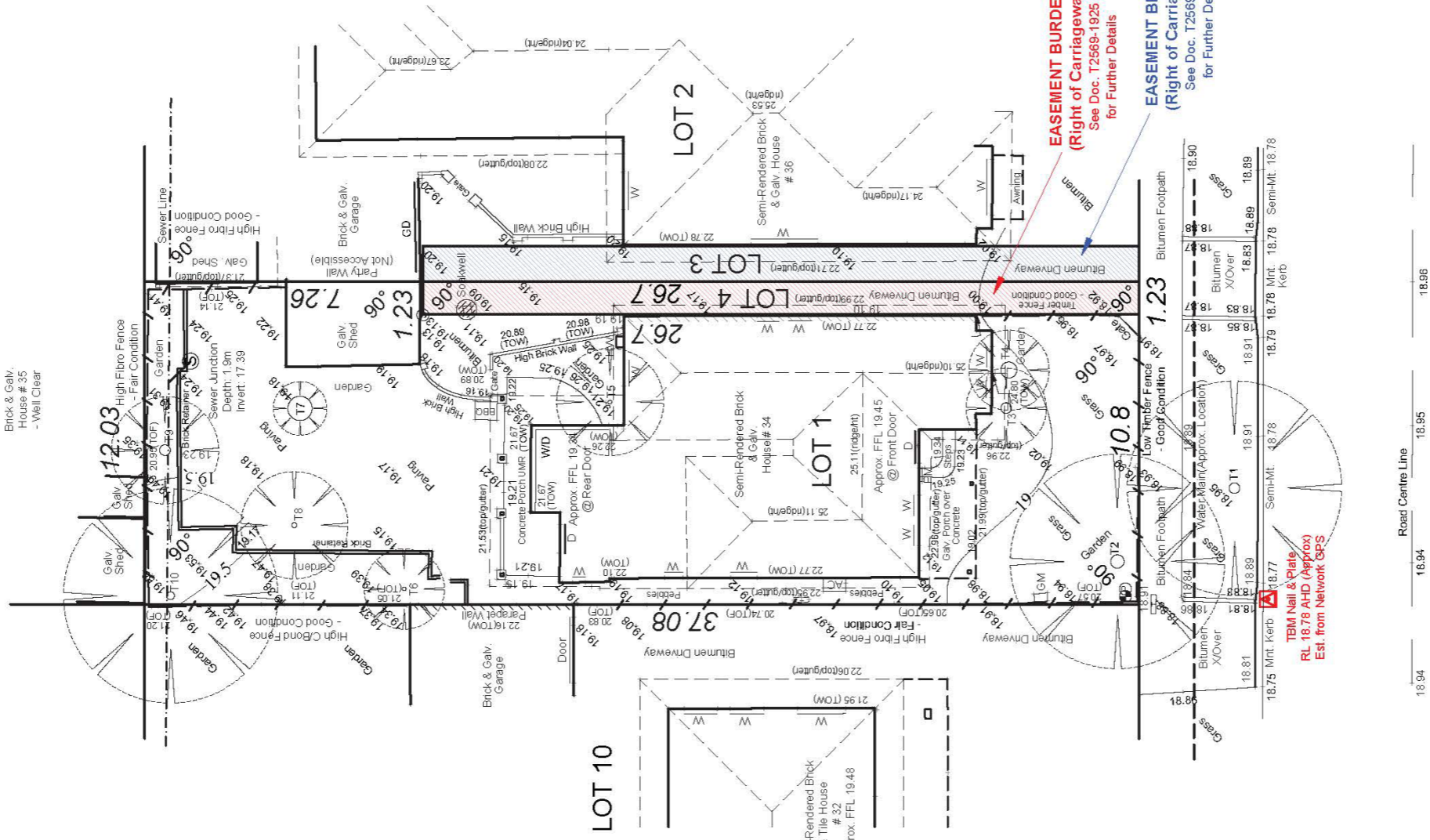
SURVEY CO-ORDINATES: ARBITRARY
SURVEY DATUM: AHD (APPROX.)



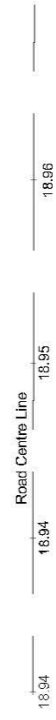
Tree ID	Trunk	Canopy	Tree Height	Comment
T1	0.40	8.0	10.0	0.3DBH
T2	0.50	8.0	8.0	
T3	0.40	3.0	4.0	
T4	0.60	3.0	4.0	
T5	0.15	4.0	4.0	
T6	0.15	3.0	3.0	
T7	0.90	2.0	3.0	
T8	0.20	4.0	4.0	
T9	0.40	4.0	6.0	
T10	0.30	8.0	6.0	

LOT 14

Brick & Galv.
House # 35
- Well Clear



MOSS STREET



VISION SURVEYS CONSULTING VERIFY THAT AN ALIGNMENT SURVEY HAS BEEN CONDUCTED ON 21/09/2023 TO ESTABLISH THE BOUNDARY POSITIONS OF LOT 1 ON D6783. THE POSITION OF ALL STRUCTURAL FEATURES REPRESENTED ON THIS PLAN ARE TO BE ASSUMED ACCURATE IN RELATION TO THE BOUNDARY. VISION SURVEYS CONSULTING IS NOT LIABLE FOR ANY CHANGES MADE TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING BUT NOT LIMITED TO ANY ADJOINING PARCEL THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

DISCLAIMER: DIMENSIONS SHOWN ON THIS SURVEY HAVE BEEN OBTAINED FROM PLANS ORDERED FROM LANDGATE. THESE PLANS ARE ASSUMED TO BE THE CORRECT REPRESENTATION OF THE PARCEL OF LAND.

DISCLAIMER: THIS SURVEY ONLY SHOWS SITE FEATURES WHICH ARE VISIBLE AND ACCESSIBLE AT THE TIME OF SURVEY. THE POSITION OF ANY UNDERGROUND SERVICES SHOULD BE VERIFIED PRIOR TO FINALISATION OF ANY DESIGN WORK.

DISCLAIMER: THIS SURVEY ONLY SHOWS SITE FEATURES WHICH ARE VISIBLE AND ACCESSIBLE AT THE TIME OF SURVEY. THE POSITION OF ANY UNDERGROUND SERVICES SHOULD BE VERIFIED PRIOR TO FINALISATION OF ANY DESIGN WORK.

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DISCLAIMER: THIS SURVEY ONLY SHOWS SITE FEATURES WHICH ARE VISIBLE AND ACCESSIBLE AT THE TIME OF SURVEY. THE POSITION OF ANY UNDERGROUND SERVICES SHOULD BE VERIFIED PRIOR TO FINALISATION OF ANY DESIGN WORK.

UTILITY SERVICES: Connection Located Connection Not Located Service to be confirmed

WATER SEWER GAS TELSTRAN POWER - UJG -OH

FEATURE & CONTOUR SURVEY

Vision surveys CONSULTING
59 Scarborough Beach Rd.
SCARBOROUGH WA 6019
Tel: (08) 6144 0000 Fax: (08) 6144 0099
info@visionsc.com.au
www.visionsc.com.au

NOTE: THIS PLAN IS THE PROPERTY OF BOTH VISION SURVEYS CONSULTING AND ITS CLIENT. PERMISSION SHOULD NOT BE REPRODUCED WITHOUT THE PERMISSION OF BOTH PARTIES. ALL DISCLAIMERS SHOWN ON THIS PLAN ARE TO BE READ IN CONJUNCTION WITH VISION SURVEYS CONSULTING TERMS AND CONDITIONS.

CLIENT: Sean Darcy
ADDRESS: 34 MOSS STREET, EAST FREMANTLE
LOCAL GOVERNMENT: TOWN OF EAST FREMANTLE
LOT AREA: 412m² R20
R CODE: D6763
LOT AREA: 1327/637
TITLE: 1 OF 1 SHEETS
VERSION: 1

JOB NUMBER: VS009566

DRAWN BY: SH
CHECKED BY: DS
DRAFTING DATE: 18.10.2023
SURVEY DATE: 21/09/2023
DWG REF: Moss 34 F- v1.0

NOTE:

All measurements are approximate only.
It is the builders responsibility to confirm all drawings and all dimensions on site prior to the commencement of any works or ordering materials.

OVERSHADOWING CALCULATIONS:

No. 36 MOSS STREET:
TOTAL OVERSHADOWING : 88.14m²
OVERSHADOWING % (25% max allowed): 21.39%



Extent of Overshadowing

LANDSCAPE AREA CALCULATION:

TOTAL LOT AREA: 412m²
LANDSCAPE REQUIRED: 412m²/20% = 82.4m²
TOTAL LANDSCAPE PROVIDED: 123.06m²
TOTAL LANDSCAPE PERCENTAGE: 29.86%

SITE COVERAGE:

LOT AREA: 412m²
LOT ZONING: R20
TOTAL FLOOR AREA: 200.13m²
TOTAL SITE COVERAGE: 48.57%
TOTAL OPEN SPACE: 51.43%
(50% min. required)

FLOOR AREA CALCULATION:

EXIST. AREA: 102.93m²
PROPOSED ADDITION: 66.81m²
PROPOSED ALFRESCO: 25.44m²
TOTAL G. FLOOR AREA: 94.39m²
PROPOSED UPPER FLOOR: 56.55m²
TOTAL AREA: 282.12m²



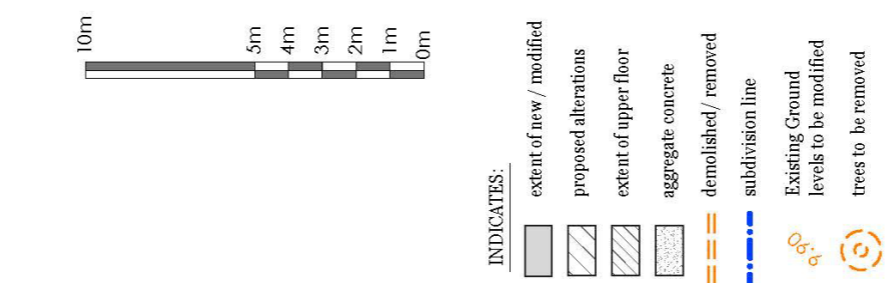
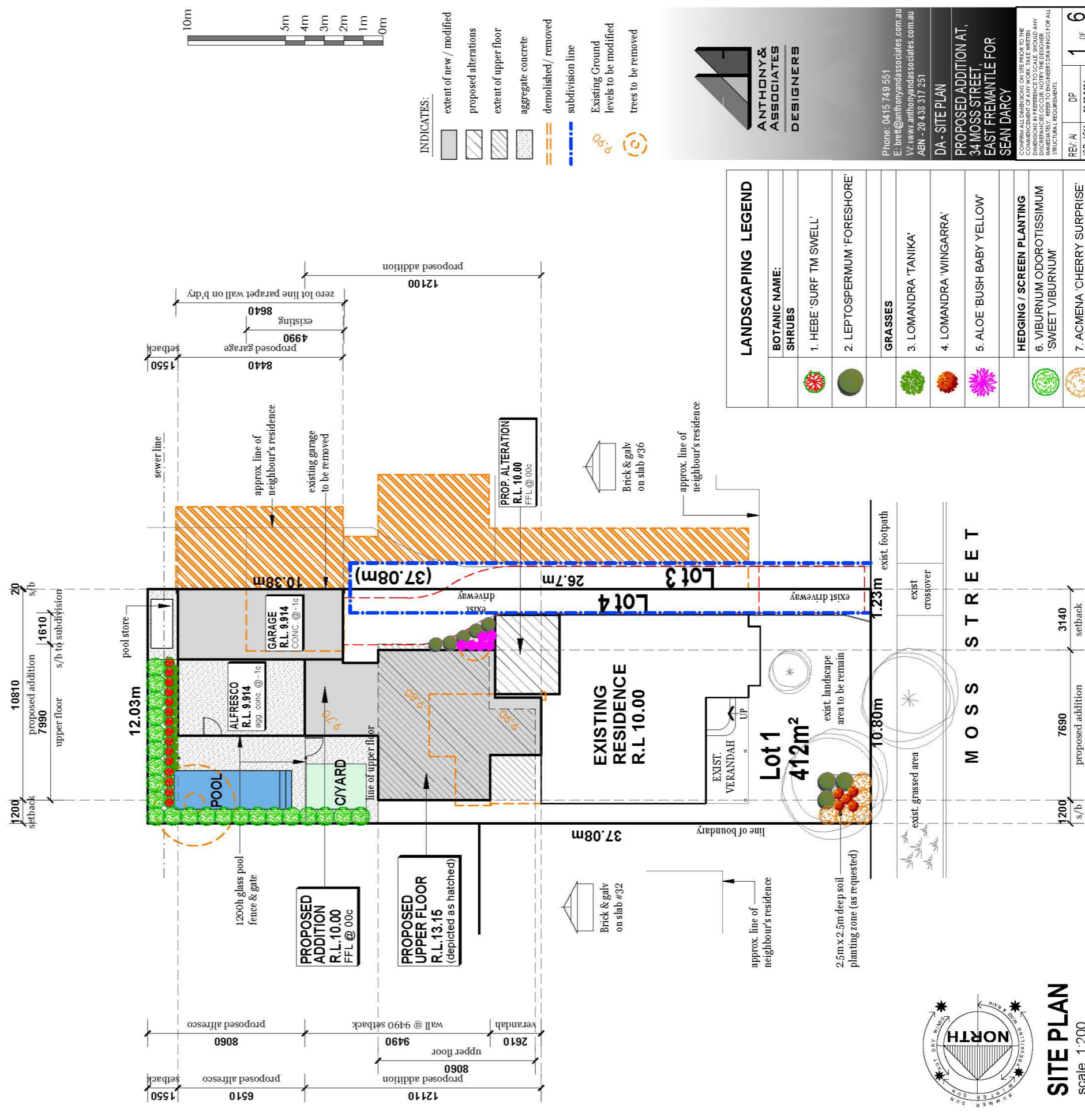
SCENE 1



SCENE 2



SCENE 3



LANDSCAPING LEGEND	
BOTANIC NAME:	
SHRUBS	
	1. HEBE 'SURF TM SWELL'
	2. LEPTOSPERMUM 'FORESHORE'
GRASSES	
	3. LOMANDRA 'TANIKA'
	4. LOMANDRA 'WINGARRA'
	5. ALOE 'BUSH BABY YELLOW'
HEDGING / SCREEN PLANTING	
	6. VIBURNUM ODORATISSIMUM 'SWEET VIBURNUM'
	7. ACMENA 'CHERRY SURPRISE'

ANTHONY & ASSOCIATES DESIGNERS

Phone: 0415 749 651
E: brett@anthonyandassociates.com.au
W: www.anthonyandassociates.com.au
ABN - 20 438 317 251

DA - SITE PLAN

PROPOSED ADDITION AT, 34 MOSS STREET, EAST FREMANTLE FOR SEAN DARCY

CONTRACT NUMBER: 2020/001
DRAWING NUMBER: 2020/001-01
DIMENSIONS IN PREFERENCE TO SCALE. SHOULD ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER.
THIS DRAWING IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE DESIGNER ACCEPTS NO LIABILITY FOR ALL STRUCTURAL REQUIREMENTS.

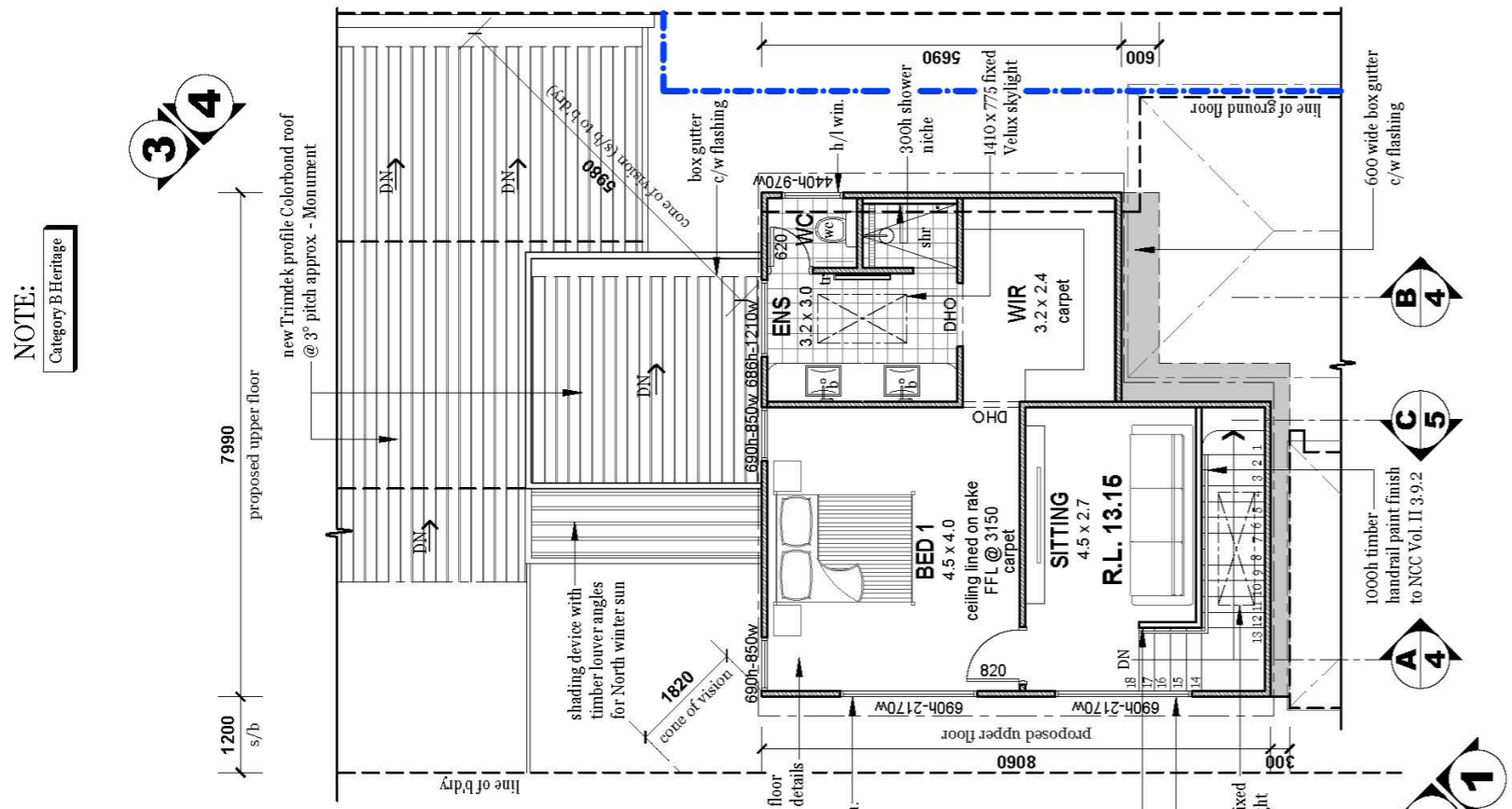
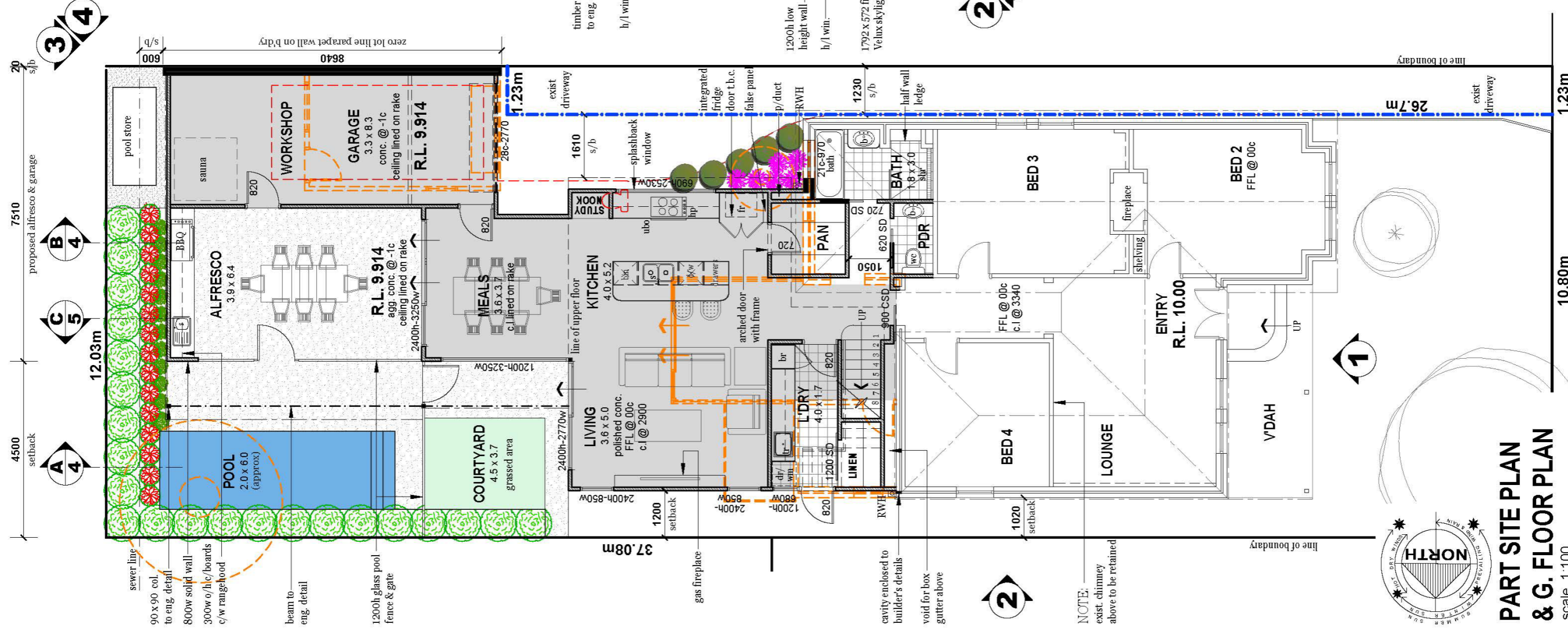
REV: A | DP | 1 OF 6
JOB: 1511 | 20.02.2024



STAIR CALCULATION:
 Timber Stairs
 Risers 185.30
 Going 250 (typical)
 (2R + G) 370.6 + 250 = 620.6

NOTE:
 All measurements are approximate only.
 It is the builders responsibility to confirm all drawings and all dimensions on site prior to the commencement of any works or ordering materials

NOTE:
 Category B Heritage



UPPER FLOOR PLAN
 scale 1:100

ANTHONY & ASSOCIATES DESIGNERS

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 W: www.anthonyandassociates.com.au
 ABN - 20 438 317 231

DA - FLOOR PLANS
PROPOSED ADDITION AT, 34 MOSS STREET, EAST FREMANTLE FOR SEAN DARCY

CONVEY ALL DIMENSIONS ON THIS DRAWING TO THE CONTRACTOR AS SHOWN. DIMENSIONS IN PREFERENCE TO SCALE. SHOULD ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER. DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO BE TAKEN FROM THE STRUCTURAL REQUIREMENTS.

REV: A DP 2 OF 6
 JOB: 1511 20.02.2024

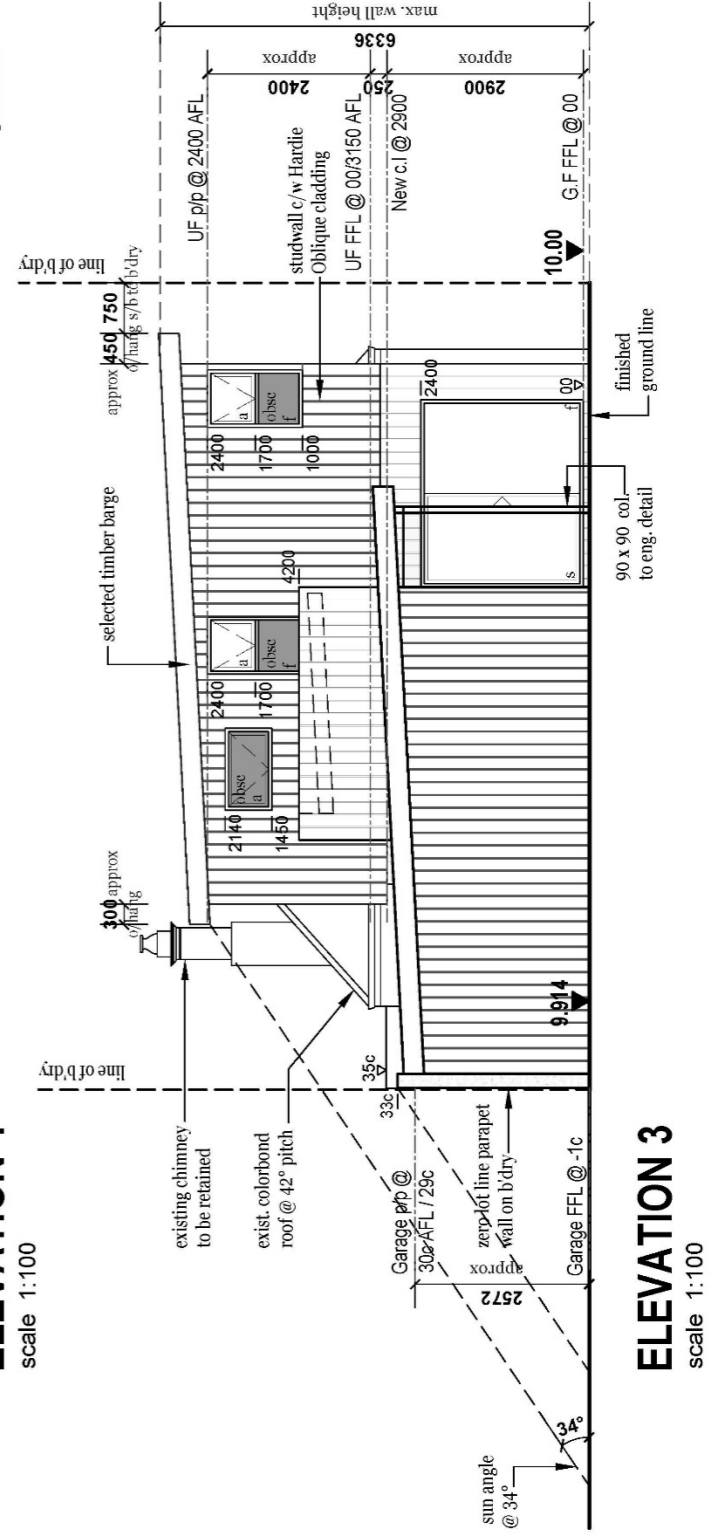
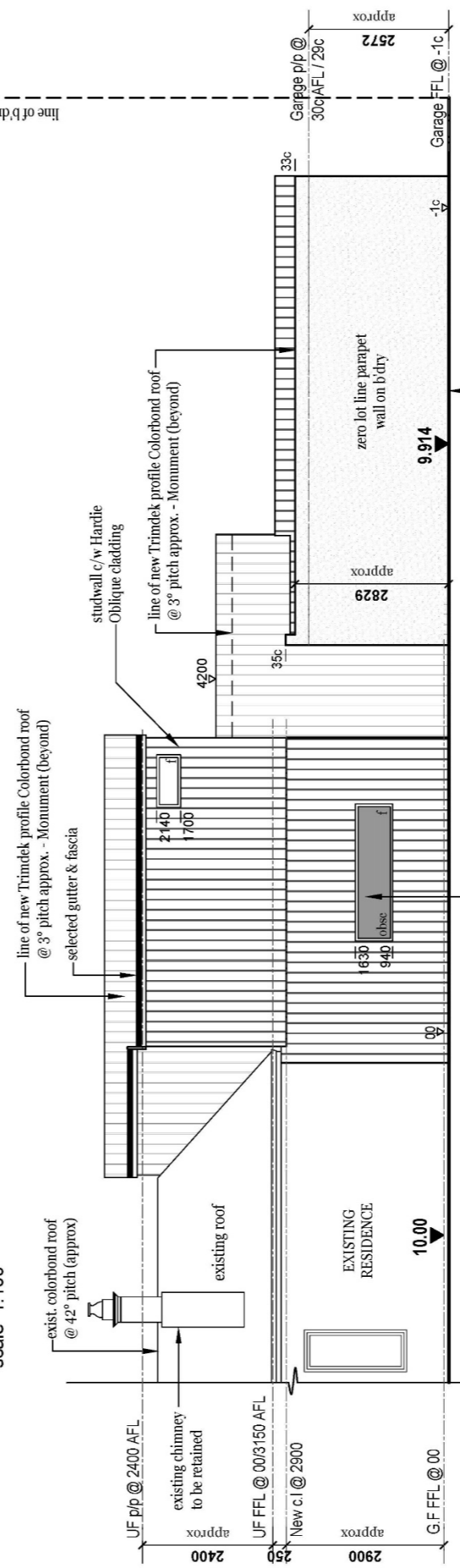
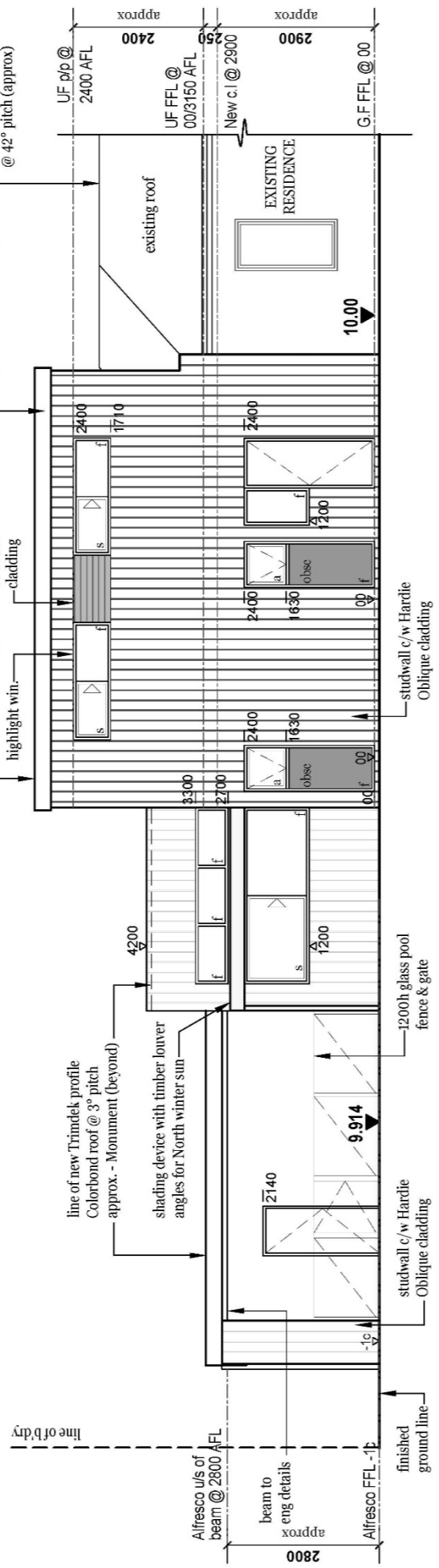
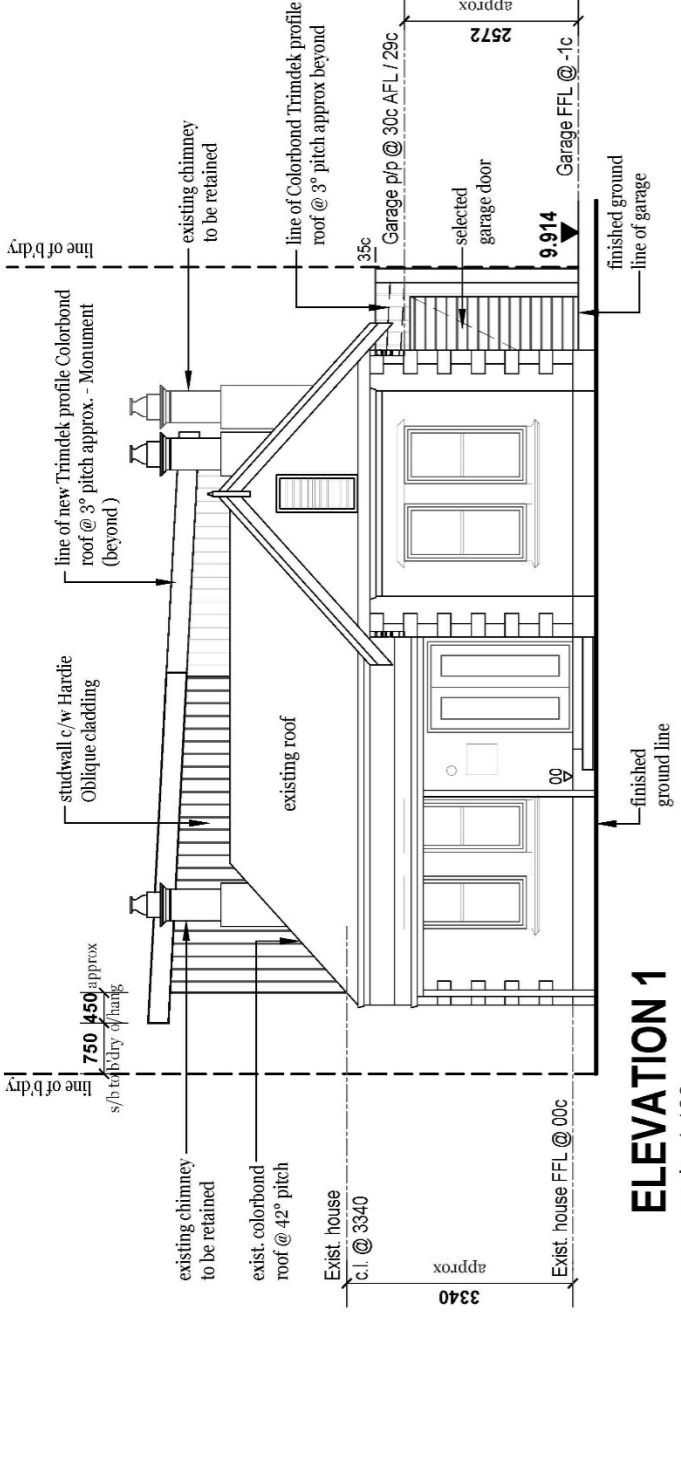
INDICATES:

- extent of new
- aggregate concrete
- new studwall
- new brickwall
- existing brickwork
- existing roofline
- new roofline
- demolished
- demolished roofline
- RWH rain water head
- wc & plumbing above

PART SITE PLAN & G. FLOOR PLAN
 scale 1:100

MATERIAL SCHEDULE:

KEY VALUE	KEY NOTE TEXT
	studwall c/w Hardie Oblique cladding
	Charcoal or similar
	Trimdek profile Colorbond roof
	Colorbond Monument
	Aluminum window frames : Night sky



ANTHONY & ASSOCIATES DESIGNERS

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 ABN - 20 438 317 291

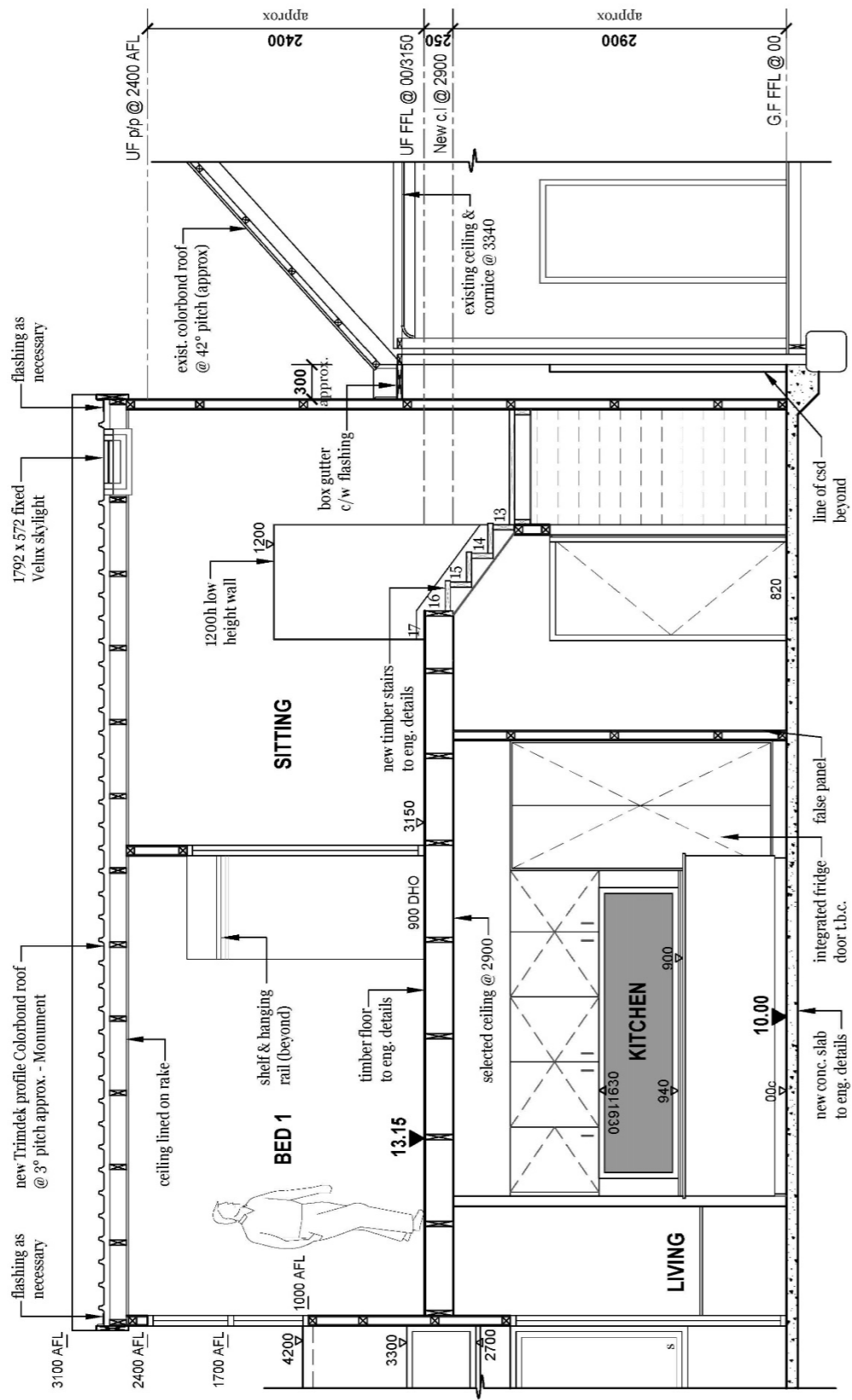
DA - ELEVATIONS
PROPOSED ADDITION AT,
34 MOSS STREET,
EAST FREMANTLE FOR
SEAN DARCY

CONFORM WITH DIMENSIONS ON SITE REFER TO THE DIMENSIONS IN PRECEDENCE TO SCALE. CALLED ANY DIMENSIONS TO CONFIRM. CHECK FOR THE DESIGNER'S SIGNATURE AND STAMP. CHECK FOR ALL STRUCTURAL REQUIREMENTS.

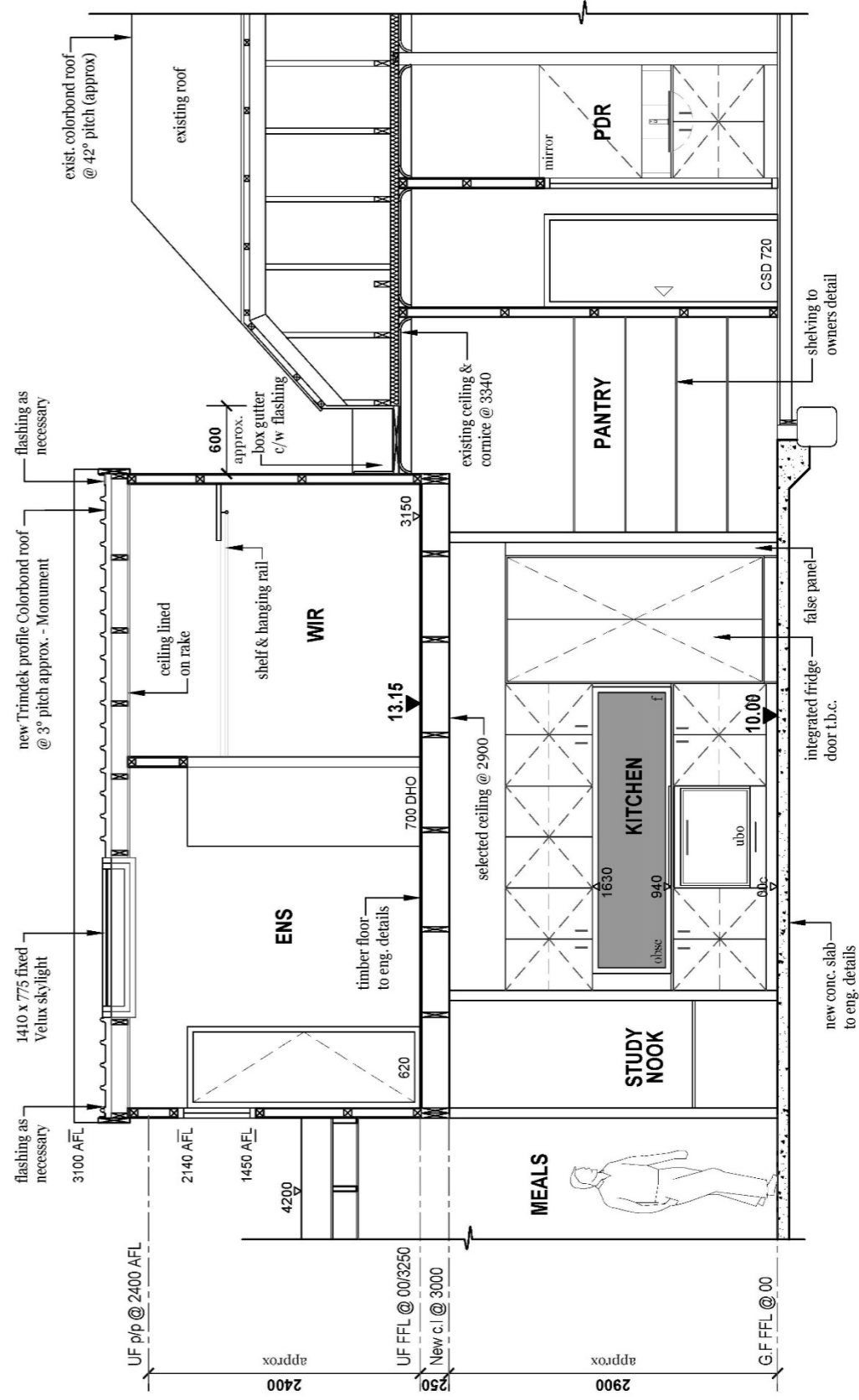
REV. AI	DP	3 OF 6
JOB: 1511	20.02.2024	

NOTE :
Roof construction as specified and in accordance with AS1684-2010

NOTE:
Termite treatment to BCA requirements.



SECTION A
scale 1:50



SECTION B
scale 1:50



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ABN - 20 438 317 291

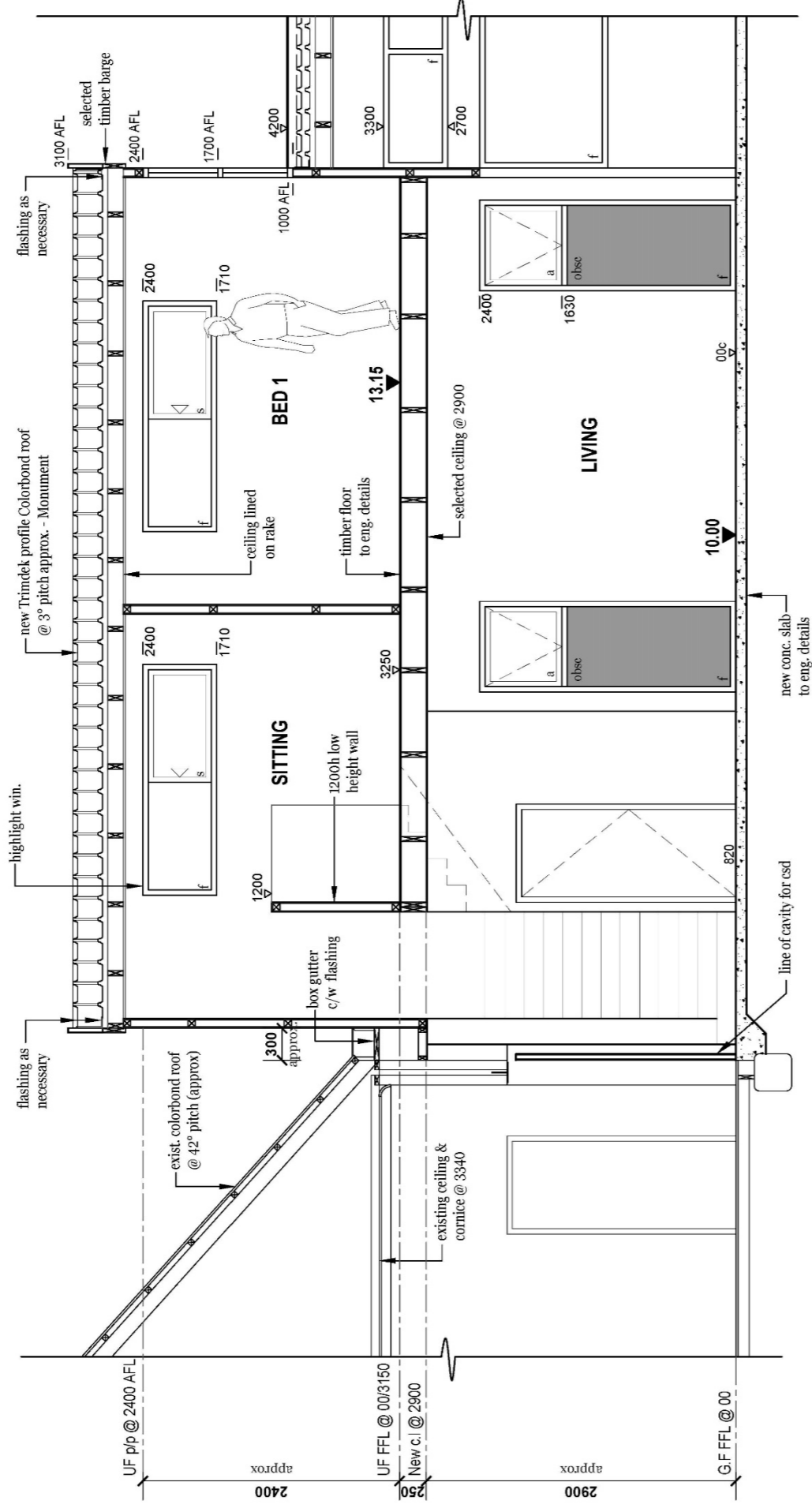
DA - SECTIONS
PROPOSED ADDITION AT,
34 MOSS STREET,
EAST FREMANTLE FOR
SEAN DARCY

CONFORM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DIMENSIONS IN PARENTHESES TO S.C.A.T. SHALL ONLY BE USED IN THE EVENT OF DISCREPANCIES OCCURRING. THE DESIGNER ACCEPTS NO LIABILITY FOR DAMAGES OR INJURIES ARISING FROM ALL STRUCTURAL REQUIREMENTS.

REV. A1	DP	4	OF	6
JOB: 1511		20.02.2024		

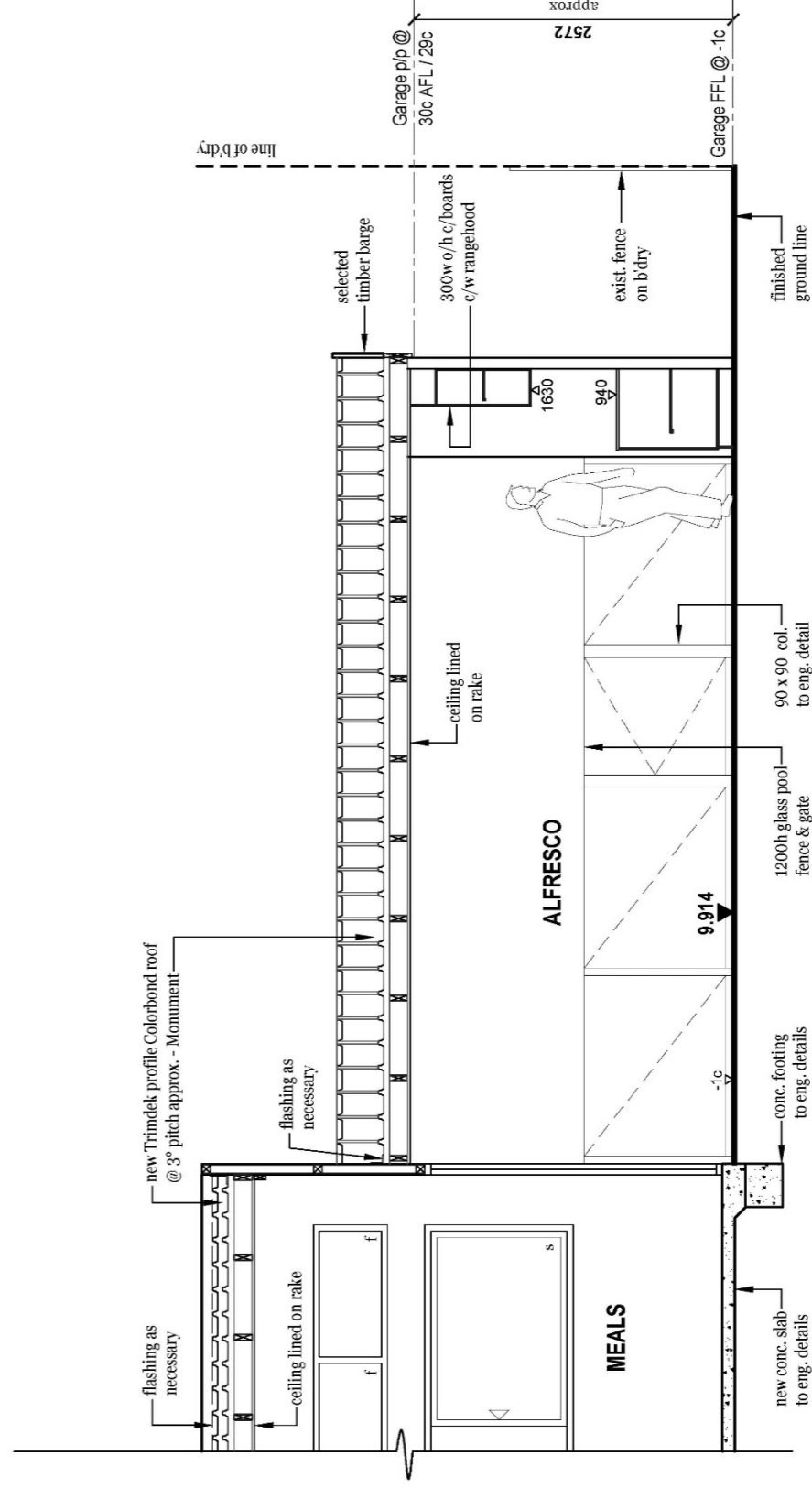
NOTE :
Roof construction as specified and in accordance with AS1684-2010

NOTE:
Termite treatment to BCA requirements.



PART SECTION C

scale 1:50



PART SECTION C

scale 1:50

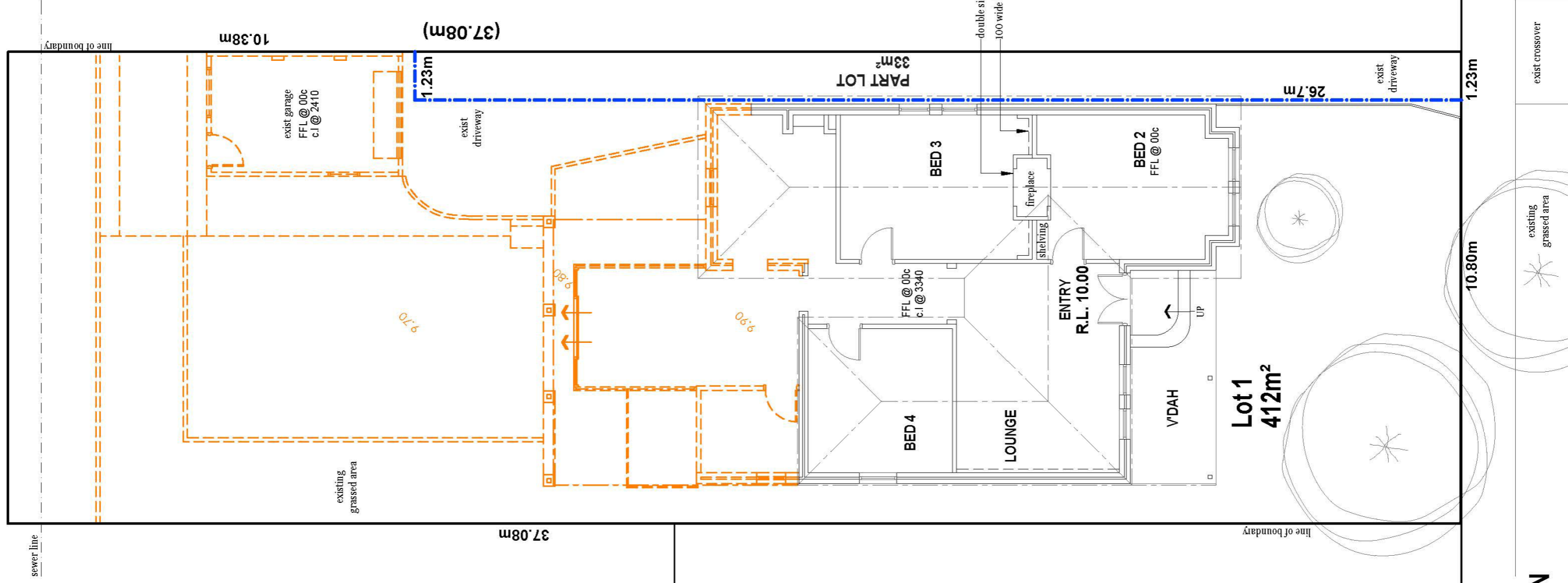


Phone: 0415 749 651
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W: www.anthonyandassociates.com.au
ABN - 20 438 317 251

DA - SECTION
PROPOSED ADDITION AT,
34 MOSS STREET,
EAST FREMANTLE FOR
SEAN DARCY

CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ANY DIMENSIONS IN PARENTHESES TO SCALE. SHOULD ANY DISCREPANCIES OCCUR, REFER TO THE DESIGNER'S DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS.

REV: A1	DP	5	OF	6
JOB: 1511		20.02.2024		



NOTE:

All measurements are approximate only.
It is the builders responsibility to confirm all drawings and all dimensions on site prior to the commencement of any works or ordering materials

NOTE:

Category B Heritage



INDICATES:

- existing brickwork
- - - existing roofline
- - - demolished
- - - demolished roofline
- Existing Ground levels to be modified



Phone: 0415 749 651
E: brett@anthonyandassociates.com.au
W: www.anthonyandassociates.com.au
ABN - 20 438 317 251

DA - EXIST. & DEMO. PLAN
PROPOSED ADDITION AT,
34 MOSS STREET,
EAST FREMANTLE FOR
SEAN DARCY

CONVEY ALL DIMENSIONS ON THIS PLAN TO THE COMMON LAW DIMENSIONS OF METRE AND MILLIMETRE DIMENSIONS IN PREFERENCE TO SCALE. SHOULD ANY DIMENSIONS ON THIS PLAN NOTIFY THE DESIGNER, THE DESIGNER SHALL BE RESPONSIBLE FOR ALL STRUCTURAL REQUIREMENTS.

REV. A	DP	6	OF	6
JOB: 1511		20.02.2024		



**EXISTING AND
DEMOLITION PLAN**

scale 1:100

PLACE RECORD FORM



PRECINCT	Woodside
ADDRESS	34 Moss Street
PROPERTY NAME	N/A
LOT NO	Lots 1 & 4
PLACE TYPE	Residence
CONSTRUCTION DATE	C 1912
ARCHITECTURAL STYLE	Federation Bungalow
USE/S	Original Use: Residence/ Current Use: Residence
STATE REGISTER	N/A
OTHER LISTINGS	N/A
MANAGEMENT CATEGORY	Category B
PHYSICAL DESCRIPTION	No 34 Moss Street is a single storey house constructed in rendered brick with a hipped and gable corrugated iron roof. It is a fine expression of the Federation Bungalow style. It is asymmetrically composed with a thrust gable bay and a part width bull-nosed roofed verandah. The verandah is supported on timber posts and it terminates at the gabled bay. The gable bay features a large vent and a pair of double hung sash windows. There is a central door flanked by a pair of double hung sash windows. In recent times the place has been rendered. The roofscape features several render capped chimneys.

	<p>The place retains its form and most of its details. There are additions to the rear.</p> <p>The place is consistent with the building pattern in the Precinct. The place plays an important role in the pattern of development of a middle class suburb.</p>
HISTORICAL NOTES	<p>Woodside is a relatively cohesive precinct where most of the places were constructed following the subdivision of W.D. Moore's Estate commencing in 1912. Most of the lots were sold between 1912 and 1929 and the majority of buildings were completed in this time. Residences were substantial and of various Federation period styles distinguishing the area from the small worker's cottages of Plympton. The Inter-War Bungalow style residence is also represented in Woodside.</p> <p>The Woodside Precinct remains largely intact in terms of original housing with little infill subdivision or replacement housing.</p>
OWNERS	Unknown
HISTORIC THEME	Demographic Settlements - Residential Subdivision
CONSTRUCTION MATERIALS	<p>Walls – Rendered brick</p> <p>Roof – Corrugated iron sheeting</p>
PHYSICAL SETTING	The residence is situated on a near flat site with a timber picket fence on the lot boundary.
STATEMENT OF SIGNIFICANCE	<p>No 34 Moss Street is a single storey house constructed in rendered brick and a corrugated iron roof. It has historic and aesthetic value for its contribution to Woodside's high concentration of predominantly Federation period houses and associated buildings. The place contributes to the local community's sense of place.</p> <p>The place has considerable aesthetic value as a Federation Bungalow. The place retains a moderate degree of authenticity and a high degree of integrity.</p> <p>The additions to the rear have no significance.</p>
AESTHETIC SIGNIFICANCE	No 34 Moss Street has considerable aesthetic value as a Federation Bungalow. It retains most of the characteristic features of a dwelling of the type and period.
HISTORIC SIGNIFICANCE	No 34 Moss Street has some historic value. It was part of the suburban residential development associated with the expansion of East Fremantle and the subdivision of W. D. Moore's Woodside Estate from 1912.
SCIENTIFIC SIGNIFICANCE	N/A
SOCIAL SIGNIFICANCE	No 34 Moss Street has some social value. It is associated with a significant area of middle class Federation and Inter-War period development which contributes to the community's sense of place.
RARITY	No 34 Moss Street is not rare in the immediate context but Woodside has rarity value as a cohesive middle class suburb.
CONDITION	No 34 Moss Street is in good condition.
INTEGRITY	No 34 Moss Street retains a high degree of integrity.
AUTHENTICITY	No 34 Moss Street retains a moderate degree of authenticity.
MAIN SOURCES	

12.2 156 PRESTON POINT ROAD - 2 STOREY RESIDENCE

Owner	Mark Campana
Applicant	Blend Residential Designs
Report Reference Number	TPR-1745
Planning Reference Code	P005/24
Prepared by	James Bannerman
Supervised by	Andrew Malone
Meeting date	Tuesday, 2 April 2024
Voting requirements	Simple majority
Documents tabled	Nil
Attachments	
	1. Location and advertising plan
	2. Photos
	3. Plans

PURPOSE

The purpose of this report is for Council to consider a development application for the demolition of an existing dwelling and the construction of a new double storey residential dwelling at 156 Preston Point Road, East Fremantle.

EXECUTIVE SUMMARY

This development application proposes the demolition of an existing dwelling and the construction of a new double storey residential dwelling at 156 Preston Point Road, East Fremantle. The proposed dwelling is double storey with four bedrooms, two bathrooms, gym/activity room, kitchen, dining, and family room with a rear loading double garage. The existing property is not heritage listed. A landscaping plan as well as a materials and colour schedule was provided with the development application. The lot is relatively large compared to the footprint of the dwelling so there is significant open space provided across the property. The following variations to the Residential Design Codes and the Residential Design Guidelines are proposed;

- (i) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback - Western Wall – Bed 3, Semi- ensuite, Laundry, Gym/Activity, Alfresco – Ground Floor – 1.7m required, 1.605m provided
- (ii) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback - Western Wall – Kitchen, Scullery, Study – Upper Storey – 1.8m required, 1.605m provided
- (iii) Clause 3.7.17.4.1.3 – Residential Design Guidelines – Wall Height – 5.6m required, 7m provided
- (iv) Clause 3.7.17.4.1.3 – Residential Design Guidelines – Roof Height – 8.1m required, 8.2m provided

The development application for the proposed new dwelling is recommended for support subject to the conditions included in the final recommendation.

BACKGROUND

Zoning	Residential R17.5
Site Area	1040m ²
Heritage	N/A
Fremantle Port Buffer	N/A
Previous Decision of Town and/or History of Issue Onsite	Nil

CONSULTATION

The proposed development was advertised from 1 to 16 February 2024. No submissions were received.

No other referrals were made.

STATUTORY ENVIRONMENT

Planning and Development Act 2005
Residential Design Codes (Volume 1)
Local Planning Scheme No. 3 (LPS 3)

POLICY IMPLICATIONS

Local Planning Policy 3.1.1 – Residential Design Guidelines
Local Planning Policy 3.1.8 – Wood Encouragement - General

FINANCIAL IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

The Town of East Fremantle Strategic Community Plan 2020-2030 states as follows:

Built Environment

Accessible, well planned built landscapes which are in balance with the Town's unique heritage and open spaces.

3.1 Facilitates sustainable growth with housing options to meet future community needs.

3.1.1 Advocate for a desirable planning and community outcome for all major strategic development sites.

3.1.2 Plan for a mix of inclusive diversified housing options.

3.1.3 Plan for improved streetscapes.

3.2 Maintaining and enhancing the Town's character.

3.2.1 Ensure appropriate planning policies to protect the Town's existing built form.

3.3 Plan and maintain the Town's assets to ensure they are accessible, inviting and well connected.

3.3.1 Continue to improve asset management within resource capabilities.

3.3.2 Plan and advocate for improved access and connectivity.

RISK IMPLICATIONS

A risk assessment was undertaken and the risk to the Town in determining this application was deemed to be negligible.

SITE INSPECTION

A site inspection was undertaken.

COMMENT

Statutory Assessment

This development application was assessed against the Town's Local Planning Scheme No. 3, the Residential Design Codes, and the Residential Design Guidelines.

A summary of the assessment is included in the following tables.

Legend	
A	Acceptable
D	Discretionary
N/A	Not applicable

Local Planning Scheme No. 3/Residential Design Guidelines/Residential Design Codes

Design Element	Required	Proposed	Status
Street front setback	7.5m	>7.5m	A
Garage setback		Garage hidden behind proposed dwelling	A
Minor incursions			N/A
Lot Boundary Setbacks			
Western wall – bed 3, semi- ensuite, laundry, gym/activity, alfresco – ground floor	1.7m	1.605m	D
Southern wall – alfresco, garage – ground floor	1m	>1m	A
Eastern wall – bed 2, entry, garage – ground floor	1.6m	>1.6m	A
Western wall – kitchen, scullery, study – upper storey	1.8m	1.605m	D
Western wall – lift, ensuite – upper storey	1.2m	>1.2m	A
Southern wall – WIR, ensuite - upper storey	1.2m	>1.2m	A
Southern wall – lift, study	1.2m	>1.2m	A
Eastern wall – WIR, master suite, family – upper storey	2.2m	5.193m	A
Car Parking	2 car bays	>2 car bays	A
Open Space	50%	>50%	A
Wall Height	5.6m	7m	D
Roof Height	8.1m	8.2m	D
Site Works		Site works and retaining walls within requirements	A
Visual Privacy	Balcony – western edge – 7.5m Balcony -eastern edge – 7.5m Master suite – south window – 4.5m Front verandah – 7.5m	<7.5m >7.5m >4.5m <7.5m	A - Screening provided A A A - Screening provided
Overshadowing		Overshadows subject site	A
Garage width		Garage hidden behind proposed dwelling	A
Roof form and pitch	Impact of roof to be demonstrated	Impact of roof demonstrated	A
Materials and colours			A
Landscaping	2m x 2m deep planting zone 1 tree	Provided Provided	A A
Front fence & gate		No front fence	N/A
Sightlines			N/A
Footpaths and crossovers		Condition	
Drainage		Condition	
Wood Encouragement Policy		No timber indicated	

This development application proposes the demolition of an existing dwelling and the construction of a new double storey residential dwelling at 156 Preston Point Road, East Fremantle. The proposed dwelling is double storey with four bedrooms, two bathrooms, gym/activity room, kitchen, dining, and family room with a rear loading double garage. The existing property is not heritage listed. A landscaping plan as well as a materials and colour schedule was provided with the development application. The lot is relatively large compared to the footprint of the dwelling so there is significant open space provided across the property. There is a request for four variations to the Residential Design Codes and the Residential Design Guidelines in relation to lot boundary setback (two locations), wall height and roof height.

Lot Boundary Setback - Western Wall – Bed 3, Semi- ensuite, Laundry, Gym/Activity, Alfresco – Ground Floor

The western wall of the dwelling on the ground floor is 20.2m long and a maximum height of 3.73m and without major openings. It is required to be 1.7m from the boundary in accordance with the Residential Design Codes deemed to comply clause 5.1.3 C3.1. In this case the wall is marginally closer to the wall than required at 1.605m. This marginal reduction in setback can be supported in accordance with design principles 5.1.3 P3.1 for the following reasons;

- There is minimal impact on building bulk on the adjoining property,
- Adequate sunlight and ventilation will be able to reach the building and open spaces on the site and the adjoining properties, and
- There is minimal overlooking and loss of privacy on adjoining properties.

There is only a 0.1m reduction in setback which does not impact the ability of the sun to access the area between the subject dwelling and the neighbouring property and still allows air to circulate around the area. The wall is without major openings and there is no impact on visual privacy. Glazing is obscured or above 1.6m from the finished floor level. For these reasons, the proposed reduction in lot boundary setback can be supported.

Lot Boundary Setback - Western Wall – Kitchen, Scullery, Study – Upper Storey

The western wall of the dwelling on the upper storey is 12.93m long and has a maximum height of 6.8m and without major openings. It is required to be 1.8m from the boundary in accordance with the Residential Design Codes deemed to comply clause 5.1.3 C3.1. In this case the wall is marginally closer to the wall than required at 1.605m. This marginal reduction in setback can be supported in accordance with design principles 5.1.3 P3.1 for the following reasons;

- There is minimal impact on building bulk on the adjoining property,
- Adequate sunlight and ventilation will be able to reach the building and open spaces on the site and the adjoining properties, and
- There is minimal overlooking and loss of privacy on adjoining properties.

There is only a 0.195m reduction in setback which does not impact the ability of the sun to access the area between the subject dwelling and the neighbouring property and still allows air to circulate around the area. The wall is without major openings and there is no impact on visual privacy. Glazing from the kitchen is obscured. For these reasons, the proposed reduction in lot boundary setback can be supported.

Maximum Wall Height

The maximum wall height that the dwelling reaches is 7m. This is 1.4m above the maximum wall height that is considered permissible under the Residential Design Guidelines acceptable development provision 3.7.17.4.1.3 A1.4. The increased wall height above this level achieves performance criteria 3.7.17.4.1.3 P1. The new development is of a compatible form, bulk, and scale to traditional development in the immediate locality. Although the development is higher it is narrower than the existing development so some river views are retained. For this reason, the proposed increase in wall height can be supported.

Maximum Roof Height

The maximum roof height that the dwelling reaches is 8.2m. This is 0.1m above the maximum roof height that is considered permissible under the Residential Design Guidelines acceptable development provision 3.7.17.4.1.3 A1.4.

The increased roof height above this level achieves performance criteria 3.7.17.4.1.3 P1. The new development is of a compatible form, bulk, and scale to traditional development in the immediate locality. It is noted that although the development is higher the development is narrower therefore ensures views are retained for some properties to the south of the proposed dwelling. For this reason, the proposed increase in wall height can be supported.

CONCLUSION

There are only four variations and these are considered relatively minor given the location of the dwelling that has been proposed. The proposed dwelling has a relatively small footprint relative to the site area and the design has limited amenity impacts on neighbouring properties. Issues related to visual privacy are addressed through privacy screens, obscured glazing and highlight windows. Following advertising there were no submissions in opposition to the development.

The proposed development is recommended for support subject to the conditions included in the final recommendation.

OFFICER RECOMMENDATION / COMMITTEE RESOLUTION

OFFICER RECOMMENDATION

That development approval is granted, and Council exercises its discretion regarding the following;

- (i) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback - Western Wall – Bed 3, Semi- ensuite, Laundry, Gym/Activity, Alfresco – Ground Floor – 1.7m required, 1.605m provided**
 - (ii) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback - Western Wall – Kitchen, Scullery, Study – Upper Storey – – 1.8m required, 1.605m provided**
 - (iii) Clause 3.7.17.4.1.3 – Residential Design Guidelines – Wall Height – 5.6m required, 7m provided**
 - (iv) Clause 3.7.17.4.1.3 – Residential Design Guidelines – Roof Height – 8.1m required, 8.2m provided**
- for a double storey dwelling at No. 156 (Lot 1) Preston Point Road, East Fremantle, in accordance with the plans submitted 27 February 2024, subject to the following conditions:**
- (1) Visual privacy screening is to be installed in accordance with the plans submitted 27 February 2024 that achieves the deemed to comply requirements of clause 5.4.1 C1.2 of the Residential Design Codes that it is a minimum of 1.6m from the finished floor level, at least 75% obscure, permanently fixed, made of durable material, and restrict view in the direction of the overlooking.**
 - (2) The footpath is to always remain accessible to pedestrians.**
 - (3) Prior to the submission of a building permit application, a Construction Management Plan shall be prepared to the satisfaction of the Town. This plan is to address the following matters during the construction/development period:**
 - (a) Noise, vibration, air, and dust management;**
 - (b) Contact details of essential site personnel, construction periods and construction operating hours;**
 - (c) Traffic management, including footpath closures and proposed signage;**
 - (d) Parking management for all trades, contractors, and visitors to site;**
 - (e) Public safety and amenity (traffic control and pedestrian management);**
 - (f) Site access/egress management;**
 - (g) Scaffolding management plan;**
 - (h) Management plan for the loading and unloading of vehicles;**
 - (i) Heavy construction machinery and deliveries;**
 - (j) Bulk earthwork operations;**
 - (k) Stormwater and sand/sediment control;**
 - (l) Street tree management and protection;**
 - (m) Protection of footpath;**

- (n) Details of all concrete pours and requirements relating to piling methods or associated works;
- (o) Temporary fencing;
- (p) Temporary toilets;
- (q) Dilapidation of Town infrastructure and nearby properties;
- (r) Hoardings and gantries; and
- (s) Any other relevant matters.

The requirements of this plan are to be observed at all times during the construction process.

- (4) The crossover widths are not to exceed the width of the crossover indicated on the plans date submitted and to be in accordance with the Town of East Fremantle's (the Town) crossover policy, the Residential Design Guidelines and the Urban Streetscape and Public Realm Style Guide.
- (5) The works are to be constructed in conformity with the drawings and written information accompanying the application for development approval other than where varied in compliance with the conditions of this development approval or with the Town's further approval.
- (6) The proposed works are not to be commenced until the Town has received an application for a Building Permit and the Building Permit issued in compliance with the conditions of this development approval unless otherwise amended by the Town.
- (7) With regards to the plans submitted with respect to the Building Permit application, changes are not to be made in respect of the plans which have received development approval, without those changes being specifically marked for the Town's attention.
- (8) All stormwater is to be disposed of on site, an interceptor channel installed if required and a drainage plan be submitted to the satisfaction of the Town prior to the issue of a Building Permit.
- (9) If requested by the Town within the first two years following installation, the roofing to be treated to reduce reflectivity. The treatment to be to the satisfaction of the Chief Executive Officer in consultation with relevant officers and all associated costs to be borne by the owner.
- (10) All introduced filling of earth to the lot or excavated cutting into the existing ground level of the lot, either temporary or permanent, shall be adequately controlled to prevent damage to structures on adjoining lots or in the case of fill, not be allowed to encroach beyond the lot boundaries. This shall be in the form of structurally adequate retaining walls and/or sloping of fill at the natural angle of repose and/or another method as approved by the Town.
- (11) Where this development requires that any facility or service within a street verge (street trees, footpath, crossover, light pole, drainage point or similar) is to be removed, modified, or relocated then such works must be approved by the Town and if approved, the total cost to be borne by the applicant. The Town must act reasonably and not refuse any reasonable proposal for the removal, modification or relocation of such facilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (12) This development approval is to remain valid for a period of 24 months from date of this approval.

Footnote:

The following are not conditions but notes of advice to the applicant/owner:

- (a) *This decision does not include acknowledgement or approval of any unauthorised development which may be on site.*
- (b) *A copy of the approved plans as stamped by Town are attached and the application for a Building Permit is to conform with the approved plans unless otherwise approved by the Town.*
- (c) *An application for a new crossover is to be submitted to the Operations Department of the Town and plans are to be included with the application that meets the requirements of the Town's crossover policy, the Residential Design Guidelines and the Urban Streetscape and Public Realm Style Guide. This application and relevant information are available at the following links;*

Crossover Specifications

https://www.eastfremantle.wa.gov.au/Profiles/eastfremantle/Assets/ClientData/Documents/works-reserves/Crossover_Specification_2017.pdf

Residential Design Guidelines

https://www.eastfremantle.wa.gov.au/Profiles/eastfremantle/Assets/ClientData/Document-Centre/local-planning-policies/3_1_1_LPP_Residential_Design_Guidelines_Amended_17_May_2016.pdf

Urban Streetscape and Public Realm Style Guide

<https://www.eastfremantle.wa.gov.au/documents/914/urban-streetscape-and-public-realm-style-guide>

Application to Conduct Crossover Works

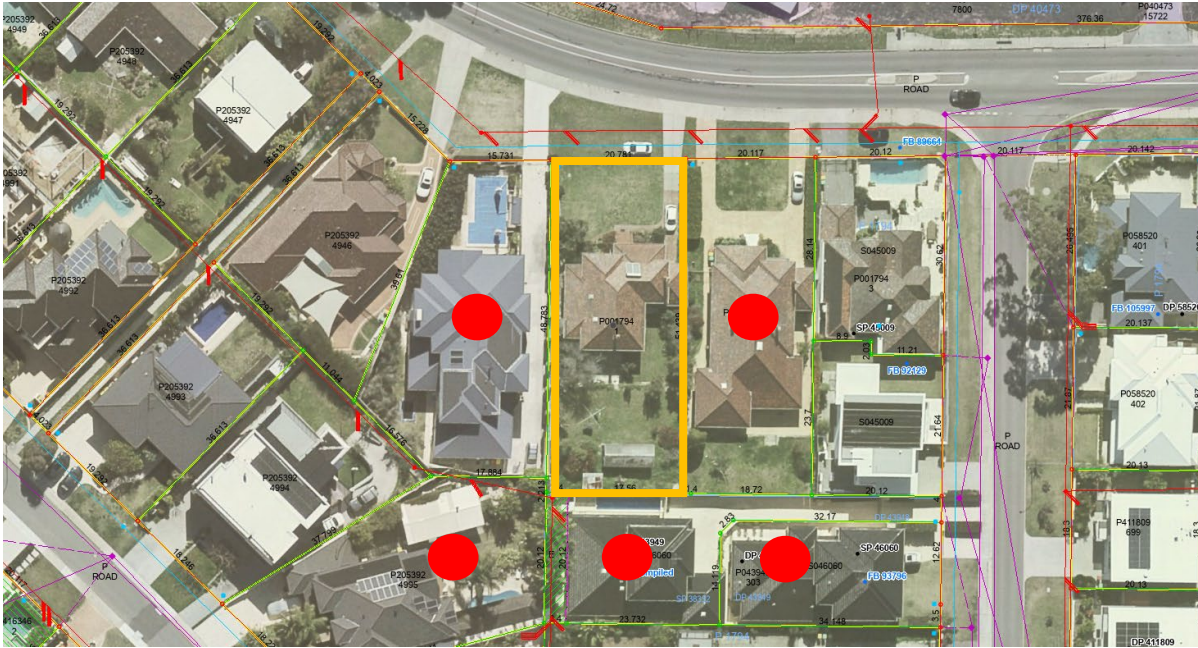
https://www.eastfremantle.wa.gov.au/Profiles/eastfremantle/Assets/ClientData/Documents/works-reserves/Application_to_conduct_crossover_works.pdf

- (d) It is recommended that the applicant provides a structural engineer's dilapidation report, at the applicant/owner expense, specifying which structures on adjoining sites may be adversely affected by the works and providing a record of the existing condition of the structures. Two copies of each dilapidation report should be lodged with the Town and one copy should be given to the owner of any affected property.**
- (e) All noise levels produced by the construction of the development are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).**
- (f) Matters relating to dividing fences are subject to the Dividing Fences Act 1961.**
- (g) Any damage to other Town assets including but not limited to the kerb, drainage, footpaths, roads, and signage will have to be repaired by the applicant/owners/contractors at their cost.**

REPORT ATTACHMENTS

Attachments start on the next page

156 Preston Point Road – Location and Advertising Plan



156 Preston Point Road - Photos



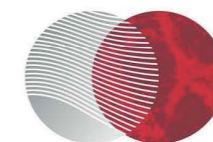
23-1034 PLANNING DRAWINGS

PROPOSED DEVELOPMENT: TWO STOREY DWELLING
ADDRESS: 156 PRESTON POINT RD, EAST FREMANTLE
LOCAL GOVERNMENT: TOWN OF EAST FREMANTLE
APPLICANT: CAMPANA



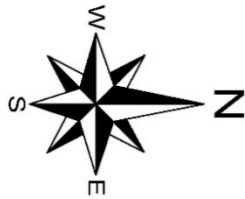
SHEET INDEX

- 1 COVER
- 2 DEMO PLAN
- 3 SITE PLAN
- 4 GF FLOOR PLAN
- 5 FF FLOOR PLAN
- 6 ELEVATIONS 1 & 2
- 7 ELEVATIONS 3 & 4
- 8 PERSPECTIVES 1
- 9 PERSPECTIVES 2



BLEND
RESIDENTIAL DESIGNS

▲ NOTE:
TELS/COMMS. PIT NOT LOCATED
ADJACENT TO LOT AT TIME OF SURVEY.
VERIFY AVAILABILITY WITH TELS/TRA.

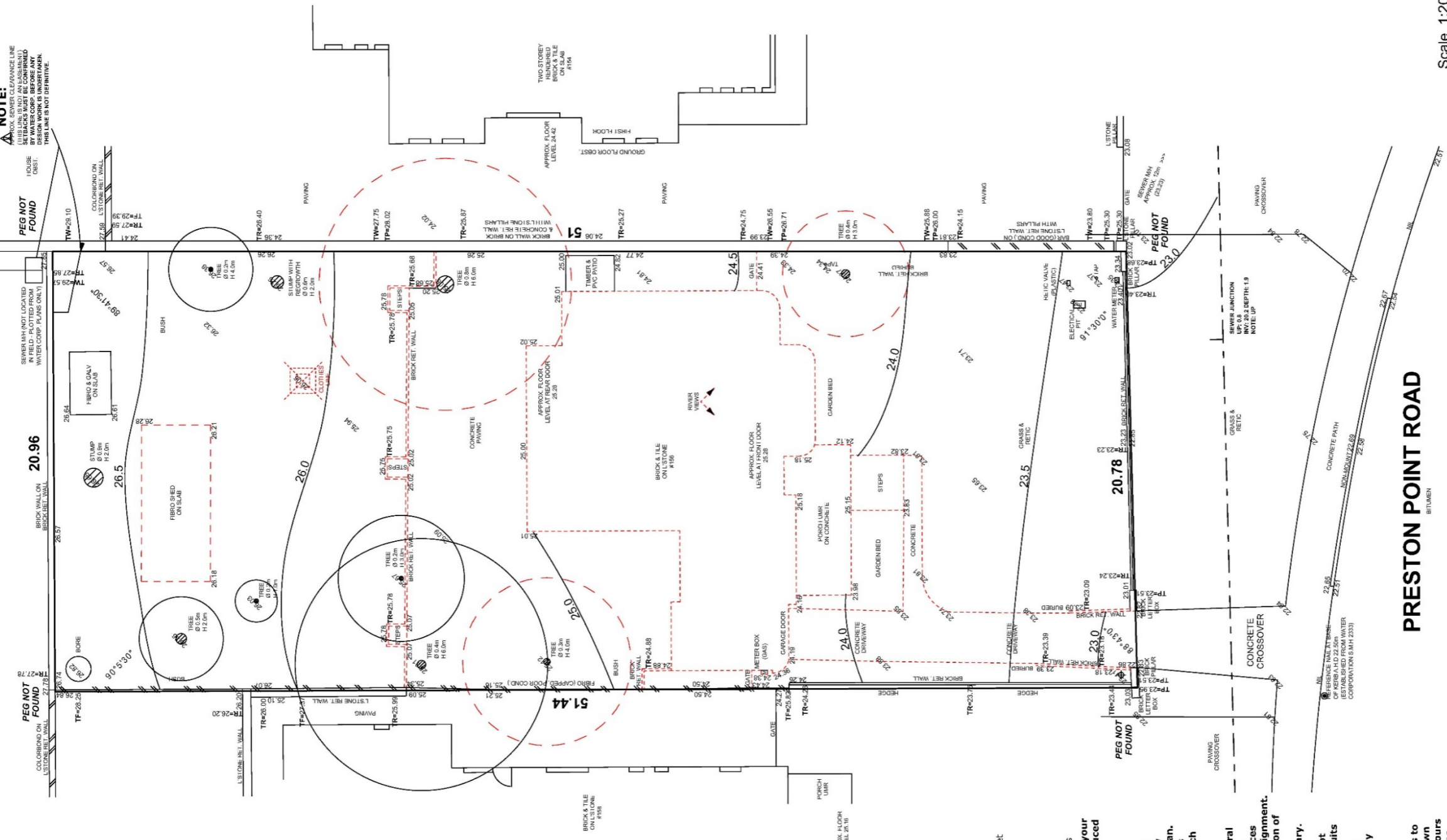


**RE-PEG RECOMMENDED
PRIOR TO ANY NEW WORKS**

NOTE: DEMOLITION BY OWNER
ALL DEMOLITION ELEMENTS INDICATED
BY DASHED LINES TO BE REMOVED FROM
SITE BY OWNER PRIOR TO ANY WORKS
BY THE BUILDER

POWER POLE	▲
POWER PILE	■
WATER COLUMN	○
WATER PILE	●
TOP OF PILE/POST	○
TOP OF PILING	○
TOP OF FENCE	○
END	■

NOTE:
APPROX. SEWER CLEARANCE LINE
UTILISERS TO BE LOCATED
BY WATER CORP. BEFORE ANY
WORKS. THIS LINE IS NOT DEFINITIVE.



Scale 1:200

**LOT MISCLOSE
0.011 m**

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation

In Conjunction With

BURGIO
CONSTRUCTION

The contractor/builder is responsible for setting out and checking all levels and measurements on site. All dimensions are to be checked and verified by the owner/builder before any work commences. The contractor/builder is responsible for ordering or commencement of any works.

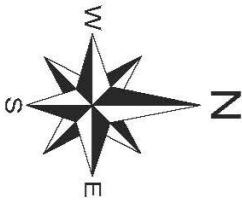
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DRAWING NAME	DEMO PLAN	SHEET No:	2 OF 9	REVISION:	F	JOB No:	23-1034
OWNER	CAMPANA	CLIENT:	CAMPANA	DATE		DATE DRAWN:	FEB / 2024
OWNER	156 PRESTON POINT RD, EAST FREMANTLE	ADDRESS:	156 PRESTON POINT RD, EAST FREMANTLE	DATE		SCALE:	
DESIGNER		DRAWN BY:	BLEND	DATE			

NOTE: TO SCALE ON A3 SHEET

▲ NOTE:
TELSTRA/COMMS PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.



TERMITE TREATMENT IS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE 2019

RETAINING WALL NOTE:
HEIGHTS NOTED ARE NOMINAL ONLY & MUST BE ADJUSTED TO SUIT ACTUAL SITE LEVELS

REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT

STORMWATER DISPOSAL TO COUNCIL REQUIREMENTS (SOAKWELLS)

EARTHWORKER NOTE:
F.L. MAY VARY +/- 40mm

NOTE: PROVIDE 3 PHASE POWER TO METER

POSSIBLE UNDERMINING TO EXISTING RETAINING / SCREEN WALLS TO BE REVIEWED BY ENGINEER

NEW 1800H COLORBOND FENCE W/ PLINT UNDER

TREE SHOWN DASHED TO BE REMOVED

SITE COVERAGE

ZONED R17.5

% ALLOWED 50%

SITE AREA 1,069.09m²

SITE COV. AREA 185.34m²

SITE COV. = 17.3%

LOT MISCLOSE

0.011 m

DISCLAIMER:
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

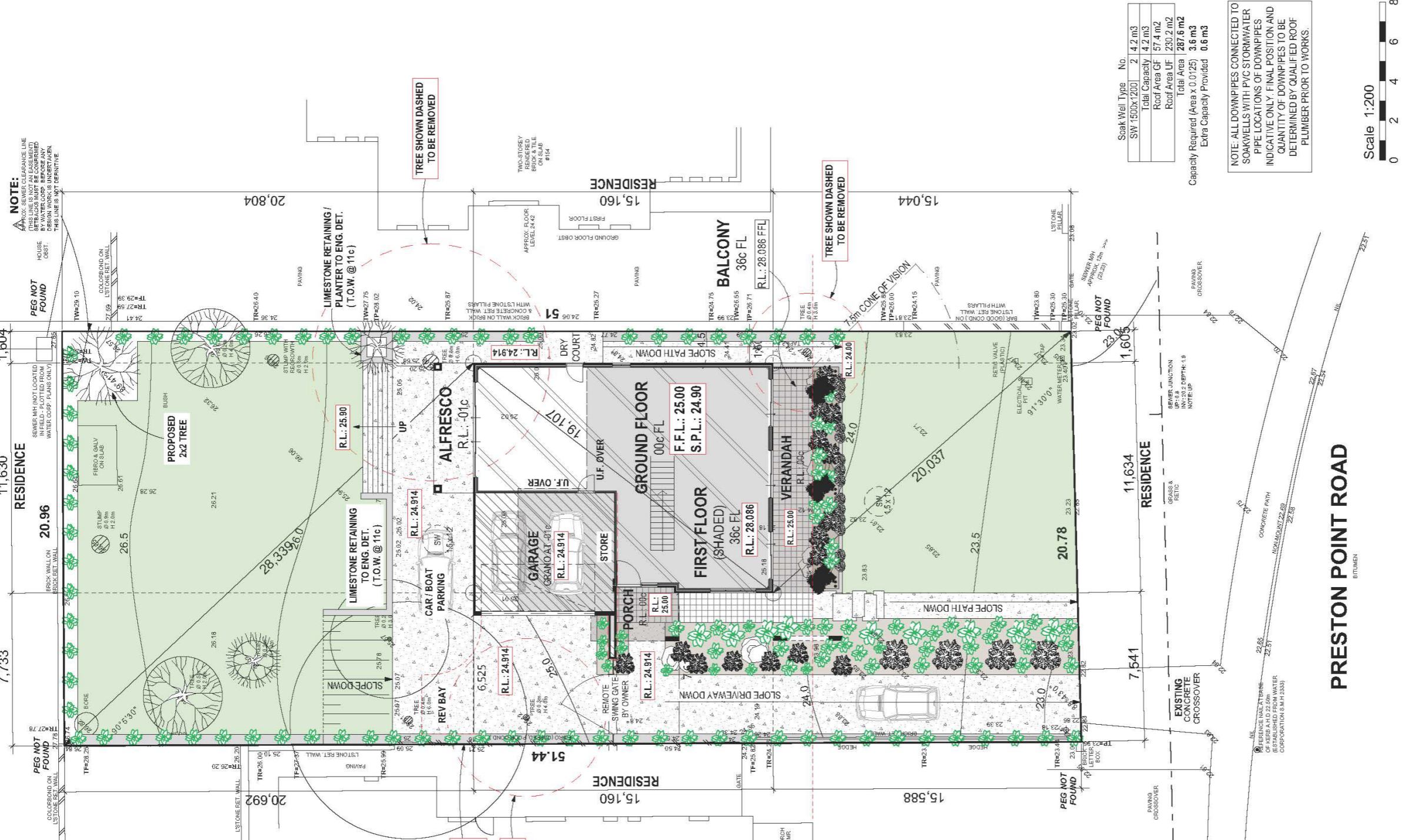
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POWER POLE	POWER POLE
10.00	10.00
WATER COLUMN	WATER COLUMN
10.00	10.00
TYPE 10.00 TOP RETAINING	TYPE 10.00 TOP RETAINING
TYPE 10.00 TOP FENCE	TYPE 10.00 TOP FENCE

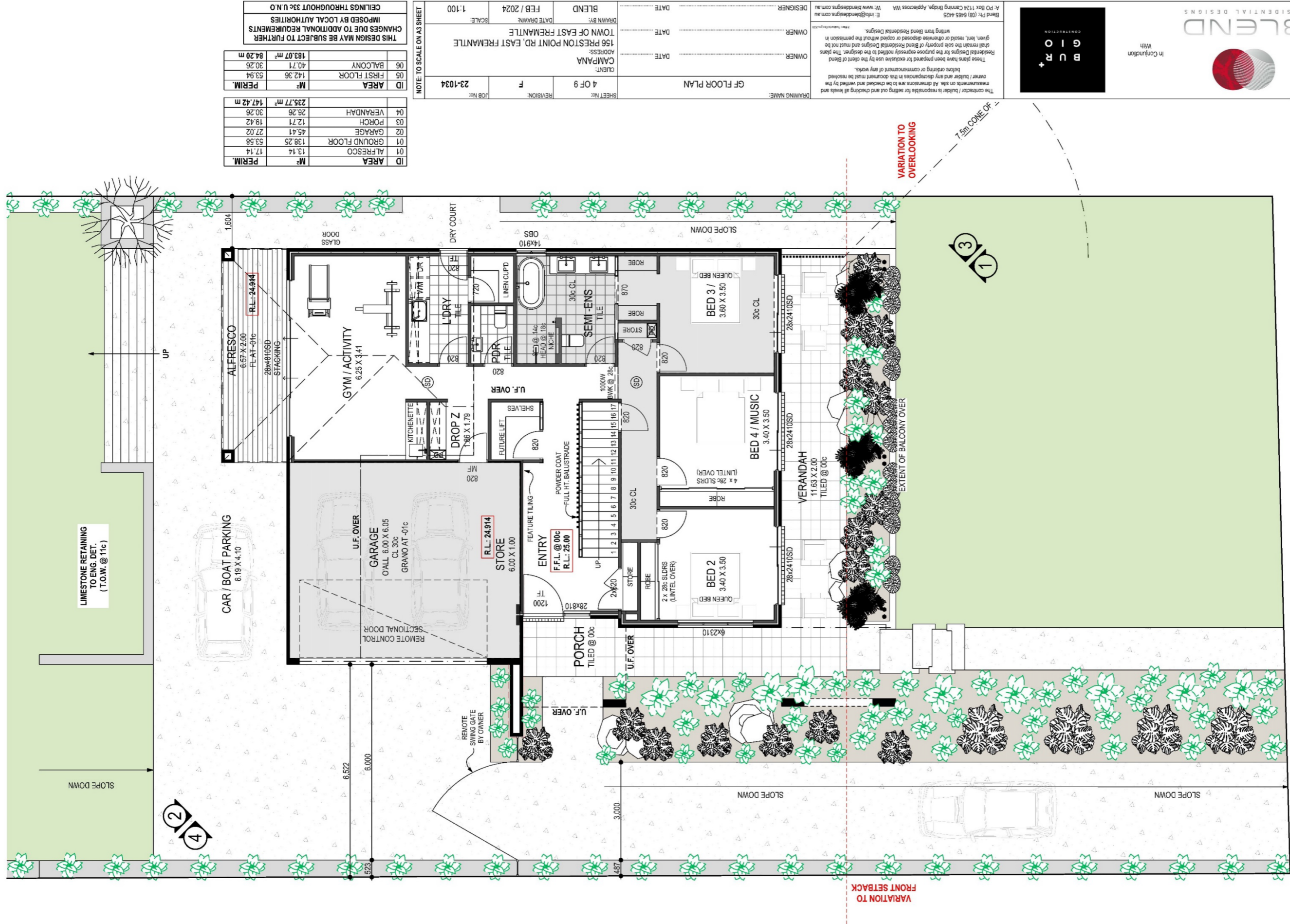


Soak Well Type	No.
SW 1500x1200	2
Total Capacity	4.2 m ³
Roof Area GF	57.4 m ²
Roof Area UF	239.2 m ²
Total Area	287.6 m ²
Capacity Required (Area x 0.0125)	3.6 m ³
Extra Capacity Provided	0.6 m ³

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE LOCATIONS OF DOWNPIPES INDICATIVE ONLY. FINAL POSITION AND QUANTITY OF DOWNPIPES TO BE DETERMINED BY QUALIFIED ROOF PLUMBER PRIOR TO WORKS.



JOB #	550023	GPS Lat	-32.030819	Long	115.771970
CLIENT	Campana, Mark	ADDRESS #	156 Preston Point Road	LOT	Lot 1 (Plan 1794)
SUBURB	East Fremantle	LGA	TOWN OF EAST FREMANTLE	AREA	1067m ²
DATE	11 Jul 23	VOL.	1017	FOL.	188
DRAWN	B. Smith	DATE	11 Jul 23	SSA No	
87-89 Guthrie Street Osborne Park, WA 6017					
PO Box 1611 Osborne Park Business Centre WA 6917					
P: (08) 9446 7361 E: perth@cottage.com.au W: www.cottage.com.au					
COTTAGE SURVEYS LICENSED SURVEYORS					
ELEC.	U/Ground	ROADS	Bitumen		
COMMS.	Not loc.	KERBS	Non-Mount / Nil		
WATER	Yes	FOOTPATH	Concrete		
GAS	Check Allinta	SOIL	Sand		
SEWER	Yes	DRAINAGE	Good		
COASTAL	200m To River	VEGETATION	Light Grass Cover		



ID	AREA	M ²	PERIM.
01	ALFRESCO	13.14	17.14
01	GROUND FLOOR	138.25	53.58
02	GARAGE	45.41	27.02
03	PORCH	12.71	19.42
04	VERANDAH	26.26	30.26
		235.77	147.42
05	FIRST FLOOR	142.36	53.94
06	BALCONY	40.71	30.26
		183.07	84.20

NOTE: TO SCALE ON A3 SHEET
 THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES
 CEILINGS THROUGHOUT 33c U.N.O

DRAWING NAME: GF FLOOR PLAN	SHEET NO: 4 OF 9	REVISION: F	JOB NO: 23-1034
OWNER: CAMPAÑA	ADDRESS: 156 PRESTON POINT RD, EAST FREMANTLE	DATE: FEB / 2024	SCALE: 1:100
DESIGNER: BLEND	DATE DRAWN: FEB / 2024	DATE: FEB / 2024	SCALE: 1:100

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ID	AREA	M²	PERIM.
01	ALFRESCO	13.14	17.14
01	GROUND FLOOR	138.25	53.58
02	GARAGE	45.41	27.02
03	PORCH	12.71	19.42
04	VERANDAH	26.26	30.26
06	BALCONY	40.71	30.26
06	FIRST FLOOR	142.36	53.94
06	PERIM.	183.07 m²	84.20 m
		M²	147.42 m
		235.77 m²	147.42 m

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES
CEILING THROUGHOUT 34c U.N.O

DRAWING NAME:	FF FLOOR PLAN
SHEET NO.:	5 OF 9
REVISION:	F
JOB NO.:	23-1034
OWNER:	CAMPANA
ADDRESS:	156 PRESTON POINT RD, EAST FREMANTLE TOWN OF EAST FREMANTLE
OWNER:	DATE: _____
DESIGNER:	DATE: _____
DATE:	FEB / 2024
SCALE:	1:100
DATE DRAWN:	FEB / 2024
DESIGNER:	BLEND

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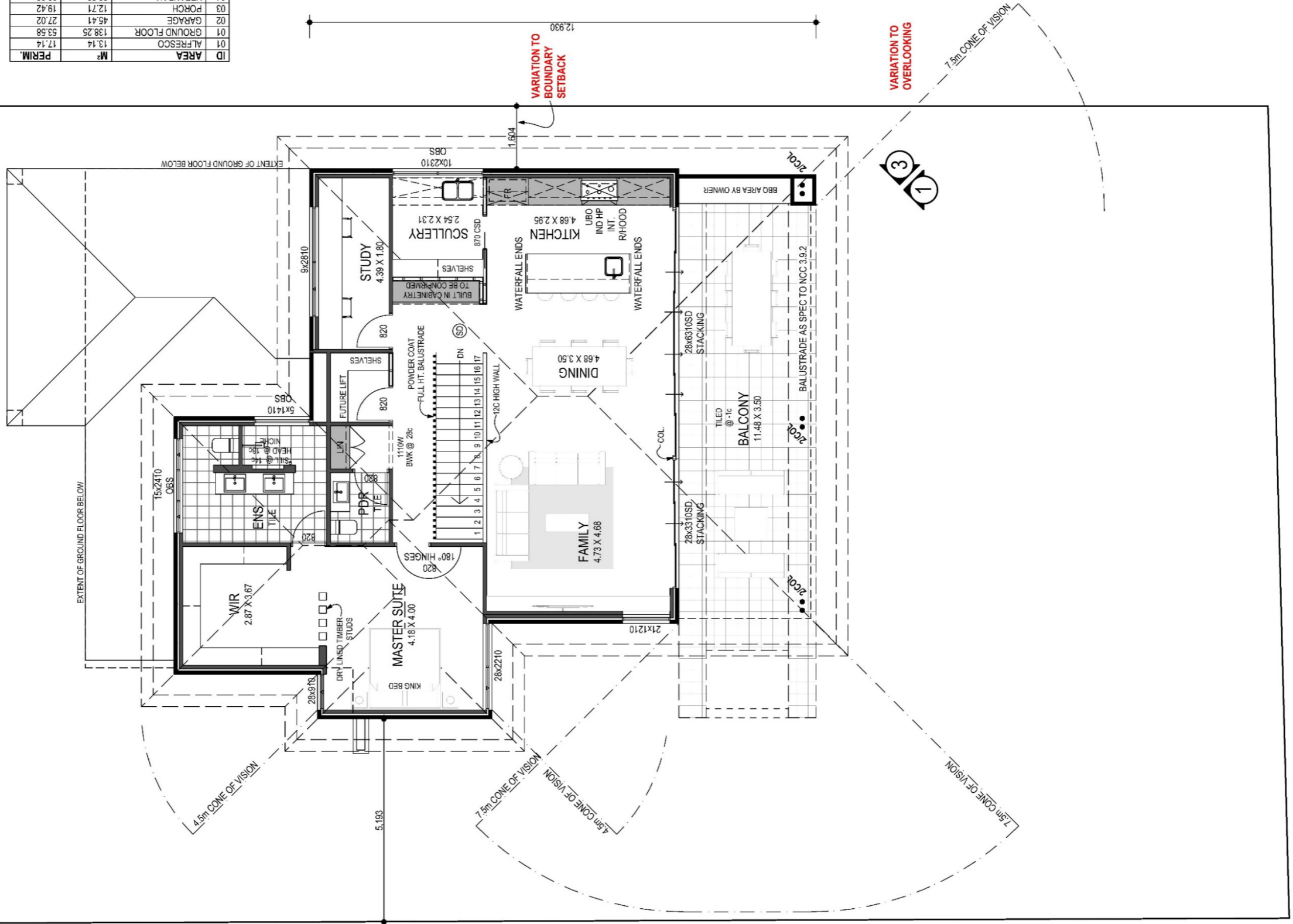
In Conjunction With



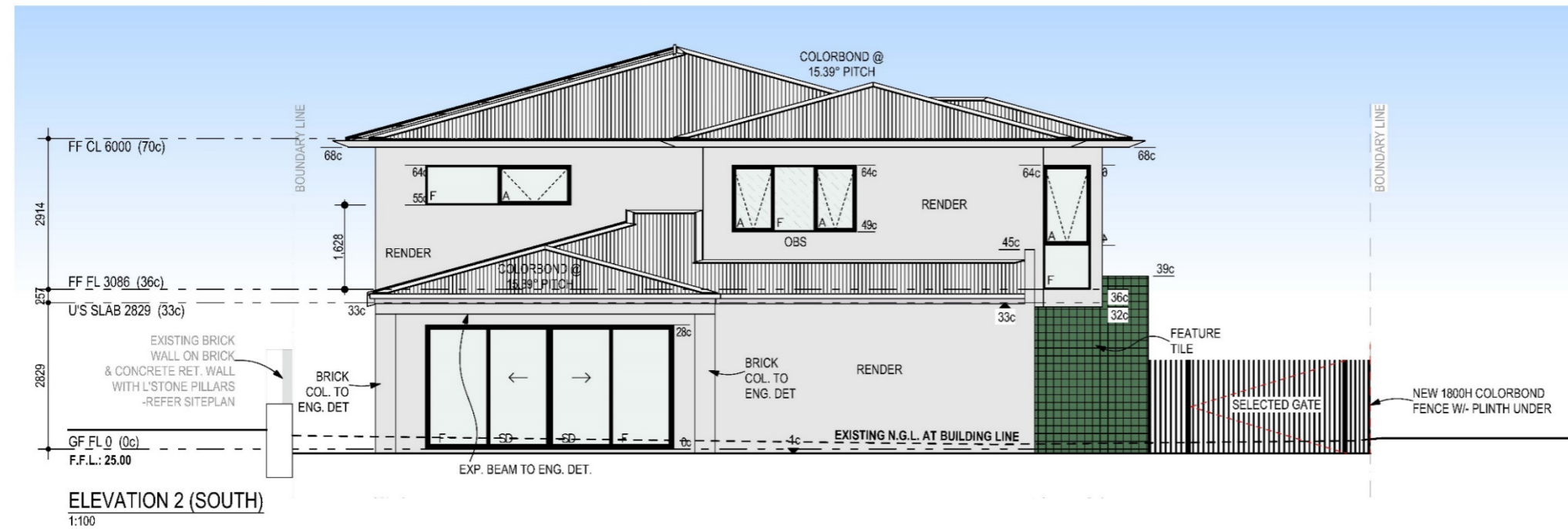
BLIND
RESIDENTIAL DESIGNS



BUR+
CONSTRUCTION



THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES



In Conjunction With



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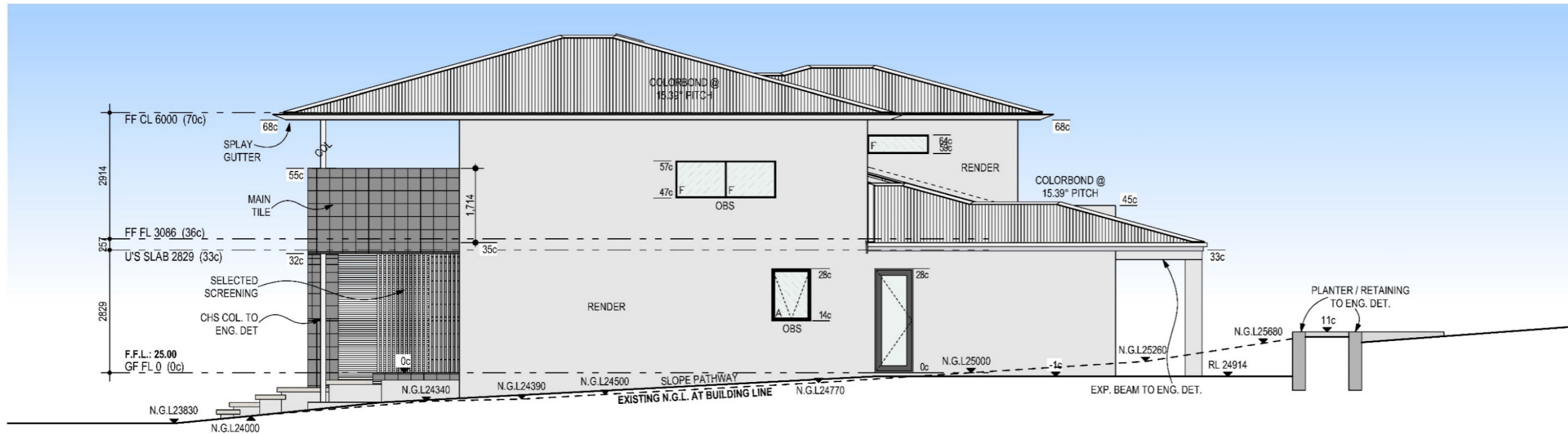
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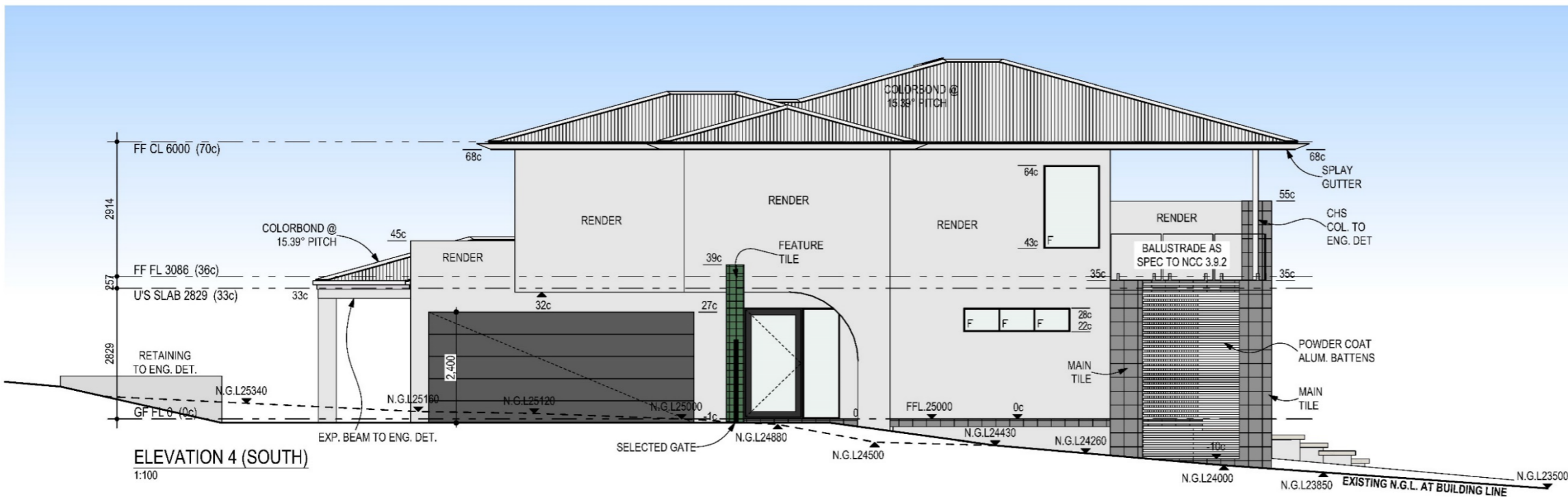
DRAWING NAME: ELEVATIONS 1 & 2		SHEET No: 6 OF 9	REVISION: F	JOB No: 23-1034
OWNER	DATE	CLIENT: CAMPANA		
OWNER	DATE	ADDRESS: 156 PRESTON POINT RD, EAST FREMANTLE		
DESIGNER	DATE	TOWN OF EAST FREMANTLE		
		DRAWN BY: BLEND	DATE DRAWN: FEB / 2024	SCALE: 1:100

NOTE: TO SCALE ON A3 SHEET

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES



ELEVATION 3 (WEST)
1:100



ELEVATION 4 (SOUTH)
1:100



In Conjunction With



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DRAWING NAME: ELEVATIONS 3 & 4		SHEET No: 7 OF 9	REVISION: F	JOB No: 23-1034
OWNER	DATE	CLIENT: CAMPANA ADDRESS: 156 PRESTON POINT RD, EAST FREMANTLE TOWN OF EAST FREMANTLE		
OWNER	DATE	DRAWN BY: BLEND		
DESIGNER	DATE	DATE DRAWN: FEB / 2024	SCALE: 1:100	

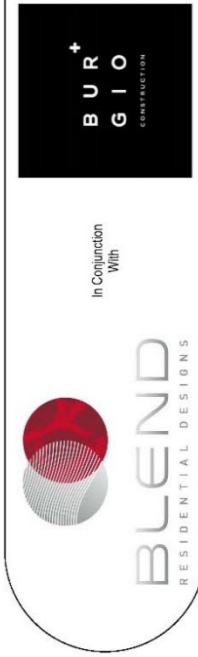
NOTE: TO SCALE ON A3 SHEET



PERSPECTIVE 1



PERSPECTIVE 2



In Conjunction
With

The contractor / builder is responsible for setting out and checking all levels and measurements on site. All discrepancies in this document must be resolved before ordering or commencement of any works.
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DRAWING NAME:

PERSPECTIVES 1

SHEET No:

8 OF 9

REVISION:

F

JOB No:

23-1034

NOTE: TO SCALE ON A3 SHEET

OWNER

OWNER

DESIGNER

DATE

DATE

DATE

CLIENT:

CAMPANA

ADDRESS:

156 PRESTON POINT RD, EAST FREMANTLE

TOWN OF EAST FREMANTLE

DRAWN BY:

BLEND

DATE DRAWN:

FEB / 2024

SCALE:


SCALE



PERSPECTIVE 3



PERSPECTIVE 4



**BUR
GIO**
CONSTRUCTION

In Conjunction
With

BLEND
RESIDENTIAL DESIGNS

The contractor / builder is responsible for setting out and checking all levels and measurements on site. All dimensions are to be checked and verified by the owner / builder and any discrepancies in this document must be resolved before ordering or commencement of any works.

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DRAWING NAME: PERSPECTIVES 2

OWNER: DATE

OWNER: DATE

DESIGNER: DATE

SHEET No: 9 OF 9

CLIENT: CAMPANA
ADDRESS: 156 PRESTON POINT RD, EAST FREMANTLE
TOWN OF EAST FREMANTLE

REVISION: F

DATE DRAWN: FEB / 2024

JOB No: 23-1034

SCALE:

NOTE: TO SCALE ON A3 SHEET

12.3 58 ALLEN STREET - ALTERATIONS AND ADDITIONS

Owner	Janet Tunjic & Justin Osborne
Applicant	Peter Fryer Design
Report Reference Number	TPR-1761
Planning Reference Code	P009/24
Prepared by	James Bannerman
Supervised by	Andrew Malone
Meeting date	Tuesday, 2 April 2024
Voting requirements	Simple majority
Documents tabled	Nil

Attachments

1. Location and advertising plan
2. Photos
3. Plans
4. Photo of original roof terrace
5. Place Record Form

PURPOSE

The purpose of this report is for Council to consider the development application for proposed alterations and additions at 58 (Lot 32) Allen Street, East Fremantle.

EXECUTIVE SUMMARY

This development application proposes alterations and additions to an existing heritage listed dwelling (Category B) located at 58 (Lot 32) Allen Street, East Fremantle. It is proposed to remove the rear verandah and renovate the kitchen and bathroom, as well as add a new enclosed alfresco area at the rear of the dwelling. A new storey is to be added towards the rear of the building with a sitting room, bedroom, loft and third bathroom and kitchenette being installed. A roof terrace that was originally part of the building, but removed many years ago, is being rebuilt to the top of the dwelling. There are two variations requested to the Residential Design Guidelines and the Residential Design Codes. These include;

- (i) Clause 3.7.8.3– Residential Design Guidelines – Roof Pitch – 28 to 36 degrees required, 2.5 degrees (concealed roof) provided, and
- (ii) Clause 5.1.3 – Residential Design Codes – Visual Privacy Setback - Roof Deck – Southern Wall – 7.5m required, less than 7.5m provided

It is recommended that Council support the proposed alterations and additions subject to the conditions included in the final recommendation.

BACKGROUND

Zoning	Residential R12.5
Site Area	1088m2
Heritage	Category B
Fremantle Port Buffer	Category B
Previous Decision of Town and/or History of Issue Onsite	Nil

CONSULTATION

Advertising

The proposed development was advertised to surrounding properties and online from 14 February to 1 March 2024. One submission was received and have been included below.

Submission	Applicant Response	Town Response
<p>I have some concerns I wish to address. Please confirm the following; That this design meets Council height restrictions. That this design meets Council setbacks. That this Design complies with the Council overlooking rules. Is there a right to object to the proposed colour? Is there a location for the Air Conditioning outdoor units?</p>	<p>The upper level addition exceeds the council’s height policy of 6.5m by up to 0.6m (7.1m maximum proposed) The height is in accordance with the R-Codes building and wall height limit and setback requirements. Whilst there is a relatively minor variation sought of 0.6m, it is considered that the concealed roof design with slightly higher walls is the correct design approach to mitigate any impact of the additions on the heritage building, as it will be readily identifiable from the existing heritage building by using different materials and form. Setbacks are in accordance with and generally exceed the R-Codes and Town’s requirements. The cone of vision requirement from the proposed upper level sitting room windows exceed the 6.0m minimum requirement of the R-Codes and therefore comply . The cone of vision from the Roof Deck reinstatement is compliant on the North, East and West boundaries. There is a variation to the cone of vision from the roof Deck on the southern side with a 2.15m intrusion. It is considered that this is justified under Part 5 - C1.2 of the R-Codes for the following reason: The direct line of sight over the adjoining site is restricted to a small area over the roof of the adjoining residence. This is demonstrated on sheet 7 of the Architectural drawings. There will be no direct overlooking of any major openings or unenclosed outdoor active habitable spaces. The colour of the cladding has been selected in conjunction with the Heritage Architect. The colour was selected to be recessive in nature, rather than dominate or compete with the existing heritage residence. No additional air-conditioning units are proposed. If additional air-conditioning units are required at a later date, they will be installed in accordance with the Towns requirements and the EPA guidelines.</p>	<p>The design achieves the deemed to comply height requirements of the Residential Design Codes. The statement made by the applicant is incorrect as the heights indicated by the applicant only apply o heights in areas where view sheds/ corridors are considered sensitive. Assessment is only as per the R-Codes. The design achieves the lot boundary setbacks. The design does not achieve the visual privacy setback requirement to the southern property. The colours of the proposed development are not considered to be a reason for not supporting the development. Planning does not control the location of air conditioning units. Noise related to air conditioning units can only be dealt with after they are installed when the noise can be measured.</p>

Internal Consultation

Nil

External Consultation

Nil

STATUTORY ENVIRONMENT

Planning and Development Act 2005
Residential Design Codes (Volume 1)
Local Planning Scheme No. 3 (LPS 3)

POLICY IMPLICATIONS

Local Planning Policy 3.1.1 – Residential Design Guidelines
Local Planning Policy 3.1.8 – Wood Encouragement - General

FINANCIAL IMPLICATIONS

Nil

STRATEGIC IMPLICATIONS

The Town of East Fremantle Strategic Community Plan 2020-2030 states as follows:

Built Environment

Accessible, well planned built landscapes which are in balance with the Town's unique heritage and open spaces.

3.1 Facilitates sustainable growth with housing options to meet future community needs.

3.1.1 Advocate for a desirable planning and community outcome for all major strategic development sites.

3.1.2 Plan for a mix of inclusive diversified housing options.

3.1.3 Plan for improved streetscapes.

3.2 Maintaining and enhancing the Town's character.

3.2.1 Ensure appropriate planning policies to protect the Town's existing built form.

3.3 Plan and maintain the Town's assets to ensure they are accessible, inviting and well connected.

3.3.1 Continue to improve asset management within resource capabilities.

3.3.2 Plan and advocate for improved access and connectivity.

RISK IMPLICATIONS

A risk assessment was undertaken and the risk to the Town in determining this application was deemed to be negligible.

SITE INSPECTION

A site inspection was undertaken.

COMMENT

Statutory Assessment

This development application was assessed against the Town's Local Planning Scheme No. 3, the Residential Design Codes, and the Residential Design Guidelines.

A summary of the assessment is included in the following tables.

Legend	
A	Acceptable
D	Discretionary
N/A	Not applicable

Local Planning Scheme No. 3/Residential Design Guidelines/Residential Design Codes

Design Element	Required	Proposed	Status
Street front setback	7.5m	>7.5m	A
Garage setback	1.2m behind building line	No change	N/A
Minor incursions			N/A
Lot Boundary Setbacks			
Northern wall – living, alfresco – ground floor	2.4m	3.3m	A
Eastern wall – alfresco – ground floor	2.5m	>2.5m	A
Northern wall – sitting	1.3m	>1.3m	A
Eastern wall – sitting, bedroom	4.8m	>4.8m	A
Northern wall – roof deck	4m	11.2m	A
Eastern wall – roof deck	4m	>4m	A
Southern wall – roof deck	4m	6.8m	A
Car Parking	2 car bays	No change	N/A

Open Space	55%	68%	A
Wall Height	7m	<7m	A
Roof Height	10m	<10m	A
Site Works		No change	N/A
Visual Privacy	7.5m from roof terrace	<7.5m	D
Overshadowing	25% maximum	10.5%	A
Garage width		No change	N/A
Roof form and pitch	28 to 36 degrees	<28 degrees	D
Materials and colours			A
Landscaping			A
Front fence & gate		No change	N/A
Sightlines		No change	N/A
Footpaths and crossovers	No change		
Drainage	Condition		
Wood Encouragement Policy	Timber to be utilised throughout structure		

This development application proposes alterations and additions to an existing heritage listed dwelling (Category B) located at 58 (Lot 32) Allen Street, East Fremantle. It is proposed to remove the rear verandah and renovate the kitchen and bathroom, as well as add a new enclosed alfresco area at the rear of the dwelling. A new storey is to be added towards the rear of the building with a sitting room, bedroom, loft and third bathroom and kitchenette being installed. A roof terrace that was originally part of the building and removed many years ago is being rebuilt to the top of the dwelling. Photographic evidence shows the terrace had a roof (see Attachment 4). In this case the design has been simplified such that the roof terrace is an open viewing platform. A heritage impact assessment was provided by the applicant that supported the proposed alterations and additions. It is noted that the heritage elements of the existing dwelling are being retained. The proposed development was advertised to the neighbouring property owners with one submission being received. Applicant and Town responses to this submission are included in the Submissions Table earlier in this report.

There are two variations requested to the Residential Design Guidelines and the Residential Design Codes relating to roof pitch and visual privacy setbacks. The proposed variations are discussed below.

Roof Pitch

The proposed alterations and additions will see a concealed roof with a pitch of 2.5 degrees installed at the rear of the dwelling. The Residential Design Guidelines acceptable development provisions 3.7.8.3 A4.1 requires a roof pitch of between 28 and 36 degrees. In this case the roof pitch is less than 28 degrees at 2.5 degrees. The reduced roof pitch can be supported because it complements the traditional form of surrounding development in the immediate locality. The proposed additions are contemporary in style and do not mimic the existing heritage dwelling which is the Town's preferred outcome and in accordance with the Residential Design Guidelines requirements.

Visual Privacy Setback

The proposed re-installation of the roof terrace involves the creation of a viewing platform that does not achieve the minimum visual privacy setback of 7.5m that is required from spaces that are elevated more than 0.5m above ground level in accordance with the Residential Design Codes deemed to comply clause 5.4.1 C1.1. In this case the reduced visual privacy setback of 5.4m can be supported because the area overlooks the roof of the southern neighbouring property, and no objections were received from the neighbour following advertising.

In accordance with design principles 5.4.1 P1.1 there is minimal direct overlooking of active habitable spaces and outdoor living areas of the adjacent dwelling. There is a narrow area between the buildings of approximately 1m between the boundary and the neighbouring building that allows for light and air penetration but little opportunity to utilise for active outdoor pursuits and negligible impact on privacy towards the southern neighbouring building. For these reasons the proposed development with the roof terrace and reduced visual privacy setback can be supported without any visual privacy screening.

Advertising

Only one submission was received from the northern neighbouring property and all queries related to the development have been responded to in the Submissions Table earlier in this report.

The two variations to the Residential Design Codes or the Residential Design Guidelines that are considered in this report do not impact directly on the northern neighbouring property.

CONCLUSION

The proposed alterations and additions to the existing Category B heritage dwelling will enhance the existing building rather than detract from it. Although the proposed development includes a third storey element in the form of a roof terrace this structure is being re-introduced where it was previously located (albeit in a slightly different form given that it has no roof like the original) but removed some time in the 1950s or 1960s. Photographic evidence is included in Attachment 4 that shows the original roof terrace.

There are only 2 variations to the Residential Design Codes and the Residential Design Guidelines for roof pitch and visual privacy setback. The former variation is a result of the additions at the rear of the existing dwelling and has no impact on the streetscape presence of the heritage dwelling as it cannot be seen from the street. The latter is not considered a major issue as the proposed new roof terrace overlooks the roof and narrow open space area of the adjacent dwelling to the south and will have negligible impact on the neighbouring property.

It is recommended that the proposed alterations and additions be supported subject to the conditions included in the final recommendation.

OFFICER RECOMMENDATION / COMMITTEE RESOLUTION

OFFICER RECOMMENDATION

That development approval is granted, and Council exercises its discretion regarding the following;

- (i) Clause 3.7.8.3– Residential Design Guidelines – Roof Pitch – 28 to 36 degrees required, 2.5 degrees (concealed roof) provided**
- (ii) Clause 5.1.3 – Residential Design Codes – Visual Privacy Setback - Roof Deck – Southern Wall – 7.5m required, less than 7.5m provided**

for alterations and additions at No. 58 (Lot 32) Allen Street, East Fremantle, in accordance with the plans submitted 6 February 2024, subject to the following conditions:

- (1) The roof chimneys and all associated elements of the chimneys are to be retained and not to be modified or demolished.**
- (2) Existing trees located within the verge are a Town asset and as such must be retained and not pruned, shaped, or modified except where otherwise approved for removal or modification by the Town.**
- (3) During construction the verge trees are to be protected with cages around the trunks to ensure that they are not damaged by surrounding works, vehicles, or materials.**
- (4) An application is to be submitted to the Operations Department of the Town for the removal of any verge trees. Verge trees are not to be removed without written approval from the Town.**
- (5) The footpath is to always remain accessible to pedestrians.**
- (6) Prior to the submission of a building permit application, a Construction Management Plan shall be prepared to the satisfaction of the Town. This plan is to address the following matters during the construction/development period:**
 - (a) Noise, vibration, air, and dust management;**
 - (b) Contact details of essential site personnel, construction periods, and construction operating hours;**

- (c) Traffic management, including footpath closures and proposed signage;
- (d) Parking management for all trades, contractors, and visitors to site;
- (e) Public safety and amenity (traffic control and pedestrian management);
- (f) Site access/egress management;
- (g) Scaffolding management plan;
- (h) Management plan for the loading and unloading of vehicles;
- (i) Heavy construction machinery and deliveries;
- (j) Bulk earthwork operations;
- (k) Stormwater and sand/sediment control;
- (l) Street tree management and protection;
- (m) Protection of footpath;
- (n) Details of all concrete pours and requirements relating to piling methods or associated works;
- (o) Temporary fencing;
- (p) Temporary toilets;
- (q) Dilapidation of Town infrastructure and nearby properties;
- (r) Hoardings and gantries; and
- (s) Any other relevant matters.

The requirements of this plan are to be observed at all times during the construction process.

- (7) The works are to be constructed in conformity with the drawings and written information accompanying the application for development approval other than where varied in compliance with the conditions of this development approval or with the Town's further approval.
- (8) The proposed works are not to be commenced until the Town has received an application for a Building Permit and the Building Permit issued in compliance with the conditions of this development approval unless otherwise amended by the Town.
- (9) With regards to the plans submitted with respect to the Building Permit application, changes are not to be made in respect of the plans which have received development approval, without those changes being specifically marked for the Town's attention.
- (10) All stormwater is to be disposed of on site, an interceptor channel installed if required and a drainage plan be submitted to the satisfaction of the Town prior to the issue of a Building Permit.
- (11) If requested by the Town within the first two years following installation, the roofing to be treated to reduce reflectivity. The treatment to be to the satisfaction of the Chief Executive Officer in consultation with relevant officers and all associated costs to be borne by the owner.
- (12) All introduced filling of earth to the lot or excavated cutting into the existing ground level of the lot, either temporary or permanent, shall be adequately controlled to prevent damage to structures on adjoining lots or in the case of fill, not be allowed to encroach beyond the lot boundaries. This shall be in the form of structurally adequate retaining walls and/or sloping of fill at the natural angle of repose and/or another method as approved by the Town.
- (13) Where this development requires that any facility or service within a street verge (street trees, footpath, crossover, light pole, drainage point or similar) is to be removed, modified, or relocated then such works must be approved by the Town and if approved, the total cost to be borne by the applicant. The Town must act reasonably and not refuse any reasonable proposal for the removal, modification or relocation of such facilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (14) This development approval is to remain valid for a period of 24 months from date of this approval.

Footnote:

The following are not conditions but notes of advice to the applicant/owner:

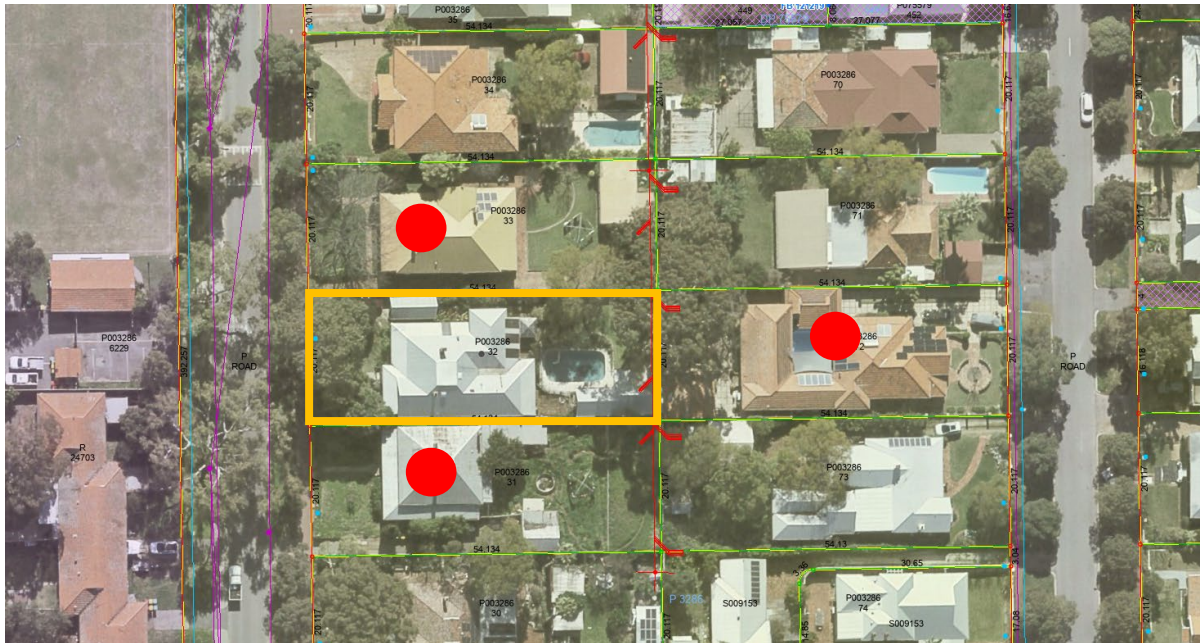
- (a) *This decision does not include acknowledgement or approval of any unauthorised development which may be on site.*

- (b) A copy of the approved plans as stamped by Town are attached and the application for a Building Permit is to conform with the approved plans unless otherwise approved by the Town.**
- (c) It is recommended that the applicant provides a structural engineer's dilapidation report, at the applicant/owner expense, specifying which structures on adjoining sites may be adversely affected by the works and providing a record of the existing condition of the structures. Two copies of each dilapidation report should be lodged with the Town and one copy should be given to the owner of any affected property.**
- (d) All noise levels produced by the construction of the development are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).**
- (e) Matters relating to dividing fences are subject to the Dividing Fences Act 1961.**
- (f) Trees on verges are the property of the Town. They are not to be damaged, pruned or removed. Any actions which harm verge trees will result in the Town acting against the owners/builders/contractors responsible. If there are concerns regarding trees owners/builders/contractors are asked to contact the Town to seek further advice.**
- (g) Any damage to other Town assets including but not limited to the kerb, drainage, footpaths, roads, and signage will have to be repaired by the applicant/owners/contractors at their cost.**

REPORT ATTACHMENTS

Attachments start on the next page

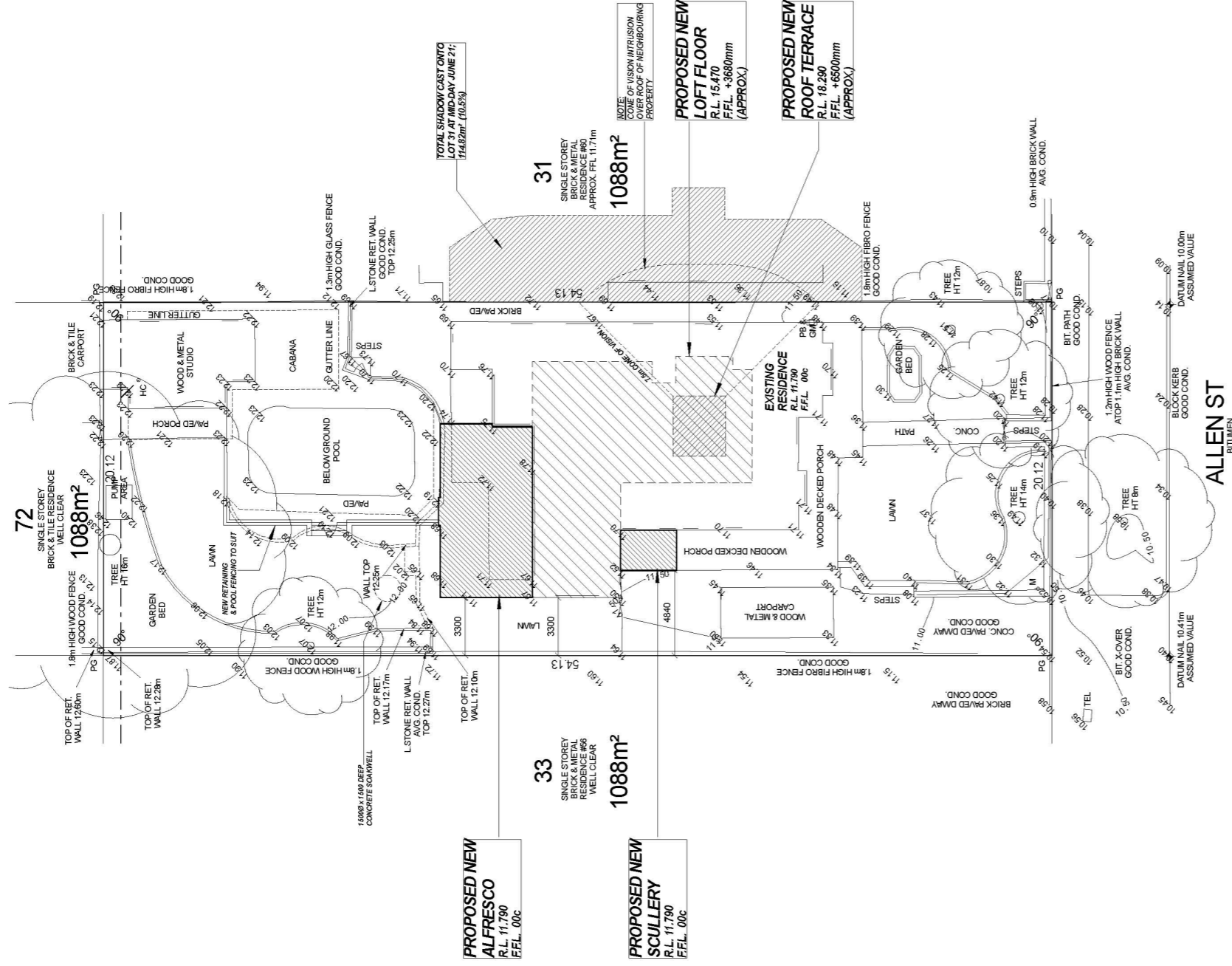
58 Allen Street – Location and Advertising Plan



Attachment -2
58 Allen Street – Photos



GROUND COVER
SANDY / GRASS / WEED /
BUSHES / TREES

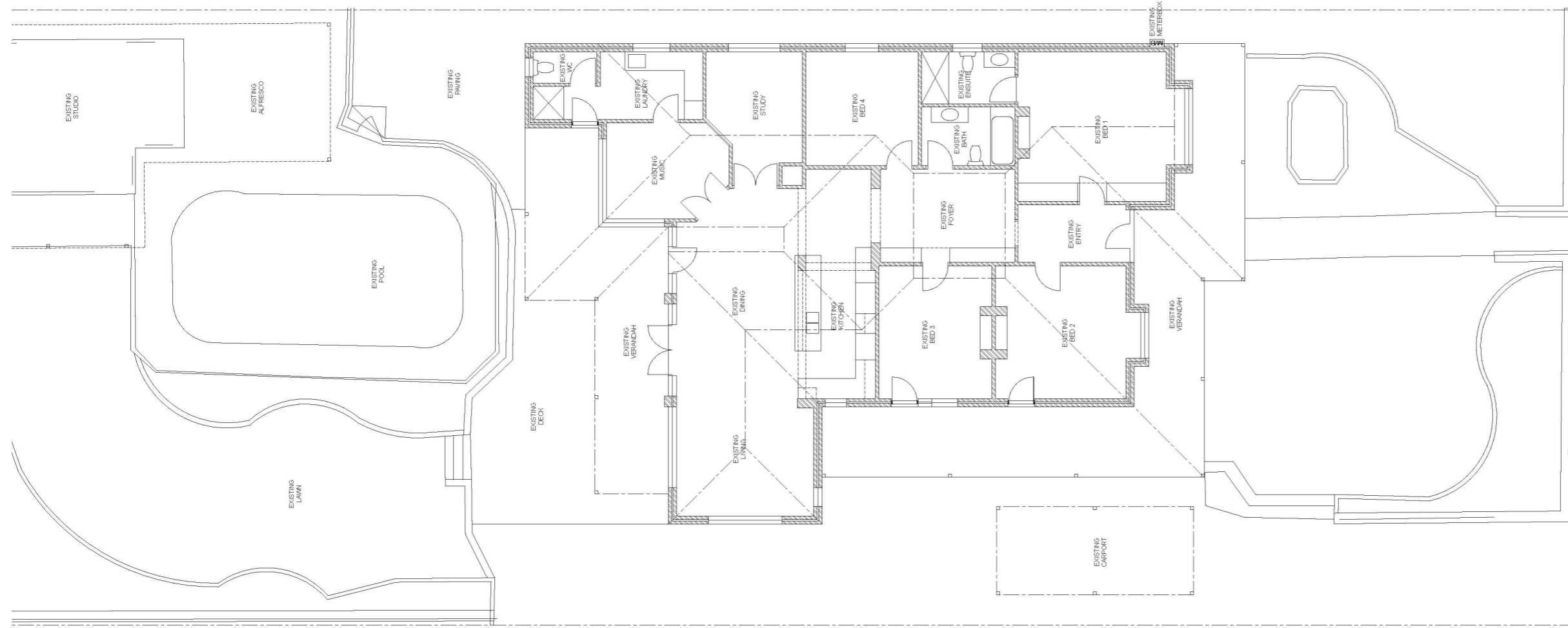


SERVICE LEGEND	
POWER	○ CP
CONSUMER POLE	○ PP
POWER POLE	○ LP
LIGHT POLE	○ SP
STAY POLE	○ SWA
S. WIRE ANCHOR	⊗
UNI PILLAR	□ FB
POWER BOARD	□
GAS	○ GPL
PRE-LAD CONN.	□ GM
METER	□
SEWERAGE	○ SMH
MANHOLE	○ IS
INSPECT SHAFT	○ IO
INSPECT OPENING	○ HC
-HOUSE CONNECTION	○ HGI
HOUSE CONN.	○ HGI
INDICATOR	○ ISC
INSPECT SHAFT CONNECTION	○
TELE.	□ TEL
PIT	□ TPL
PRE-LAD CONN.	○ DMH
DRAINAGE	○ LDP
MANHOLE	○ DHC
GULLY/PIT	□
LOT PIT	□
HOUSE CONN.	□
SIDE ENTRY PIT	□
STRUCTURE	□
GATE	□
WATER	○ WSV
STOP VALVE	○ HY
HYDRANT	○ PP
FLUSH POINT	⊗ WTP
WATER TAP	⊗ M
WATER METER	⊗ MPL
PRE-LAD CONN.	○
SURVEY	✈
DATUM NAIL	○ PF
PEG FOUND	○ PD
PEG DISTURBED	○ PG
PEG GONE	○
STAKE FOUND	○ STF

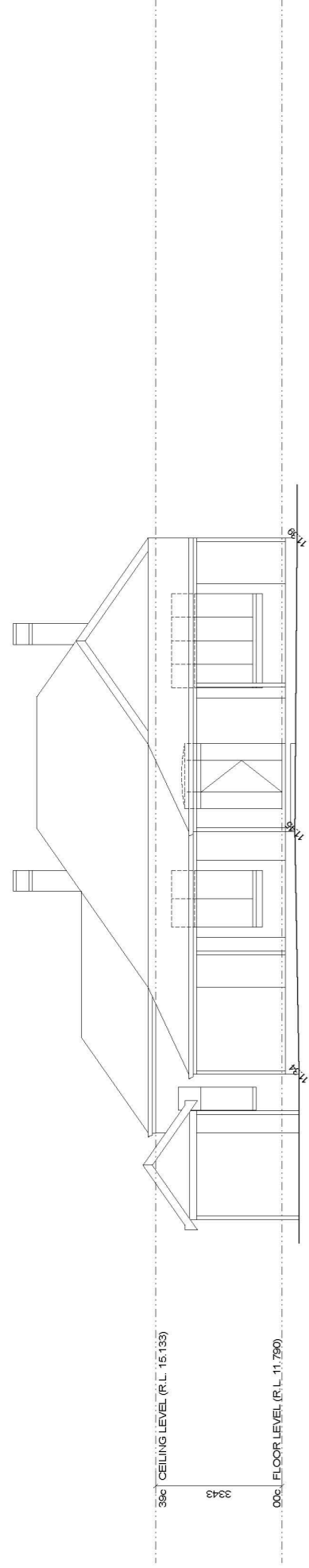
LOT RECORDS	
STATUS	LOCATED
LOT SERVICE	AVAILABLE
WATER	✓
SEWERAGE	✓
GAS	✓
TELE	✓
DRAINAGE	✓
POWER UG	✓
OH	✓
AREA: ESTAB 08/1912	
COASTAL DISTANCE	1.5-10km
LOT: 32	
AREA: 1087 m²78	
APPROX. AHD	+17.36m
SERVICES MARKED CONFIRM REQUIRE BUILDER/CLIENT TO CONFIRM. APPROXIMATE POSITIONS. APPROXIMATE AND CONNECTION ONLY. HEIGHT RESTRICTIONS REQUIRE ACCURATE GEODETIC CONNECTION.	
SEWER CONNECTION POSITION APPROXIMATE ONLY	
SEWER INVERT LEVEL	8.55
SEWER BROUGHT UP	2.10
DEPTH TO CONNECTION	1.80

TITLE : FEATURE SURVEY	LOT : 32 No. 58 ALLEN ST
CLIENT : N/A	SUBURB : EAST FREMANTLE P : 3286
BUILDER : JUSTIN OSBORNE	AUTHORITY : TOWN OF EAST FREMANTLE CT : 1147284
 P: (08) 9354 8511 W: www.linksurveying.com.au E: info@linksurveying.com.au	UBD REF : 326 G 5 GPS : S 32.04430° E 115.77018°
	SCALE @ A2 : 1:200 SURVEYED : 06/12/22 BUILDERS REF : 46302-01-100
NOTE: This plan is correct at the Survey Date. NOT FOR CONSTRUCTION purposes without site consultation. The cadastral boundary POSITION IS APPROXIMATE & requires survey confirmation. Check Landgate Plan & Certificate of Title for Encumbrances including Easements, Covenants etc. ALL SERVICES require verification from the relevant AUTHORITY. suggest contacting 'Dig Before You Dig' for underground services & infrastructure. © 2024 EPSI BUSINESS 1986	DWG No : 46302-01-100 REV : A

peter fryer design M 0415 016 580 E peter@peterfryerdesign.com.au PO Box 361 Subiaco WA, 6004	Copyright CLIENT: J. OSBORNE & J. TUNJIC ADDRESS: LOT 32 (#58) ALLEN STREET EAST FREMANTLE	DRAWN: PJTAYLOR DATE: DEC. 2023 SHEET SIZE: A2
		SITE PLAN SCALE: 1:100 SHEET 1 OF 9

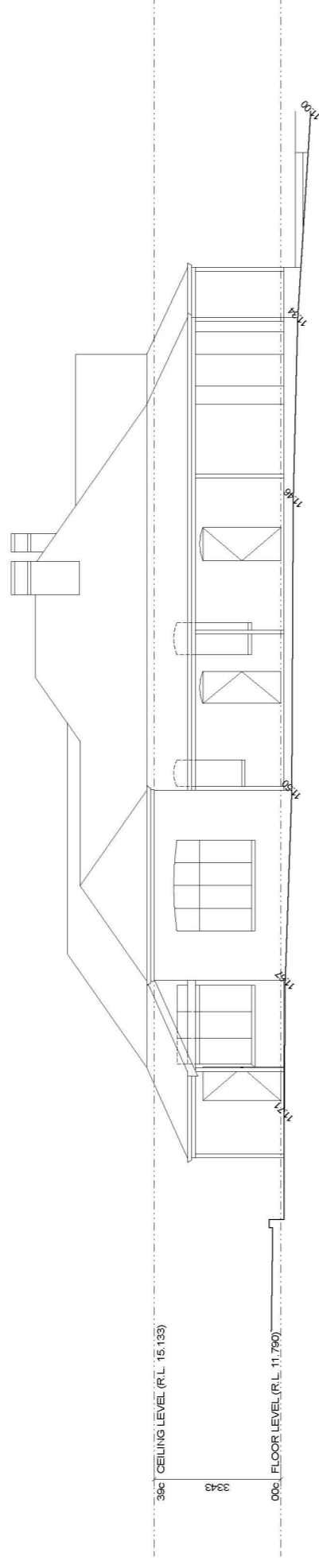


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			<p>ADDRESS: LOT 32 (#58) ALLEN STREET EAST FREMANTLE</p>		<p>DATE: DEC. 2023</p>
<p>date</p>	<p>amendments</p>			<p>SHEET 2</p>	<p>OF 9</p>



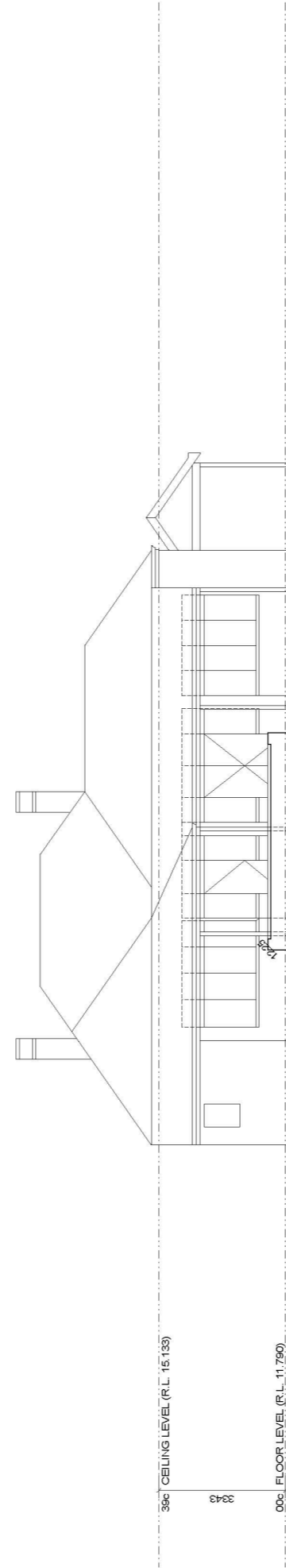
ELEVATION 1 (WEST)
SCALE 1:100

39c CEILING LEVEL (R.L. 15.133)
343
00c FLOOR LEVEL (R.L. 11.790)



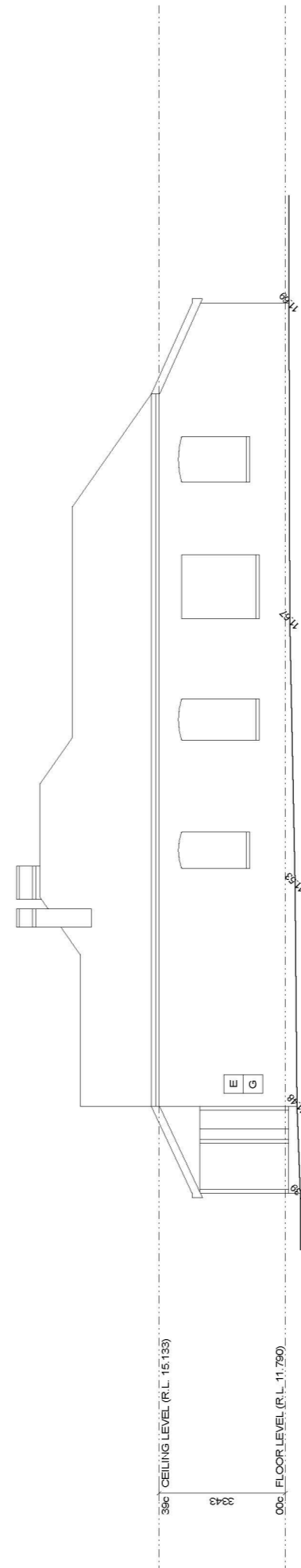
ELEVATION 2 (NORTH)
SCALE 1:100

39c CEILING LEVEL (R.L. 15.133)
343
00c FLOOR LEVEL (R.L. 11.790)



ELEVATION 3 (EAST)
SCALE 1:100

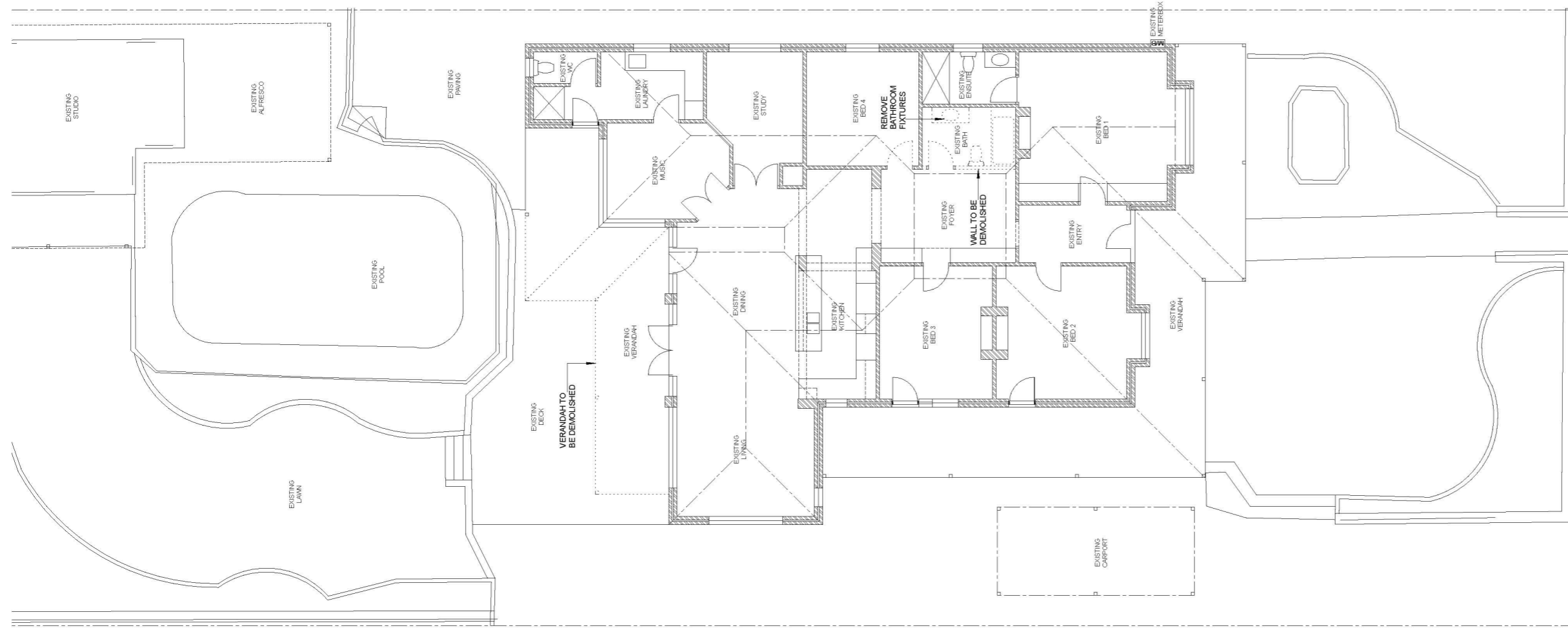
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00c FLOOR LEVEL (R.L. 11.790)



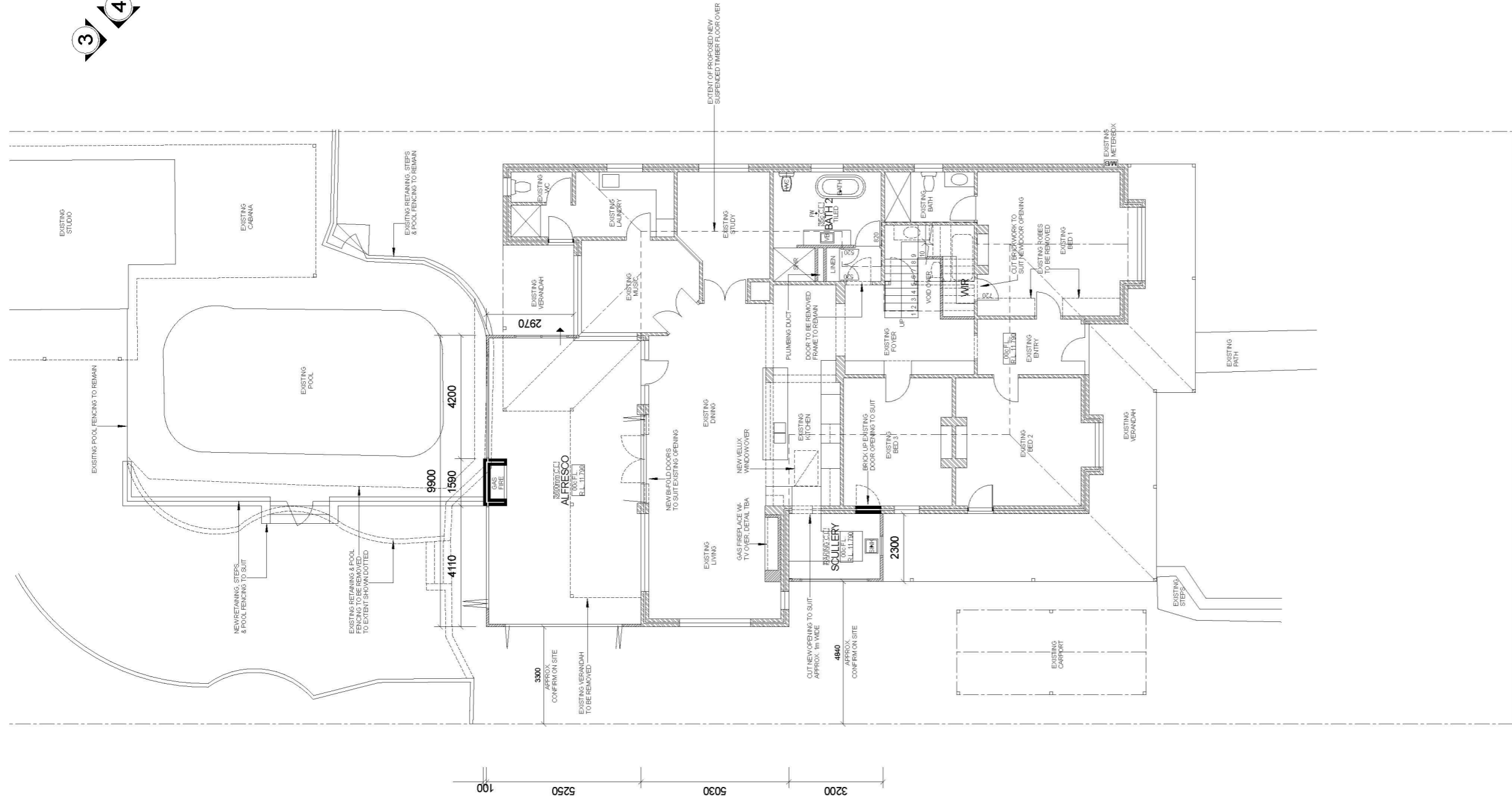
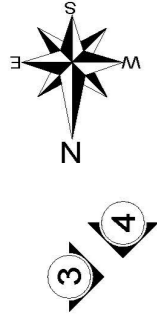
ELEVATION 4 (SOUTH)
SCALE 1:100

39c CEILING LEVEL (R.L. 15.133)
343
00c FLOOR LEVEL (R.L. 11.790)

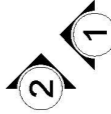
<p>peter fryer design M 0415 916 580 E peter@peterfryerdesign.com.au P.O. Box 381 Subiaco WA 6904</p>		<p>EXISTING ELEVATIONS SCALE 1:100 ADDRESS: LOT 32 (#58) ALLEN STREET EAST FREMANTLE</p>		<p>DRAWN: PUTAYLOR DATE: DEC. 2023 SHEET SIZE: A2 SHEET OF 9</p>	
<p>RESIDENTIAL BUILDING DESIGN / INTERIORS</p>		<p>Copyright CLIENT: J. OSBORNE & J. TUNJIC</p>		<p>date amendments</p>	



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<p>RESIDENTIAL BUILDING DESIGN / INTERIORS</p>		<p>CLIENT: J. OSBORNE & J. TUNJIC</p>		<p>DATE: DEC. 2023</p>
<p>date</p>		<p>ADDRESS: LOT 32 (#58) ALLEN STREET EAST FREMANTLE</p>		<p>SHEET SIZE: A2</p>
<p>amendments</p>		<p>Copyright</p>		<p>SHEET OF 4 9</p>



NOTE:
DIMENSIONS ARE APPROXIMATE
ONLY. MEASURE AND CONFIRM ON
SITE PRIOR TO COMMENCEMENT



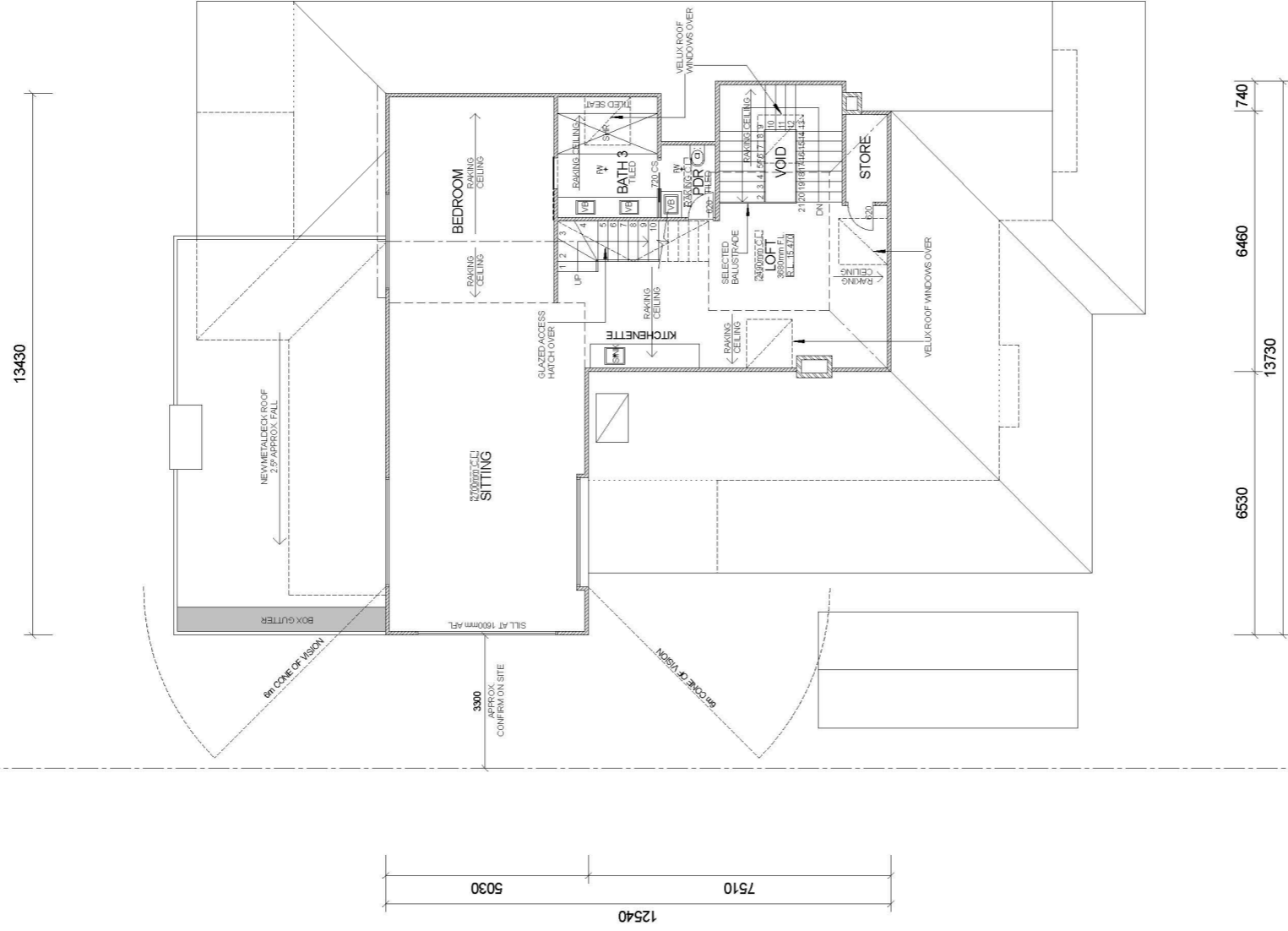
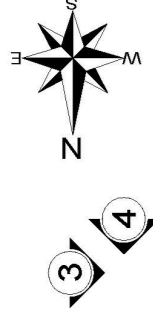
SITE AREA: 1088m²
OPEN SPACE: 739.55m² (68%)

AREAS:	
existing house:	230.312m ²
existing studio:	40.723m ²
existing carport:	18.518m ²
proposed alfresco:	51.724m ²
proposed scullery:	7.360m ²
proposed lot / upper level addition:	118.228m ²
Total:	486.865m²

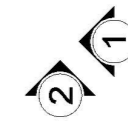
WALLS LEGEND

-----	EXISTING BRICKWORK
-----	EXISTING WALLS/DOORS TO BE REMOVED
-----	EXISTING TIMBER STUD FRAMING
-----	NEW 90mm TIMBER STUD FRAMING
-----	NEW 90mm BRICKWORK

peter fryer design M 0415 916 580 E. peter@peterfryerdesign.com.au P.O. Box 381 Subiaco WA 6904	© Copyright	GROUND FLOOR PLAN	DESIGNER
		SCALE 1:100	P. PATLOR
RESIDENTIAL BUILDING DESIGN / INTERIORS	CLIENT: J. OSBORNE & J. TUNJIC	ADDRESS: LOT 32 (#58) ALLEN STREET EAST FREMANTLE	DATE
			DEC. 2023
			SHEET SIZE: A2
date	amendments		SHEET OF 5 9



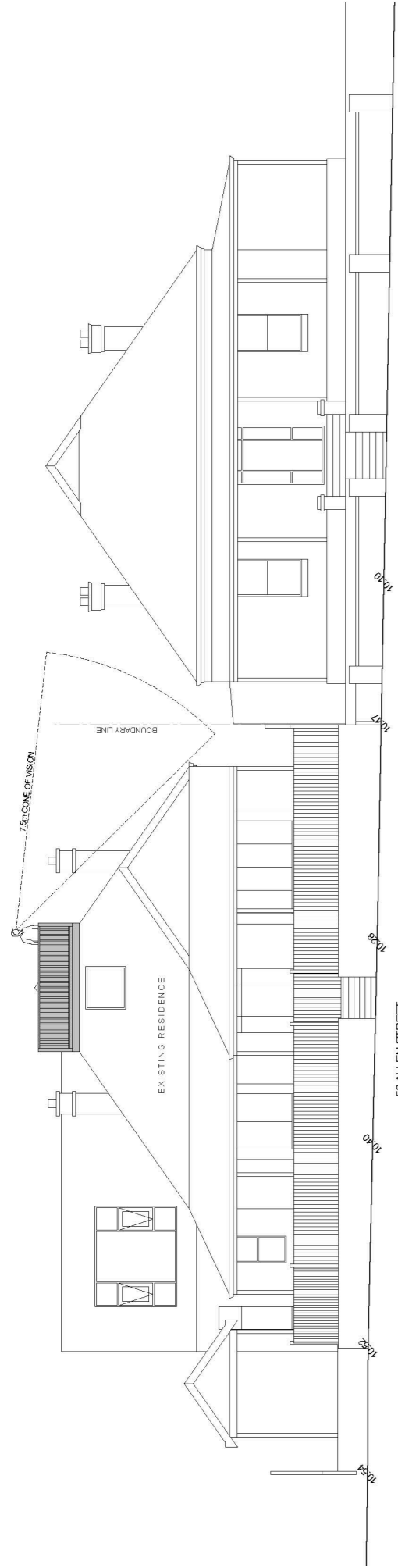
NOTE:
DIMENSIONS ARE APPROXIMATE
ONLY MEASURE AND CONFIRM ON
SITE PRIOR TO COMMENCEMENT



WALLS LEGEND

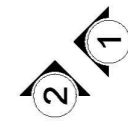
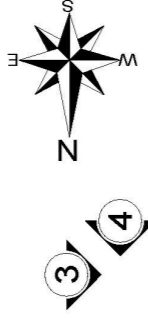
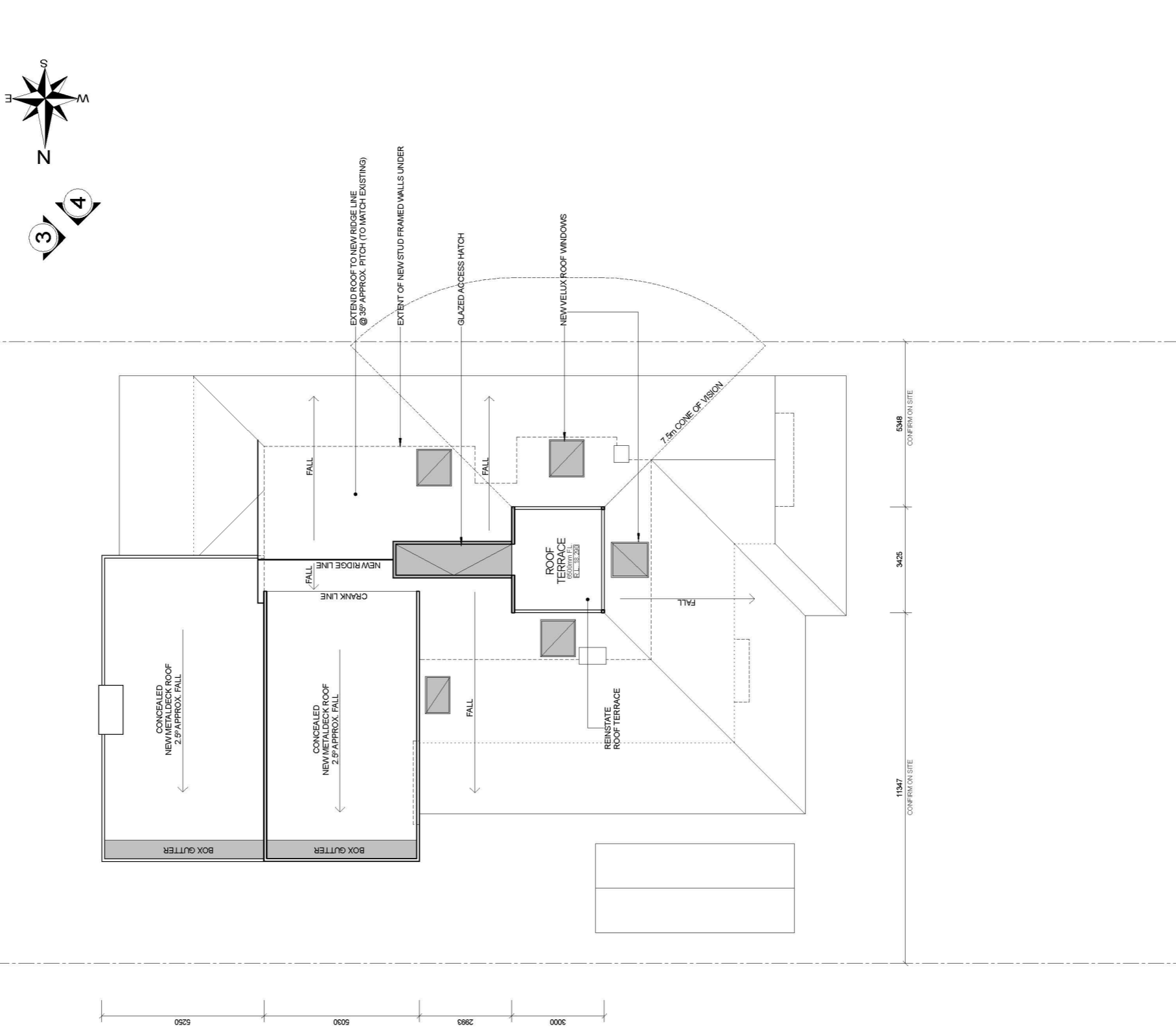
- EXISTING BRICKWORK
- EXISTING WALLS / DOORS TO BE REMOVED
- NEW 90mm TIMBER STUD FRAMING
- NEW 90mm BRICKWORK

date	amendments	<p>peter fryer design M 0415 916 680 E peter@peterfryerdesign.com.au P.O. Box 391 Subaco WA, 6864</p>	<p>Copyright CLIENT: J. OSBORNE & J. TUNJIC</p>	<p>LOFT FLOOR PLAN SCALE: 1:100</p>	<p>DRAWN: PJ TAYLOR</p>
				<p>ADDRESS: LOT 32 (#58) ALLEN STREET EAST FREMANTLE</p>	<p>DATE: DEC. 2023</p>
				<p>SHEET SIZE: A2</p>	<p>SHEET 6</p>
				<p>OF SHEET 9</p>	

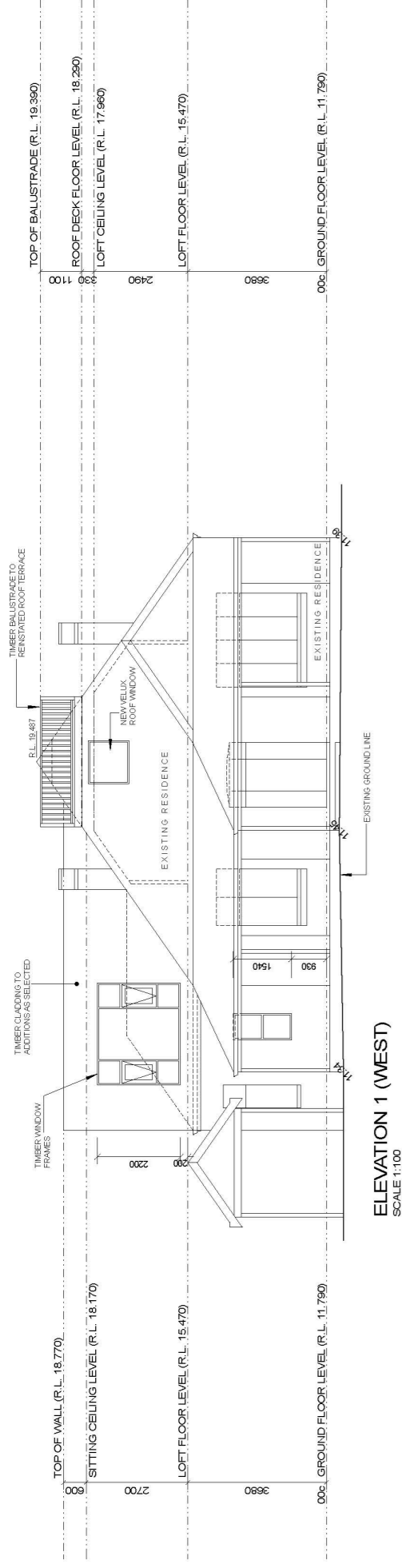


TERRACE CONE OF VISION OVER #60
SCALE 1:100

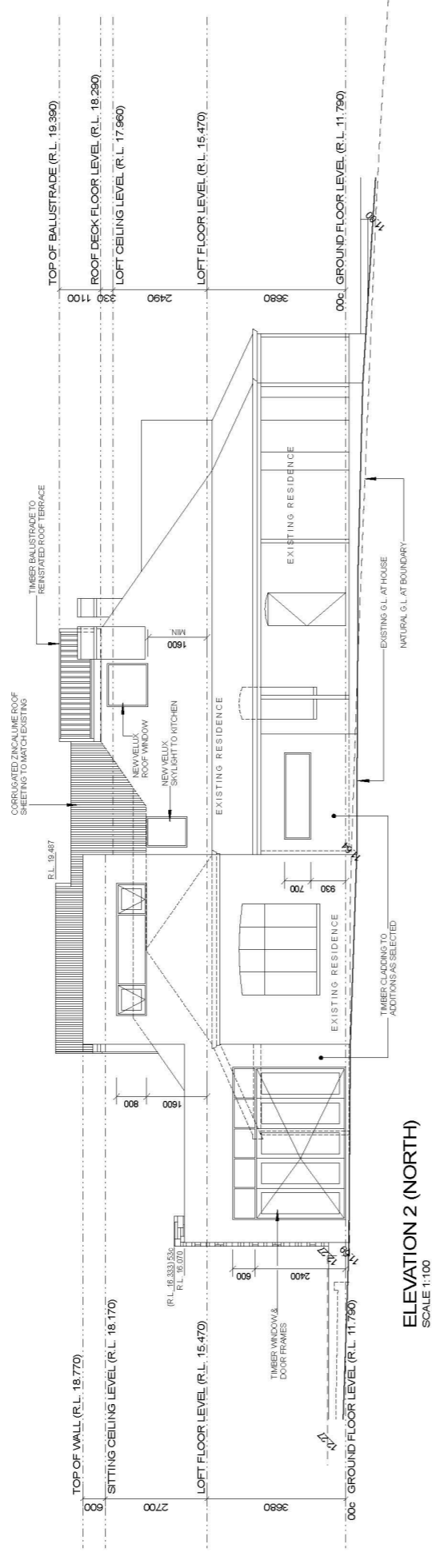
NOTE:
DIMENSIONS ARE APPROXIMATE
ONLY. MEASURE AND CONFIRM ON
SITE PRIOR TO COMMENCEMENT.



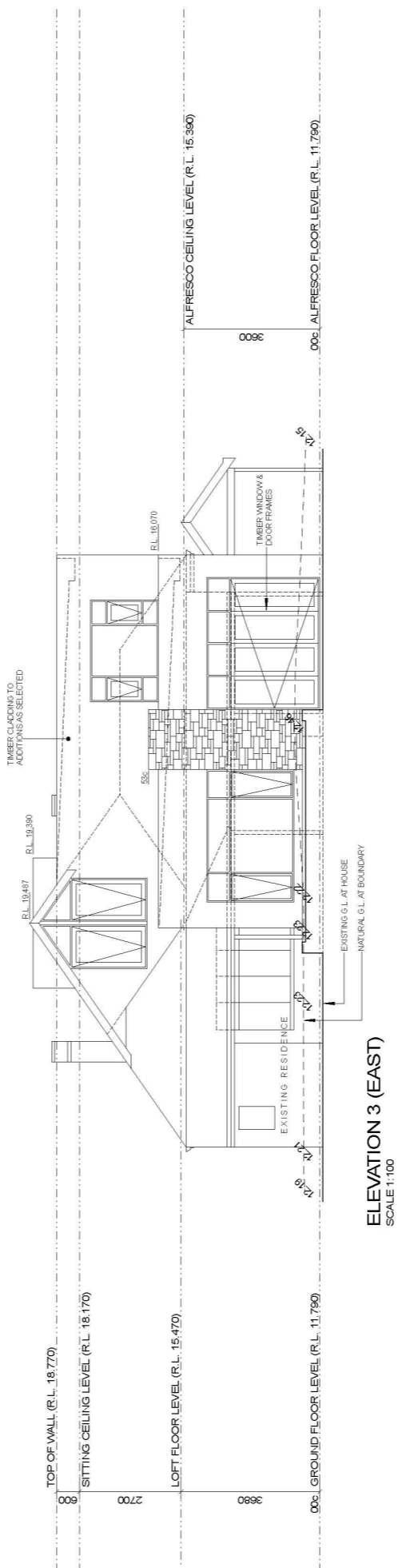
date	amendments	RESIDENTIAL BUILDING DESIGN / INTERIORS	peter fryer design		M 0415 9116 580 E peter@peterfryerdesign.com.au P.O. Box 381 Subiaco WA 6004	Copyright CLIENT: J. OSBORNE & J. TUNJIC	ROOF PLAN SCALE 1:100 ADDRESS: LOT 32 (#58) ALLEN STREET EAST FREMANTLE	DOWN
			7 OF 9 SHEET A2 SHEET SIZE DEC. 2023 PATTAYLOR					



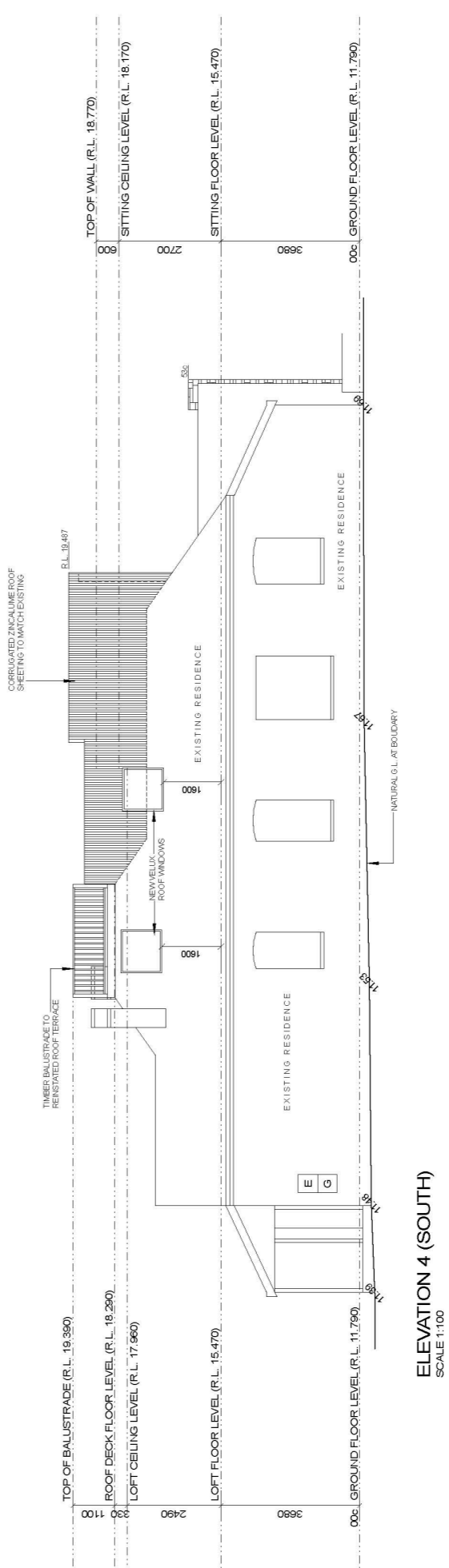
ELEVATION 1 (WEST)
SCALE 1:100



ELEVATION 2 (NORTH)
SCALE 1:100



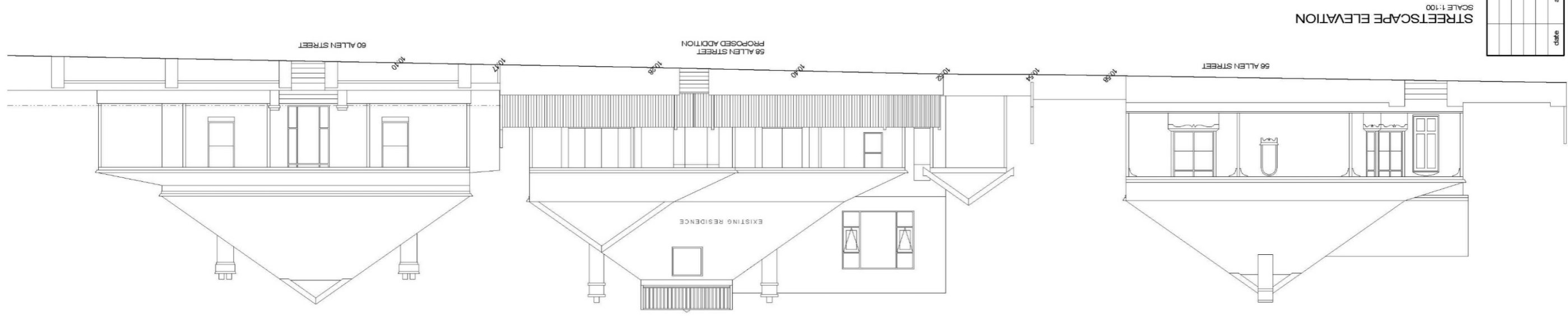
ELEVATION 3 (EAST)
SCALE 1:100



ELEVATION 4 (SOUTH)
SCALE 1:100

FINISHES SCHEDULE:
ROOF SHEETING: ZINC/ALUME CUSTOMER ORB CORRUGATED SHEETING
WALLS: TIMBER CLADDING, MOLTEN CHARRED TIMBER
WINDOW FRAMES: TIMBER PAINTED

peter fryer design M 0415 916 580 E peter@peterfryerdesign.com.au P.O. Box 361 Subaco WA 6804		© Copyright	ELEVATIONS SCALE 1:100	DRAWN: PJ TAYLOR
RESIDENTIAL BUILDING DESIGN / INTERIORS		CLIENT: J. OSBORNE & J. TUNJIC	ADDRESS: LOT 32 (#58) ALLEN STREET EAST FREMANTLE	DATE: DEC 2023
date amendments				SHEET SIZE: A2
				SHEET 8
				OF 9



STREETSCAPE ELEVATION
SCALE 1:100

date amendments	peter fryer design M 0415 816 580 E peter@peterfryerdesign.com.au P.O. Box 381 Subiaco W.A. 6004 RESIDENTIAL BUILDING DESIGN / INTERIORS	© Copyright CLIENT: J. OSBORNE & J. TUNJIC	STREETSCAPE SCALE 1:100 ADDRESS: LOT 32 (#58) ALLEN STREET EAST FREMANTLE	DRAWN: PUTAYLOR DATE: DEC. 2023 SHEET SIZE: A2 SHEET 9 OF 9
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Attachment -4

Photo of original roof terrace



PLACE RECORD FORM



PRECINCT	Woodside
ADDRESS	58 Allen Street
PROPERTY NAME	N/A
LOT NO	Lot 32
PLACE TYPE	Residence
CONSTRUCTION DATE	C 1912
ARCHITECTURAL STYLE	Federation Bungalow
USE/S	Original Use: Residence/ Current Use: Residence
STATE REGISTER	N/A
OTHER LISTINGS	N/A
MANAGEMENT CATEGORY	Category B
PHYSICAL DESCRIPTION	No 58 Allen Street is a single storey house constructed in rendered brick with a hipped and gable corrugated iron roof. It is an expression of the Federation Bungalow style. The front elevation is asymmetrically planned with a thrust gable bay and a full width and return verandah. The verandah is set on turned timber posts. The front elevation is dominated by a half-timbered gable over a thrust bay. The thrust bay features a set of casement windows. There is a central door and hopper light flanked by side lights and a set of casement windows. The roofscape features a pair of rendered chimneys.

The place retains its form and details. A carport has been added to the north side of the house and there are rear additions.

The place is consistent with the building pattern in the Precinct. The place plays an important role in the pattern of development of a middle class suburb.

HISTORICAL NOTES

Woodside is a relatively cohesive precinct where most of the places were constructed following the subdivision of W.D. Moore's Estate commencing in 1912. Most of the lots were sold between 1912 and 1929 and the majority of buildings were completed in this time. Residences were substantial and of various Federation period styles distinguishing the area from the small worker's cottages of Plympton. The Inter-War Californian Bungalow style residence is also represented in Woodside.

The Woodside Precinct remains largely intact in terms of original housing with little infill subdivision or replacement housing.

A carport has been added to the north side of the house and there are rear additions.

OWNERS

Unknown

HISTORIC THEME

Demographic Settlements - Residential Subdivision

CONSTRUCTION MATERIALS

Walls – Rendered brick

Roof – Corrugated iron sheeting

PHYSICAL SETTING

The residence is situated on a gently sloping site with a low limestone wall and gothic picket fence at the lot boundary.

STATEMENT OF SIGNIFICANCE

No 58 Allen Street is a single storey house constructed in tuck-pointed brick with an iron roof. It has historic and aesthetic value for its contribution to Woodside's high concentration of predominantly Federation period houses and associated buildings. The place contributes to the local community's sense of place.

The place has considerable heritage value for its intrinsic aesthetic value as a Federation Bungalow style house. The place retains a moderate degree of authenticity and a high degree of integrity.

The additions have no significance.

AESTHETIC SIGNIFICANCE

No 58 Allen Street has considerable aesthetic value as a Federation Bungalow. It retains most of the characteristic features of a dwelling of the type and period.

HISTORIC SIGNIFICANCE

No 58 Allen Street has some historic value. It was part of the suburban residential development associated with the expansion of East Fremantle and the subdivision of W. D. Moore's Woodside Estate from 1912.

SCIENTIFIC SIGNIFICANCE

N/A

SOCIAL SIGNIFICANCE

No 58 Allen Street has some social value. It is associated with a significant area of middle class Federation and Inter-War period development which contributes to the community's sense of place.

RARITY

No 58 Allen Street is not rare in the immediate context but Woodside has rarity value as a cohesive middle class suburb.

CONDITION

No 58 Allen Street is in good condition.

INTEGRITY

No 58 Allen Street retains a high degree of integrity.

AUTHENTICITY

No 58 Allen Street retains a moderate degree of authenticity.

MAIN SOURCES

13 MATTERS BEHIND CLOSED DOORS

Nil

14 CLOSURE OF MEETING