

LOT 103
R- 20
A= 890m²

NOTE / BEWARE:
DUE TO LACK OF SURVEY MARKS/ PEGS ALL BUILDING OFFSET DIMENSIONS & FEATURES ARE APPROX ONLY AND POSITIONED FROM EXISTING PEGS/ FENCES AND WALLS WHICH MAY NOT BE ON THE CORRECT ALIGNMENT AND ARE TO BE VERIFIED WHEN REPEGGED. ANY DESIGN THAT INVOLVES ADDITIONS TO ANY STRUCTURES SHOWN OR PORTION OF STRUCTURES REMAINING AFTER ANY DEMOLITION HAS TAKEN PLACE, BOUNDARIES MUST BE REPEGGED AND EXACT OFFSETS PROVIDED TO YOUR DESIGNER /ARCHITECT BEFORE ANY PLANS ARE PRODUCED AND BEFORE ANY WORK IS STARTED ON SITE.

3 PHASE
POWER SUPPLY

JOB No: **945**
SHEET: 1 of 9
REVISION: --
DRAWN: NW

WORKING DRAWINGS



NOTE:
LOT MISCLOSE
(0.000 m)

PEG
GONE

NOTE:
(meas abt 20.0)
20.12

PEG
GONE

NOTE:
Approx. Sewer clearance line,
(THIS IS NOT AN EASEMENT)
no encasing.
To be verified with Water Corp.

EXTENT OF CHEMICAL
GROUT INJECTION

COLORBOND FENCE
TO COUNCIL REQUIREMENTS

Brick & Galv
on Slab

EXTENT OF CHEMICAL
GROUT INJECTION

POOL FENCE & GATE BY
OWNER TO COUNCIL
REQUIREMENTS

POOL FENCE & GATE BY
OWNER TO COUNCIL
REQUIREMENTS

SPOON DRAIN.
CONNECT TO SOAKWELL

1.7m high
Brick Wall

Garage Wall Set In
60mm FROM BOUNDARY

Timber
Patio

Brick & Galv
on Limestone
(#68) FL
unobtainable

PRELaid
STORMWATER
PLUMBING

COLORBOND FENCE
TO COUNCIL REQUIREMENTS

1.2m high
Brick Wall

1.0m high Timber
picket fence in
good condition

Light
Grass

Ref Nail at base of kerb
A.H.D. level 36.67m
(Established from S.S.M. MELVILLE 2
using data supplied by the Geodetic
Section of Landgate)

**SOIL
DESCRIPTION**

Sand
Refer to Survey

LEGEND:
SEC Dome
Power Pole
Phone
Conc. Path
Conc. slabs

SCALE 1:200

Scale 1:200
0 2 4 6 8 10

NOTE:
EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.

NOTE: COTTAGE & ENGINEERING SURVEYS ACCEPT NO RESPONSIBILITY FOR ANY PHYSICAL ON SITE CHANGES TO THE PARCEL OR PORTION OF THE PARCEL OF LAND SHOWN ON THIS SURVEY INCLUDING ANY ADJOINING NEIGHBOURS LEVELS AND FEATURES THAT HAVE OCCURRED AFTER THE DATE ON THIS SURVEY.

NOTE: All Sewer details plotted from information supplied by Water Corporation.

NOTE/BEWARE: ADVISE TRADES
O/Head power lines

BUILDING SITE INSPECTION REPORT
SERVICE AND CONTOUR SKETCH

MSD REF
401-16/31
OLD
AREA

Client **Ross**
Date **08 Feb 13** House No. **66**
Lot No. **103** Area **890m²** Street **Pier Street**
Suburb **East Fremantle** Shire **TOWN OF EAST FREMANTLE**
Plan **1794** C/T Vol. **1121** Fol **985**

Road Descr. **Bitumen**
Kerbing **Non-Mount / Nil**
Condition **GOOD**
Footpath **Nil**
Condition **GOOD**
Soil **Sand**
Drainage **Good**
Vegetation **Refer to Survey**

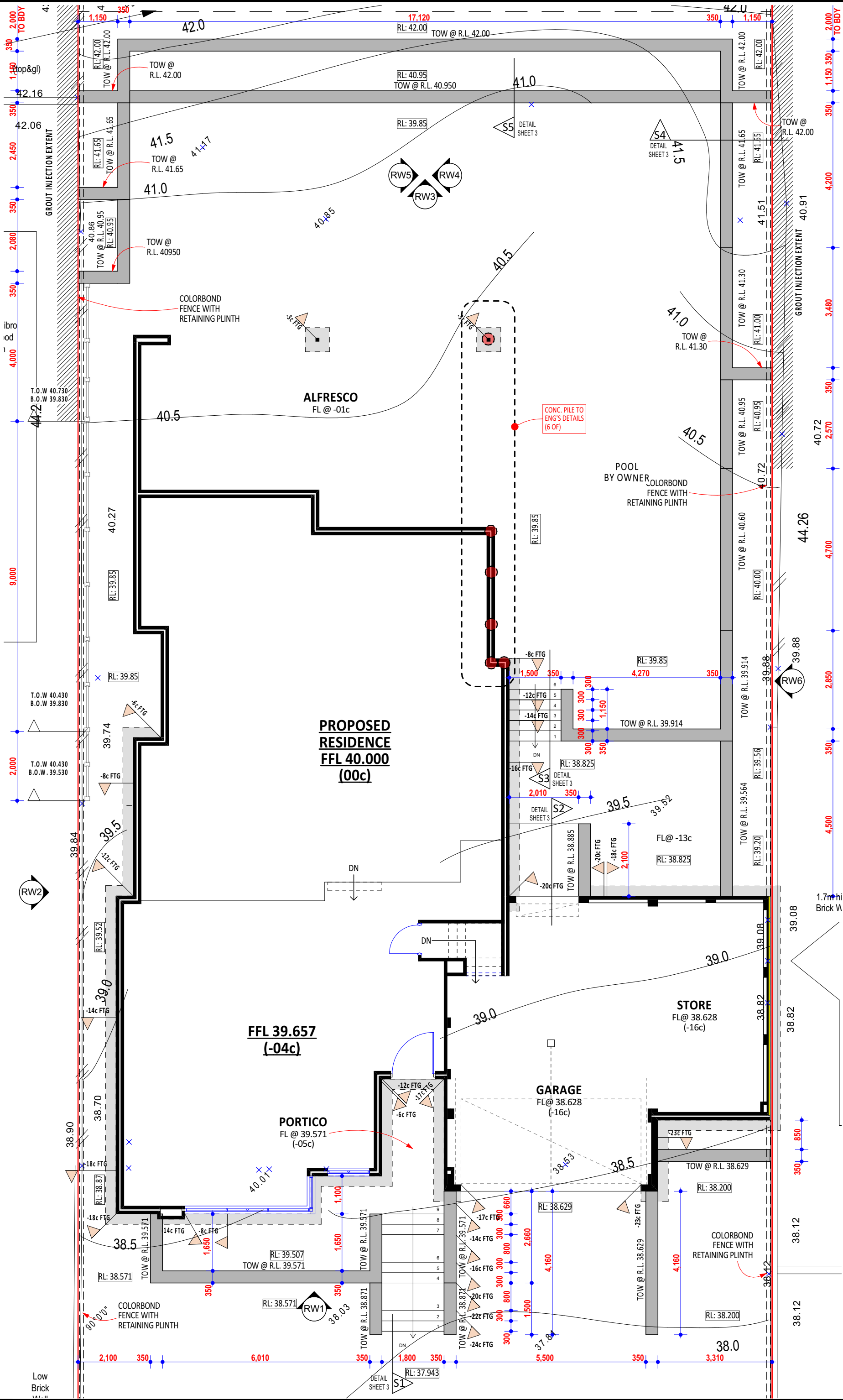
Services: Gas **Telstra** **Yes**
Alinta Gas Map Indicates Gas In Area **Yes**
Check Your Lot call 131358 **Yes**
Water **Yes** Sewer **Yes**
Electricity **U/Ground**
Coastal Zone (Scaled from StreetSmart Directory Only) **NO**
Fencing and other improvements **AS SHOWN**
Special Features **AS SHOWN**

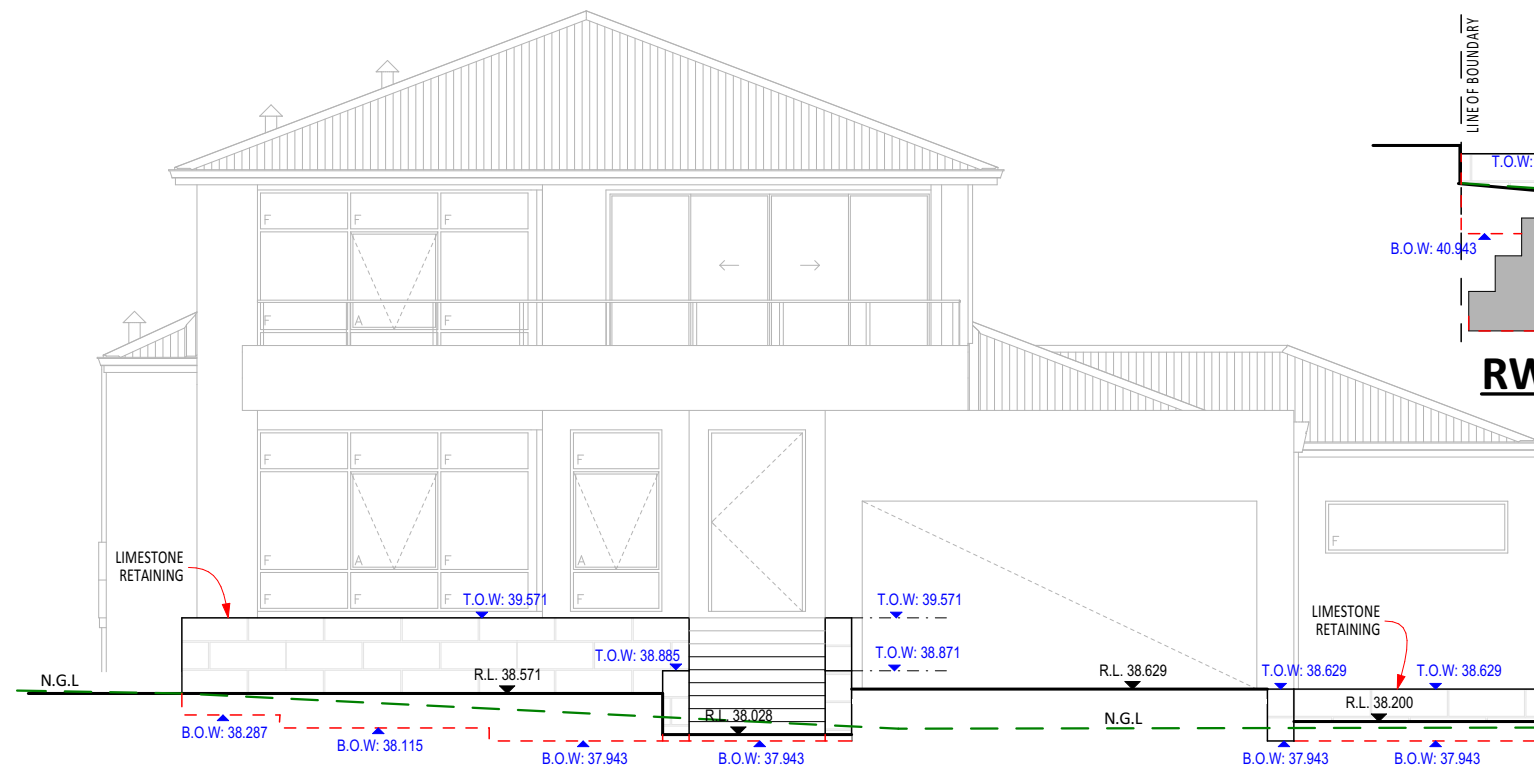
**COTTAGE & ENGINEERING
SURVEYS**

— Licensed Surveyors —
87-89 Guthrie Street, Osborne Park, Western Australia
Telephone: (08) 9446 7361 Facsimile: (08) 9445 2998
Email : perth@cottage.com.au Website: www.cottage.com.au #

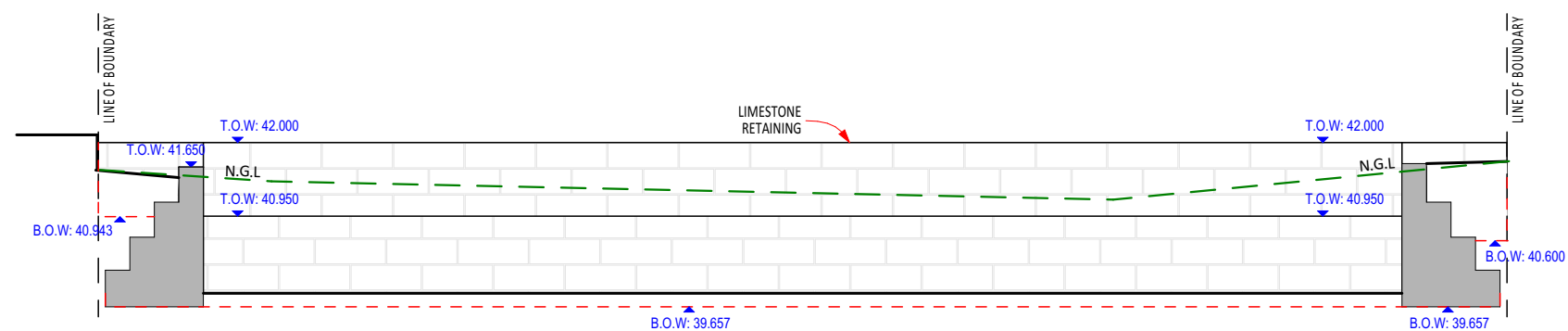
J/N: **301389** DATE: **08 Feb 13** SCALE: **1:200** DRAWN: **T. Polmear**

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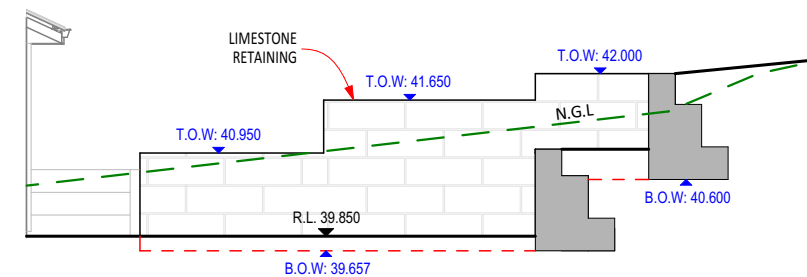




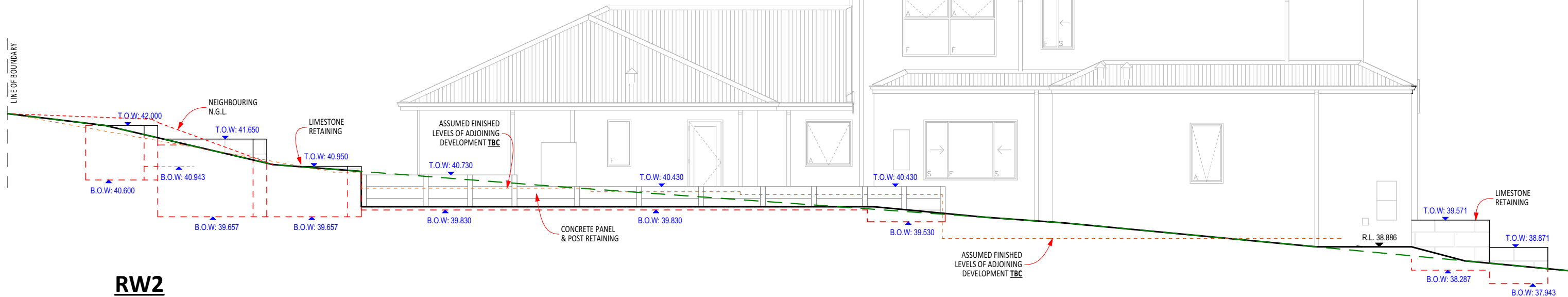
RW1



RW3



RW4



RW2

1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR. 2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.

THIS HOME IS PART OF THE

SIGNATURE
SERIES

JOB No:

945

WORKING DRAWINGS

SHEET:

3 OF 9

RETAINING ELEVATIONS 1

ROSS RESIDENCE
LOT 103 (No.66) PIER STREET
EAST FREMANTLE

DRAWN BY:
NW

SCALE:
1:100

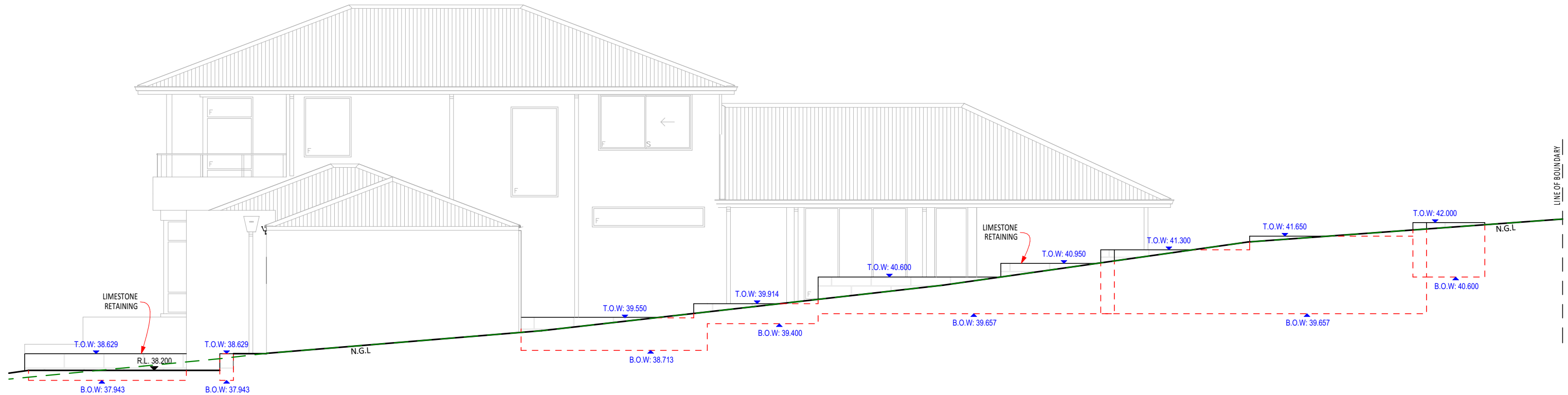
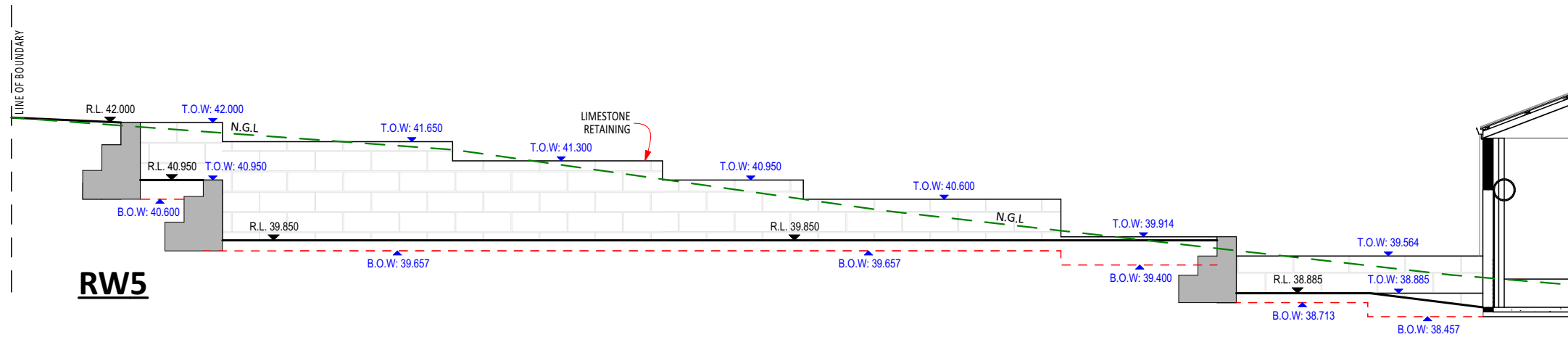
REVISION:
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DATE:
16/12/2020

PRESTART BY:
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RW6

1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR. 2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.

THIS HOME IS PART OF THE SIGNATURE SERIES	JOB No: 945	WORKING DRAWINGS RETAINING ELEVATIONS 2	ROSS RESIDENCE LOT 103 (No.66) PIER STREET EAST FREMANTLE	DRAWN BY: NW	SCALE: 1:100	REVISION: --	
	SHEET: 4 OF 9			DATE: 16/12/2020	PRESTART BY: --		

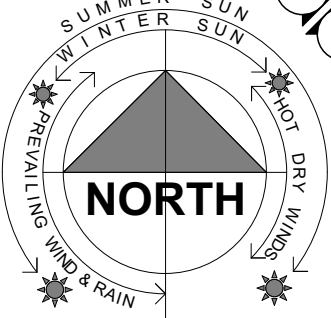
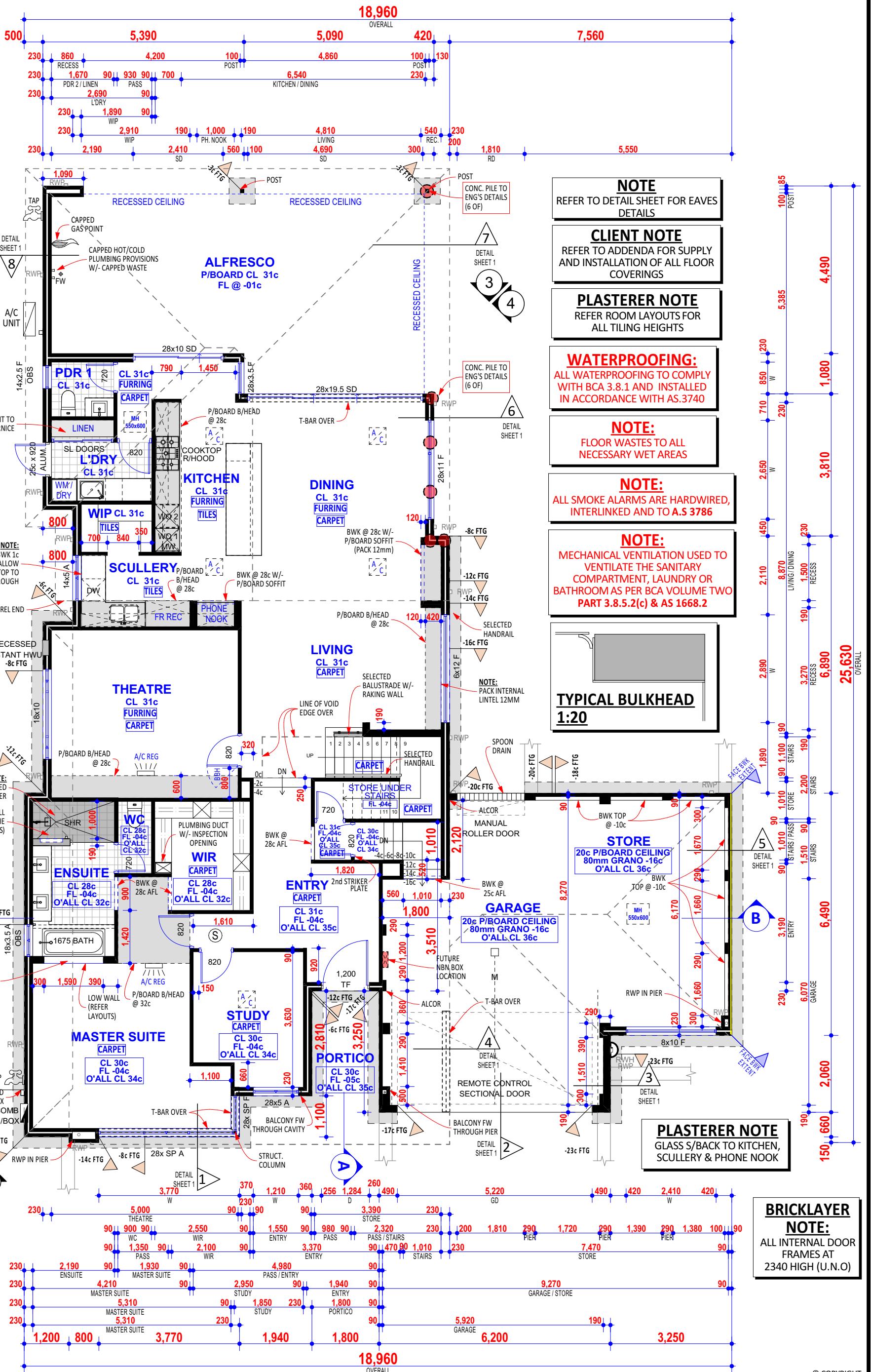
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AREAS

GROUND	198.13
ALFRESCO	52.55
GARAGE	42.00
STORE	30.96
PORTICO	5.07
	328.71 m ²

STAIRS

250 GOING
177 RISER



- OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR.
- THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.

WORKING DRAWINGS

THIS HOME IS PART OF THE

SIGNATURE SERIES

SHEET:
5 OF 9

JOB No:

945

REVISION:

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GROUND FLOOR PLAN

**ROSS RESIDENCE
LOT 103 (No.66) PIER STREET
EAST FREMANTLE**

SCALE:
1:100, 1:20

DRAWN BY:

N W

PRESTAB BY:

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DATE:

16/12/2020

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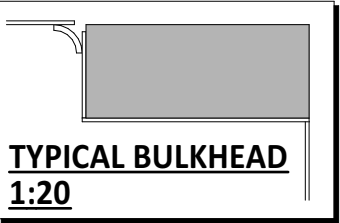
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AREAS	
UPPER	114.83
BALCONY	23.88
STAIRS	8.57
	147.28 m ²

STAIRS
250 GOING
177 RISER

WATERPROOFING:
ALL WATERPROOFING TO COMPLY WITH BCA 3.8.1 AND INSTALLED IN ACCORDANCE WITH AS.3740

NOTE:
FLOOR WASTES TO ALL NECESSARY WET AREAS



NOTE:
ALL SMOKE ALARMS ARE HARDWIRED, INTERLINKED AND TO A.S 3786

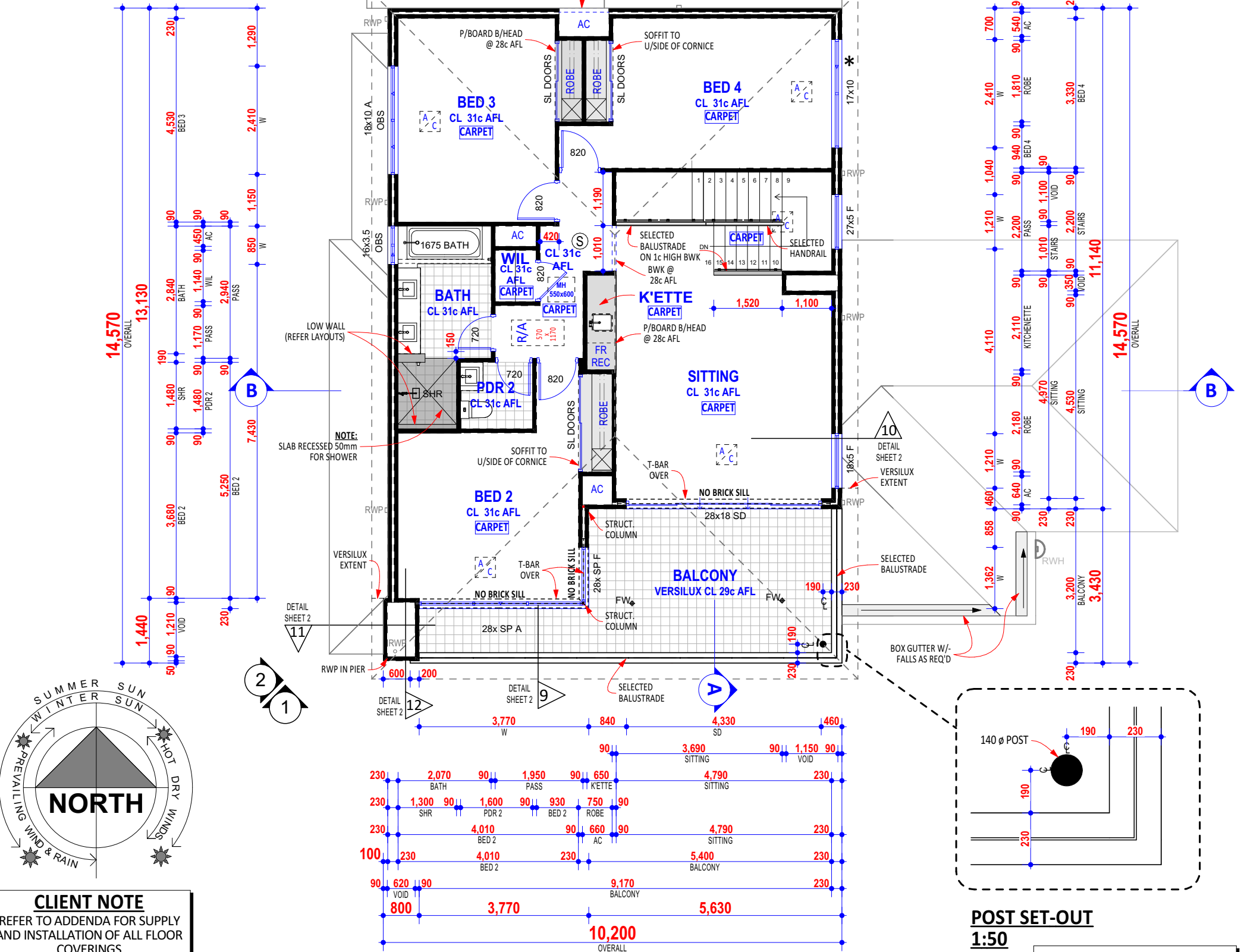
NOTE:
MECHANICAL VENTILATION USED TO VENTILATE THE SANITARY COMPARTMENT, LAUNDRY OR BATHROOM AS PER BCA VOLUME TWO PART 3.8.5.2(c) & AS 1668.2

BALUSTRADE DETAILS:
ALL BALUSTRADING TO COMPLY WITH: N.C.C 3.9.2
A 125mm SPHERE MUST NOT BE ABLE TO PASS THROUGH ANY OPENING IN THE BALUSTRADE DESIGN

BALUSTRADE NOTE:
BALUSTRADE HEIGHT ABOVE F.F.L MUST BE A MINIMUM OF 1000mm

PLASTERER NOTE
REFER ROOM LAYOUTS FOR ALL TILING HEIGHTS

NOTE
* - NOMINATED WINDOWS TO COMPLY WITH B.C.A VOL.2, PART 3.9.2.5. PORTION OF OPENING WINDOW RESTRICTED TO 125mm MAX.



CLIENT NOTE
REFER TO ADDENDA FOR SUPPLY AND INSTALLATION OF ALL FLOOR COVERINGS

1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR.
2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ONSITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.

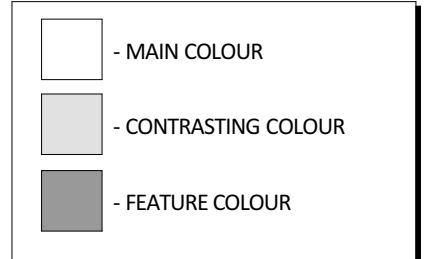
NOTE
REFER TO DETAIL SHEET FOR EAVES DETAILS

POST SET-OUT 1:50
BRICKLAYER NOTE:
ALL INTERNAL DOOR FRAMES AT 2340 HIGH (U.N.O)

ROOF FRAMING TO A.S 1684
COLORBOND ROOF
 20°49' PITCH TO FIRST FLOOR
 24°43' TO GROUND FLOOR
 20°49' TO GARAGE / STORE

KEEP ALL FLUMES TO REAR OF RIDGE

BALUSTRADE HEIGHT ABOVE F.F.L
MUST BE A MINIMUM OF 1000mm



ELEVATION 1



THIS HOME IS PART OF THE

945

SHEET:
7 OF 9

WORKING DRAWINGS

ELEVATIONS

**ROSS RESIDENCE
LOT 103 (No.66) PIER STREET
EAST FREMANTLE**

DRAWN BY:
NW

DATE:
16/12/2020

SCALE:
1:100

PRESTART BY:	--
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ROOFING NOTE:
ROOF FRAMING TO A.S 1684
COLORBOND ROOF
20°49' PITCH TO FIRST FLOOR
24°43' TO GROUND FLOOR
20°49' TO GARAGE / STORE

ROOF CARPENTER NOTE:
KEEP ALL FLUMES TO REAR OF RIDGE

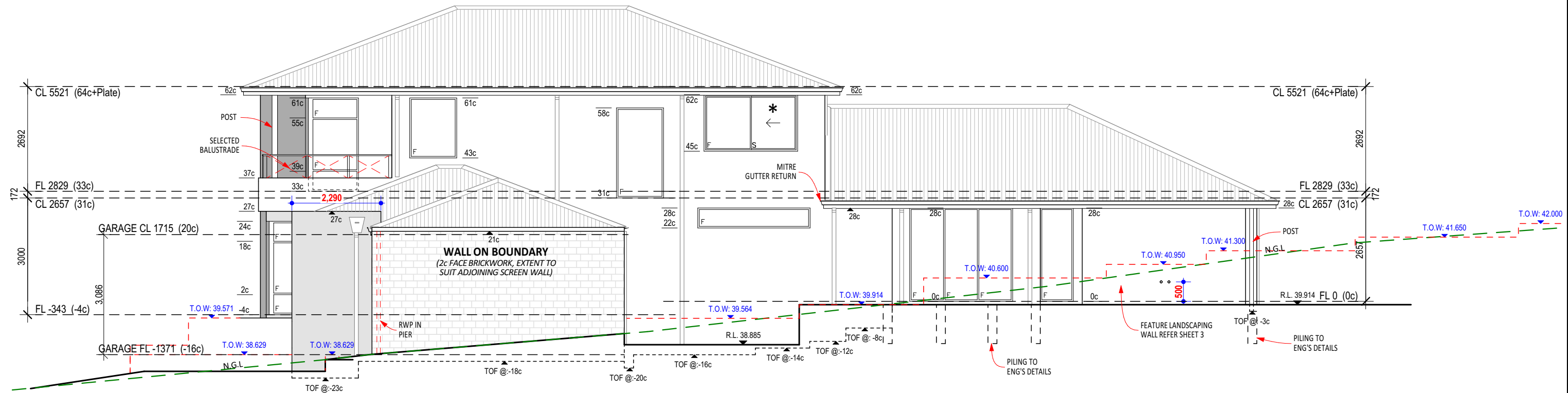
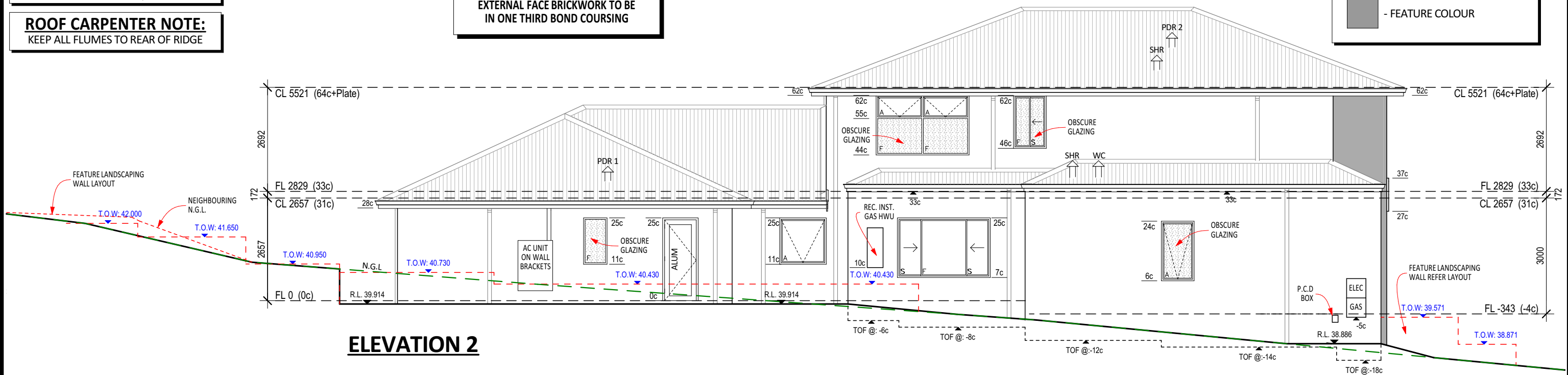
BALUSTRADE NOTE:
BALUSTRADE HEIGHT ABOVE F.F.L
MUST BE A MINIMUM OF 1000mm

2c FACE BLOCKWORK

EXTERNAL FACE BRICK SIZE:
290L x 90W x 162H
ALL COURSE HEIGHTS SHOWN ARE TO
STANDARD BRICK COURSING
**EXTERNAL FACE BRICKWORK TO BE
IN ONE THIRD BOND COURSING**

NOTE
* - NOMINATED WINDOWS TO COMPLY
WITH B.C.A VOL.2, PART 3.9.2.5.
PORTION OF OPENING WINDOW
RESTRICTED TO 125mm MAX.

- MAIN COLOUR
- CONTRASTING COLOUR
- FEATURE COLOUR



ELEVATION 4

1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR. 2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.

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JOB No:

945

SHEET:

8 OF 9

WORKING DRAWINGS

ELEVATIONS

**ROSS RESIDENCE
LOT 103 (No.66) PIER STREET
EAST FREMANTLE**

DRAWN BY:
NW

DATE:
16/12/2020

SCALE:
1:100

PRESTART BY:
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REVISION:

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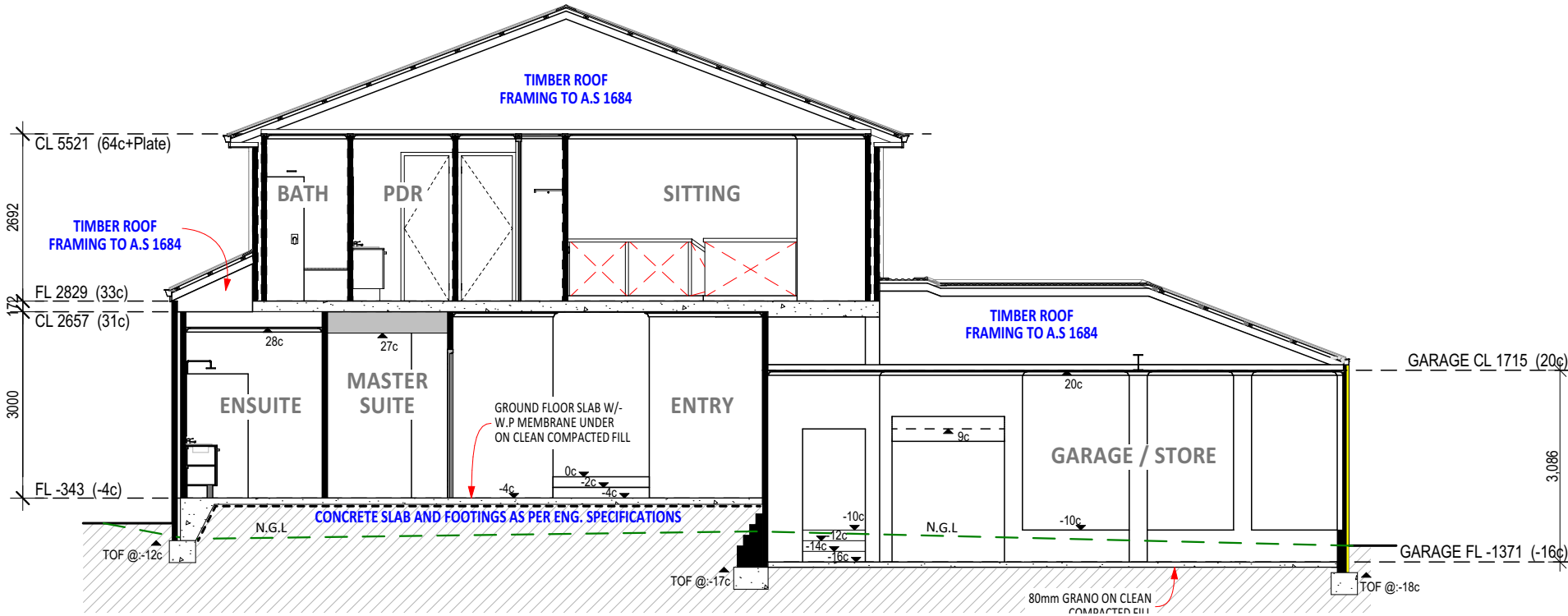
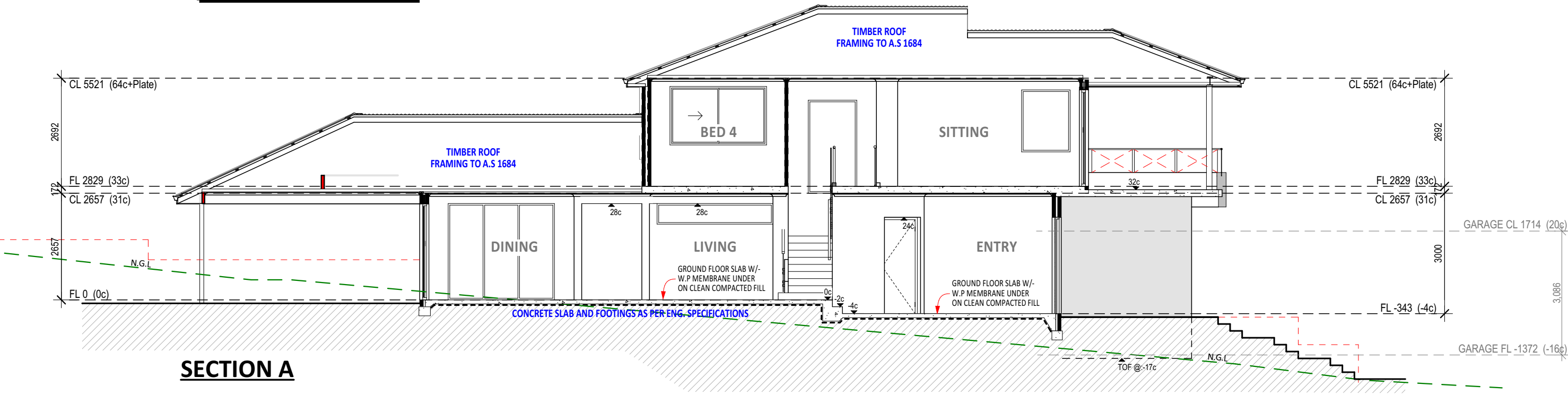
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ROOFING NOTE:
ROOF FRAMING TO A.S 1684
COLORBOND ROOF
20°49' PITCH TO FIRST FLOOR
24°43' TO GROUND FLOOR
20°49' TO GARAGE / STORE

ROOF CARPENTER NOTE:
KEEP ALL FLUMES TO REAR OF RIDGE

BALUSTRADE NOTE:
BALUSTRADE HEIGHT ABOVE F.F.L
MUST BE A MINIMUM OF 1000mm



SECTION B

1. OWNER TO NOTE THAT ALL SIZES SHOWN ARE WITHOUT PLASTER (WHERE APPLICABLE) AND SHOULD BE ALLOWED FOR. 2. THE BUILDER RESERVES THE RIGHT TO ALTER DIMENSIONS ON SITE TO SUIT CONSTRUCTION, ENGINEERING, OR SITE CONDITIONS.