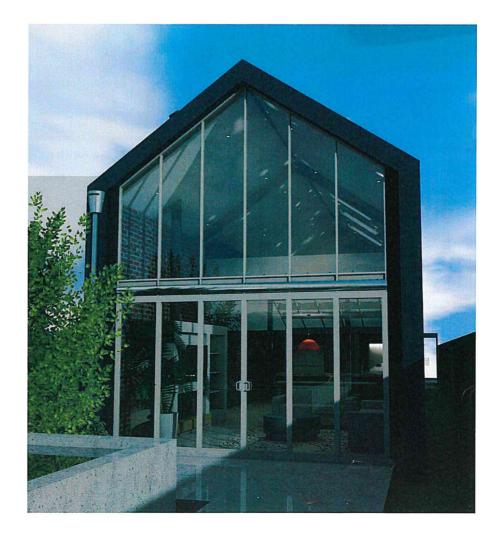
PROPOSED ADDITION

BUILDING APPROVAL APPLICATION REV O

A & R GRENENGER LOT 2 No 46 SEWELL STREET, EAST FREMANTLE TOWN OF EAST FREMANTLE











EXISTING GROUND FLOOR

1:100

CONSTRUCTION NOTES:

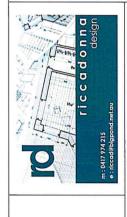
EXISTING:

- TIMBER FRAMED FLOOR
- TIMBER FRAMED WALL FIBRE CEMENT SHEETING
- GALVANIZED CUSTOM ORB ROOF @ 30° ROOF PITCH
- 2725mm CEILING HEIGHT
- TIMBER WINDOW FRAMES

PROPOSED:

- CONCRETE RAFT SLAB
- RE-ROOF IN COLORBOND CUSTOM ORB
- NEW ROOF COLORBOND CUSTOM ORB @ 35° ROOF PITCH
- RECYCLED FACE BRICK WORK TO SOUTHERN WALL
- EXISTING TIMBER FRAMED WALL RECLAD IN WEATHERBOARD
- NEW TIMBER FRAMED WALL -WEATHERBOARD CLADDING





X K Ø9.12.20 ENGINEERING REVIEW
Y L 18.01.21 ENGINEERING REVIEW
Y M 19.02.21 BUILDING APPROVAL AF
Y N Ø9.03.21 BUILDING APPROVAL AF
Y O 23.03.21 BUILDING APPROVAL AF

AMENDMENTS:
REY K @9.12.7
REY L 18.01.21
REY M 15.02.2
REY N 09.03.

EXISTING FLOOR PLAN

drawn: RICCADONNA DESIGN

STREET

46 SEWELL

8 N

7

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FREMANTL

EAST

25 March 202

ADDITION

GRENENGER ROPOSED α ઌૻ 4

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NOTE: DIMENSIONS ARE INDICATIVE ONLY. CHECK ON SITE PRIOR TO QUANTIFYING AND/OR **ORDERING**

GENERAL NOTES

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CLADDING
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FALLS TO SHOWER FLOORS 1:80 FALLS TO WET AREA FLOORS 1:100

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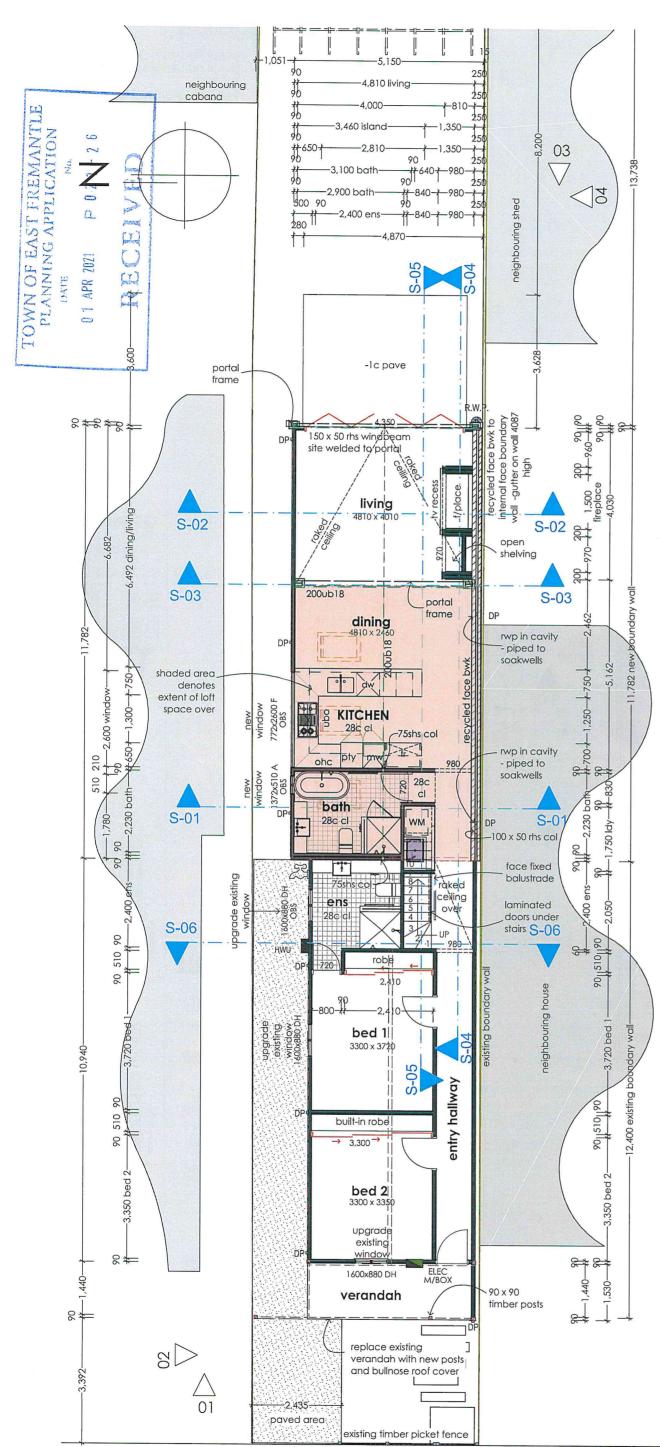
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PROPOSED FLOOR PLAN

CONSTRUCTION NOTES:

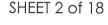
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- RECLAD IN WEATHERBOARD
- NEW TIMBER FRAMED WALL -

WEATHERBOARD CLADDING





K 09.12.2 L 18.01.21 M 15.02.2 N 09.03.

PROPOSED GROUND

drawn: RICCADONNA DESIGN FLOOR PLAN

ruвызн рате: Гhursday, 25 March 2021

ST FREMANTLE

ADDITION ROPOSED

STREET GRENENGER No 46 SEWELL α LOT 4

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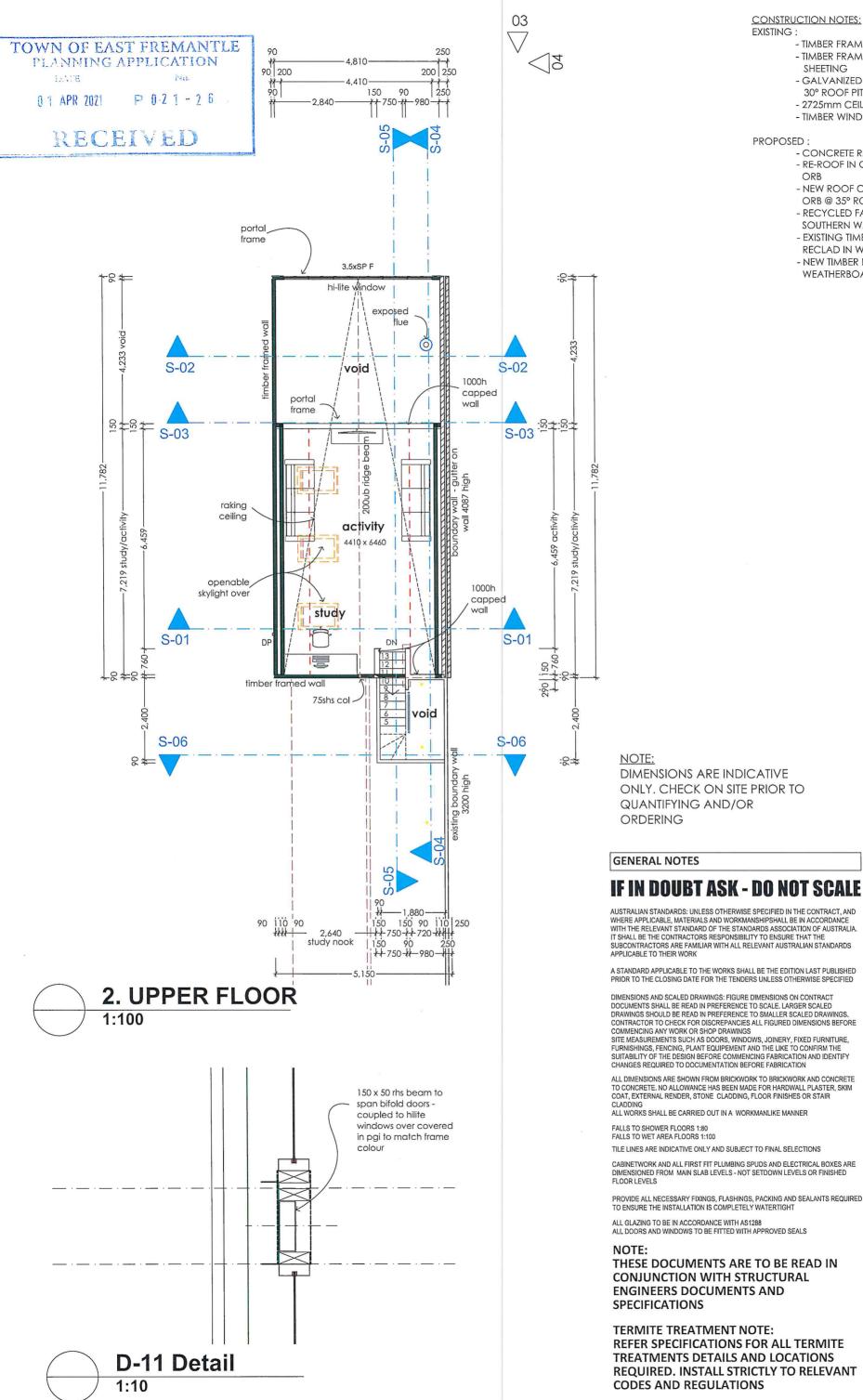
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TERMITE TREATMENT NOTE:



CONSTRUCTION NOTES:

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- SHEETING - GALVANIZED CUSTOM ORB ROOF @
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- RECLAD IN WEATHERBOARD
- NEW TIMBER FRAMED WALL -WEATHERBOARD CLADDING

SHEET 3 of 18



K 09.12.20 E L 18.01.21 EN M 15.02.21 B N 09.03.21 E

PROPOSED UPPER drawn: RICCADONNA DESIGN FLOOR PLAN

PUBLISH DATE: Thursday, 2

25 March 202

ROPOSED ADDITION

GRENENGER 2 య 4

2 No 46 SEWELL STREET

LOT

FREMANTLE

EAST I

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500

350

19

310-

ىن

100

100

334

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9

green shaded area

compressed fibre cement

sheeting over existing

framed floor (ensuite)

denotes extent of

ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

107

FALLS TO SHOWER FLOORS 1:80 FALLS TO WET AREA FLOORS 1:100

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140

191

350

300

600 x 600 x 280 slab thickening

hatched area denote extent of stepdown for tiled wet areas

> pink shaded area denotes extent of existing frame

replaced with concret raft

floor removed and

-timber framed stairs

NOTE:

pad footings @ -100mm refer engineers details PF1

portal fixed to footing @ -100mm 180UB16 portal

-5,010

5,010 slab edge-

yellow shaded area denoteS extent of existing

4,628 C/L between portal co

portal fixed to footing

at -100mm

PF2

P

200UB22 portal

q

30 655

-2,505 col setout

-1,100-

-2,490-

existing framed floor

-2,020-

slab removed

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TOWN OF EAST FREMANTLE PLANNING APPLICATION

DIMENSIONS ARE INDICATIVE

ONLY. CHECK ON SITE PRIOR

TO QUANTIFYING AND/OR

NOTE:

ORDERING

P 0.21 - 26 0 1 APR 2021

RECEIVED PROPOSED: CONCRETE RAFT SLAB RE-ROOF IN COLORBOND CUSTOM

SHEETING

30° ROOF PITCH

CONSTRUCTION NOTES:

EXISTING:

ORB - NEW ROOF COLORBOND CUSTOM

TIMBER FRAMED FLOOR

2725mm CEILING HEIGHT

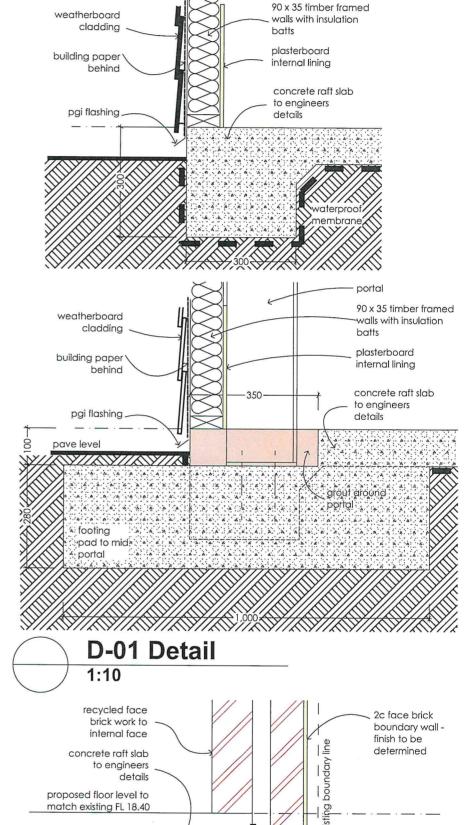
TIMBER WINDOW FRAMES

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WEATHERBOARD CLADDING



SLAB LAYOUT PLAN

PROPOSED RENOVATION

A & R GRENENGER

LOT 2 No 46 SEWELL STREET

EAST FREMANTLE

DRAWING TITLE:

SLAB LAYOUT

RICCADONNA DESIGN

PUBLISH DATE:

AMENDMENTS:

REV K 09.12.20 ENGINEERING REVIEW REV L 21.01.21 ENGINEERING REVIEW REV M 15.02.21 BUILDING APPROVAL APPLICATION

REV N 09.03.21 BUILDING APPROVAL APPLICATION REV 0 23.03.21 BUILDING APPROVAL APPLICATION

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Thursday, 25 March 2021

D:\Riccadonna Design\Dropbox\Jobs\Grenenger\Grenenger REV O.pln

D-02 Detail

1:10

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- WEATHERBOARD CLADDING

TOWN OF EAST FREMANTLE PLANNING APPLICATION

0 1 APR 2021

P 0-21-26

RECEIVED

power provision to outside DF fire isolator switch 300 300 1200 1200 3 300 LV DF dw gpo power provision to over r/h gp 7A550 DF HWU SD

LV LV 0 LV 🍱 350 BOO ± 350 300 300 LV DF 300 350 350 300

LV LOW VOLTAGE RECESSED CEILING LIGHT - LED H LV LOW VOLTAGE WALL LIGHT - LED ₩ P CEILING MOUNTED PENDANT LIGHT FITTING CEILING MOUNTED SINGLE FLUORO CEILING MOUNTED DOUBLE FLUORO F 💓 FLUMED EXHAUST CEILING FAN (SD) HARDWIRED SMOKE ALARM - BATTERY BACK UP LED STRIP LIGHTING DIMMER SWITCH 2WS 2 - WAY SWITCH 3WS 3 - WAY SWITCH D-1550 SINGLE GPO - NOMINATED HEIGHT AFL 300 DOUBLE GPO - NOMINATED HEIGHT AFL "||350 TV POINT - NOMINATED HEIGHT AFL ◀ 350 DATA POINT - NOMINATED HEIGHT AFL ◀ 350 PHONE POINT - NOMINATED HEIGHT AFL WP WATERPROOF CEILING FAN A/C RETURN AIR

UPPER FLOOR - ELECTRICAL 1:100

GROUND FLOOR - ELECTRICAL 1:100

ELEC M/BOX

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PROPOSED RENOVATION

A & R GRENENGER

LOT 2 No 46 SEWELL STREET

EAST FREMANTLE

ELECTRICAL PLANS

RICCADONNA DESIGN

Thursday, 25 March 2021

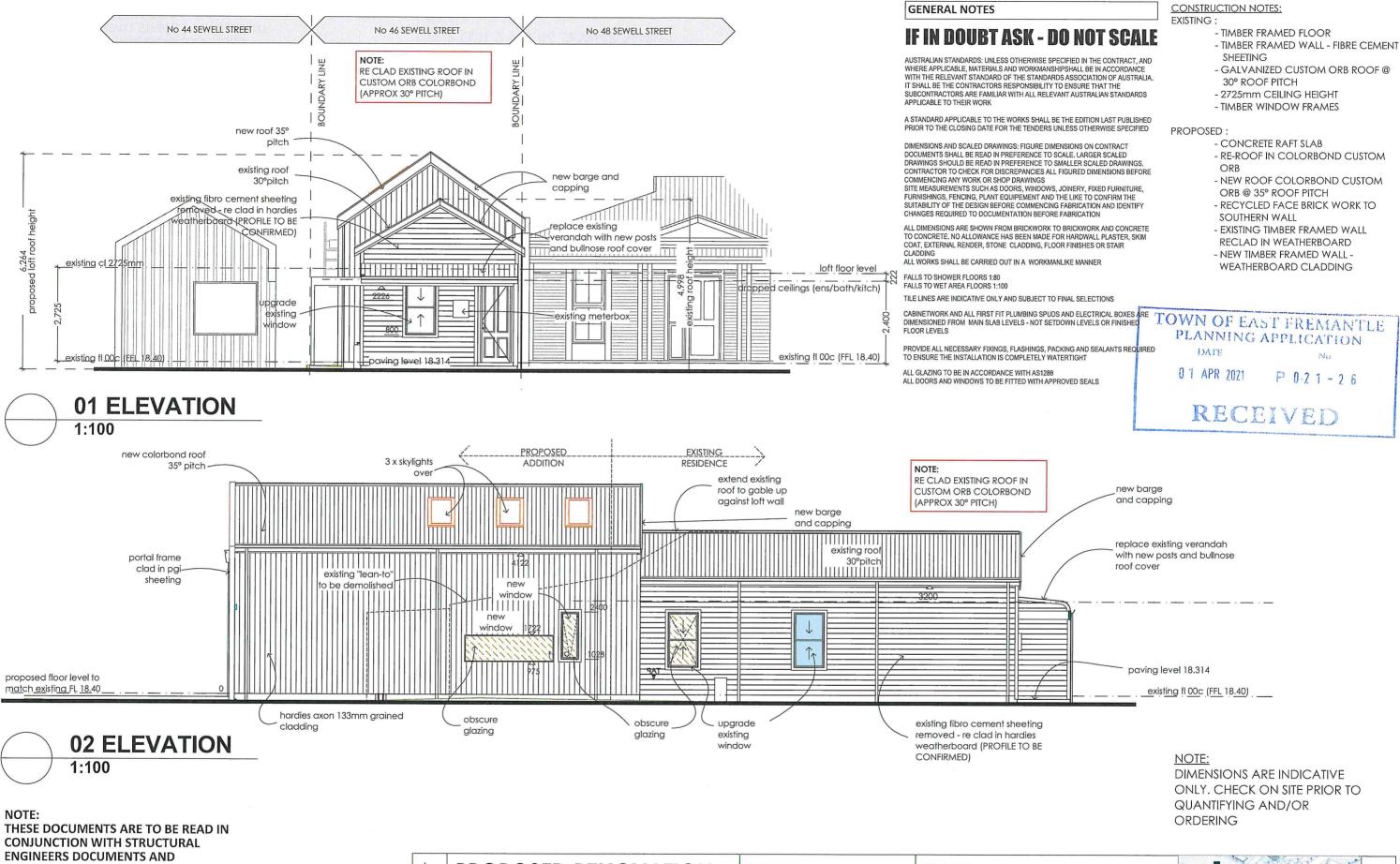
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REV L 21.01.21 ENGINEERING REVIEW

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A & R GRENENGER

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LOT 2 No 46 SEWELL STREET EAST FREMANTLE

DRAWING TITLE **ELEVATIONS**

DRAWN:

RICCADONNA DESIGN

Thursday, 25 March 2021

AMENDMENTS:

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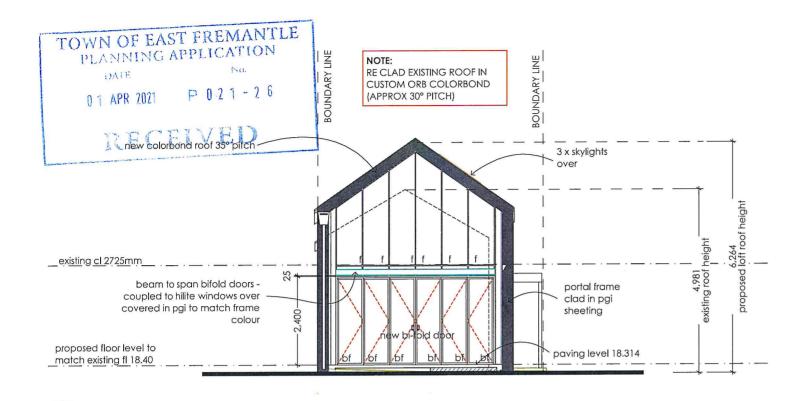
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SHEET



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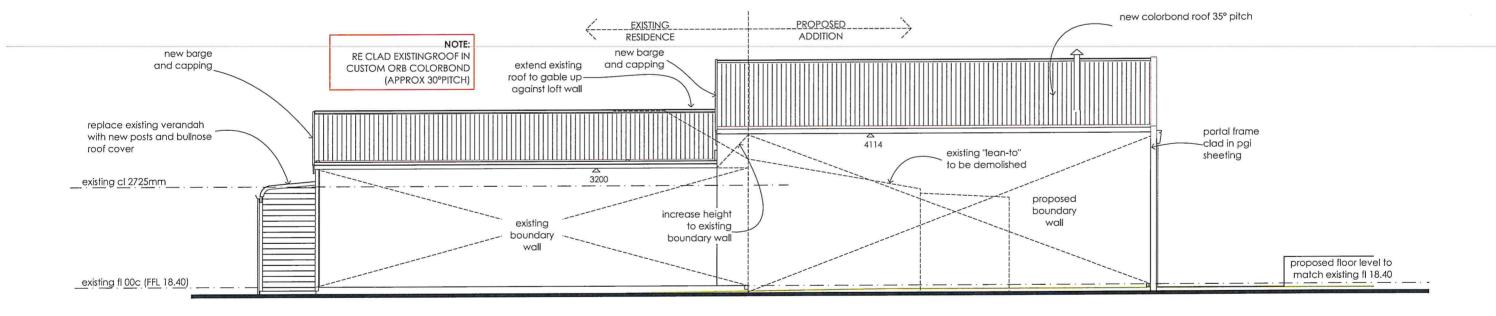
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03 ELEVATION

1:100

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LOT 2 No 46 SEWELL STREET EAST FREMANTLE

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DRAWING TITLE **ELEVATIONS 2**

RICCADONNA DESIGN

PUBLISH DATE: Thursday, 25 March 2021

REV K 09.12.20 ENGINEERING REVIEW

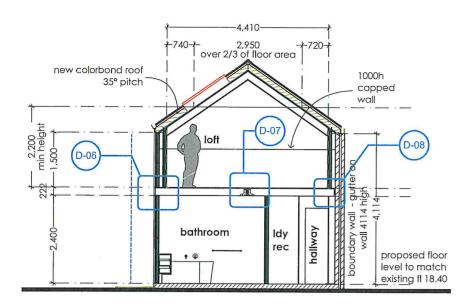
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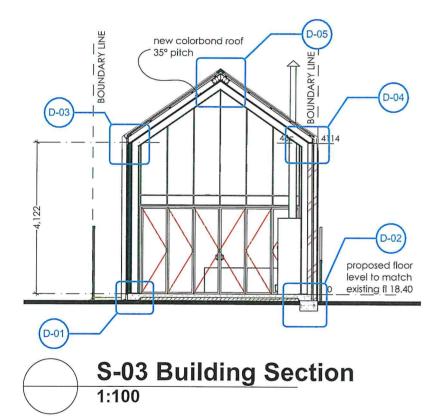
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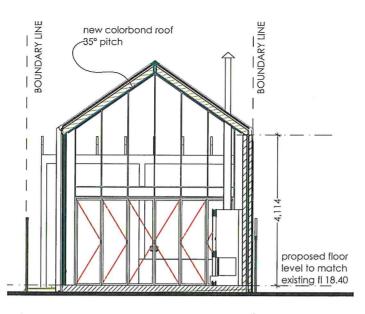


S-01 Building Section 1:100



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ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

FALLS TO SHOWER FLOORS 1:80

TILE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIONS

CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED

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CONSTRUCTION NOTES:

- TIMBER FRAMED FLOOR
- TIMBER FRAMED WALL FIBRE CEMENT SHEETING
- GALVANIZED CUSTOM ORB ROOF @ 30° ROOF PITCH
- 2725mm CEILING HEIGHT
- TIMBER WINDOW FRAMES

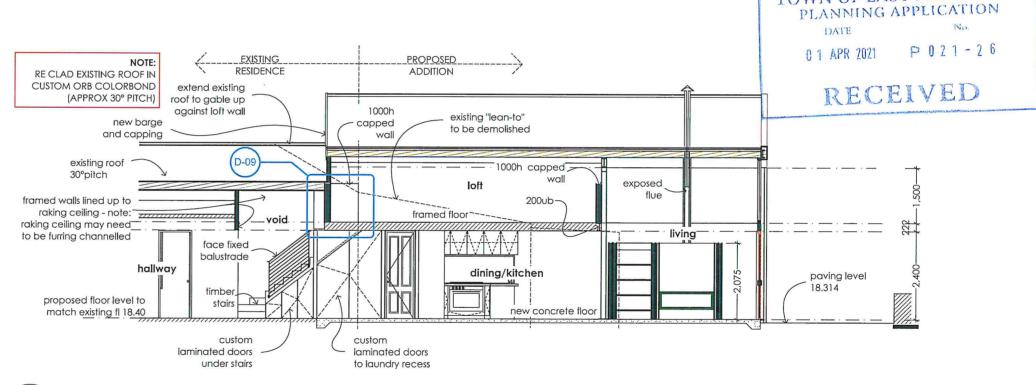
PROPOSED:

- CONCRETE RAFT SLAB
- RE-ROOF IN COLORBOND CUSTOM
- NEW ROOF COLORBOND CUSTOM ORB @ 35° ROOF PITCH
- RECYCLED FACE BRICK WORK TO SOUTHERN WALL
- EXISTING TIMBER FRAMED WALL RECLAD IN WEATHERBOARD
- NEW TIMBER FRAMED WALL -
- WEATHERBOARD CLADDING

NOTE:

DIMENSIONS ARE INDICATIVE ONLY, CHECK ON SITE PRIOR TO QUANTIFYING AND/OR **ORDERING**

TOWN OF EAST FREMANTLE



S-04 Building Section 1:100



LOT 2 No 46 SEWELL STREET EAST FREMANTLE

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DRAWING TITLE SECTIONS/DETAILS

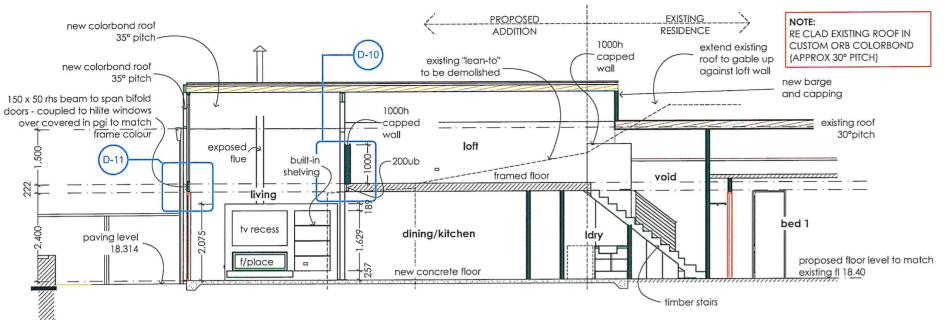
RICCADONNA DESIGN

Thursday, 25 March 2021

REY K 09.12.20 ENGINEERING REYIEW REY L 21.01.21 ENGINEERING REVIEW

REV M 15.02.21 BUILDING APPROVAL APPLICATION REV N 09.03.21 BUILDING APPROVAL APPLICATION REV 0 23.03.21 BUILDING APPROVAL APPLICATION





S-05 Building Section

- RECYCLED FACE BRICK WORK TO SOUTHERN WALL

- EXISTING TIMBER FRAMED WALL RECLAD IN WEATHERBOARD

- NEW TIMBER FRAMED WALL - WEATHERBOARD CLADDING

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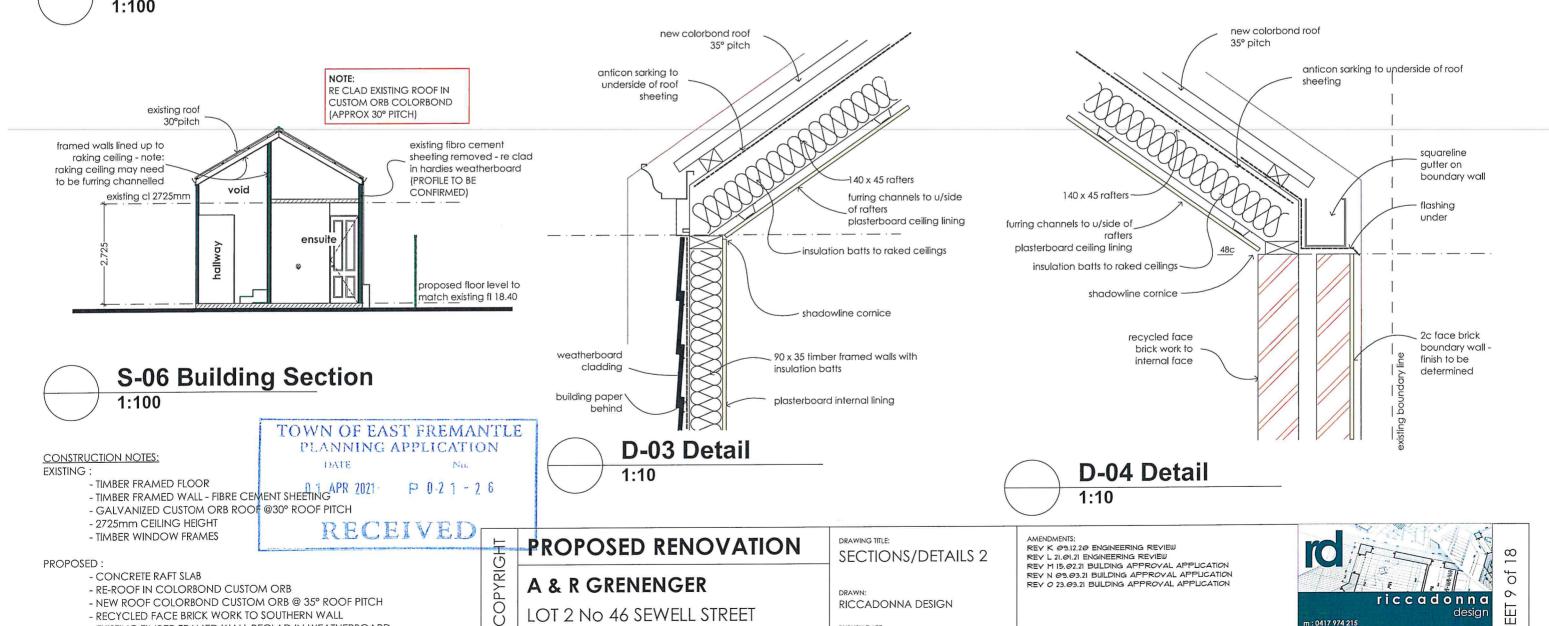
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LOT 2 No 46 SEWELL STREET

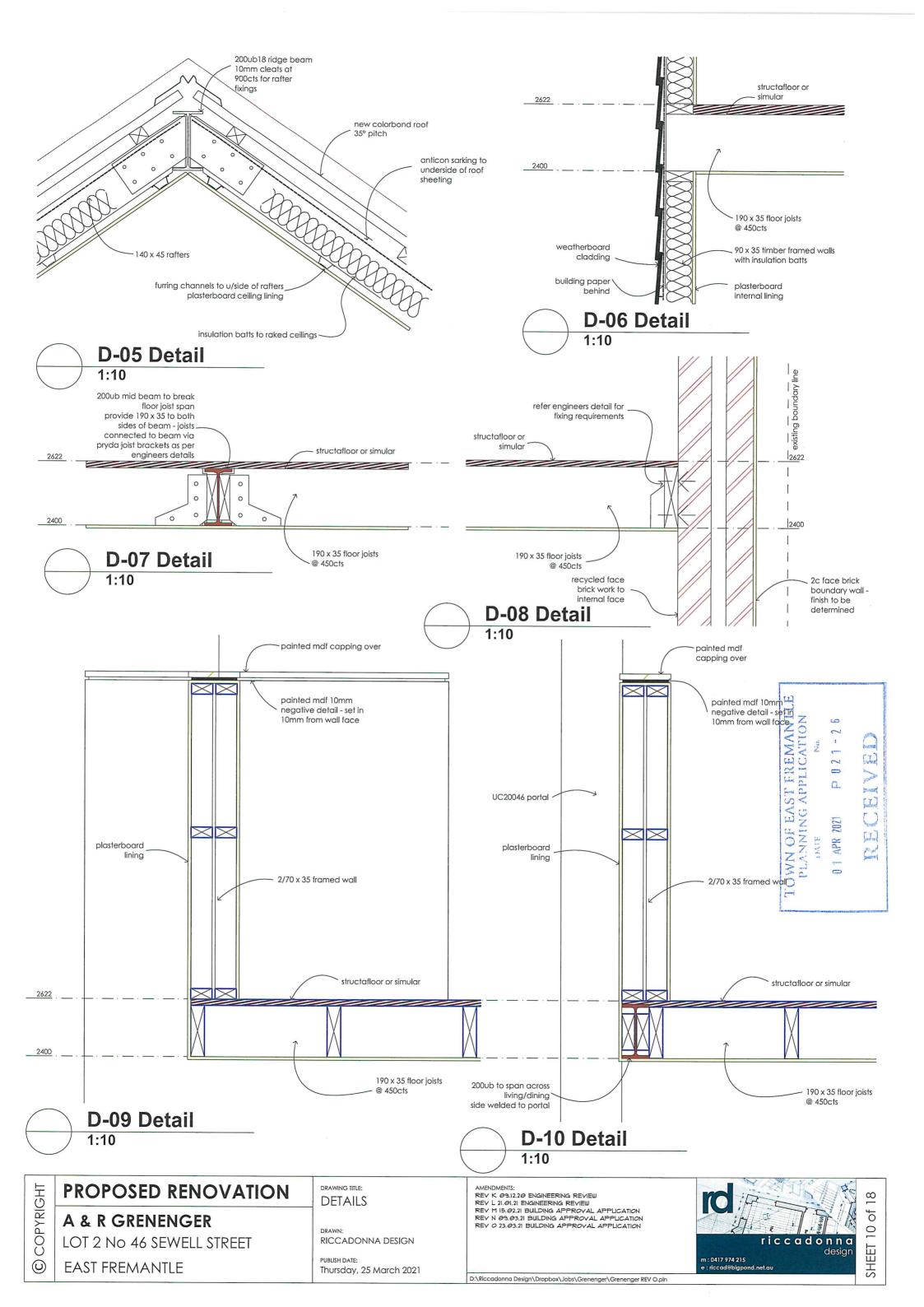
EAST FREMANTLE

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- RE-ROOF IN COLORBOND CUSTOM ORB

- NEW ROOF COLORBOND CUSTOM

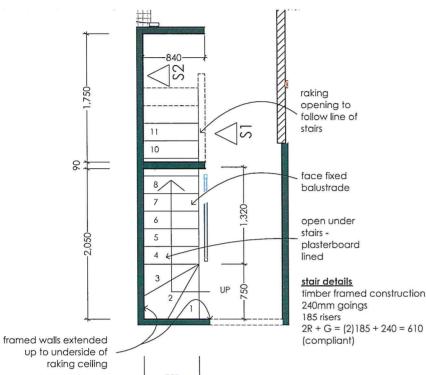
ORB @ 35° ROOF PITCH

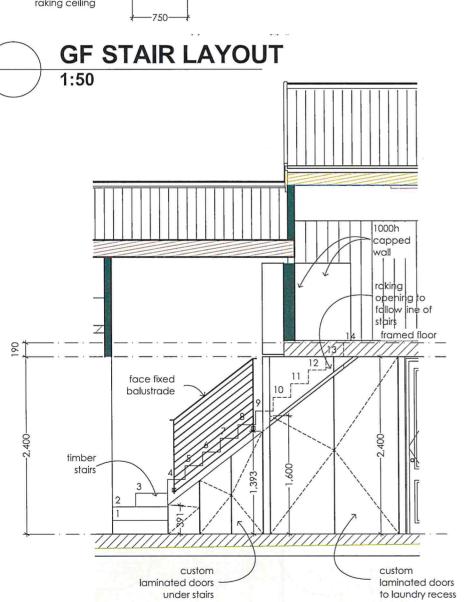
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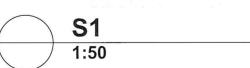
- EXISTING TIMBER FRAMED WALL

RECLAD IN WEATHERBOARD

- NEW TIMBER FRAMED WALL -WEATHERBOARD CLADDING







150wide framed balustrade 13 12 11 10 8 void 5 3 framed walls extended up to underside of raking ceiling 750

P 0-21-26

RECEIVED

NOTE: DIMENSIONS ARE INDICATIVE ONLY. CHECK ON SITE PRIOR TO QUANTIFYING AND/OR **ORDERING**

face fixed balustrade

stair details

timber framed construction 240mm goings

2R + G = (2)185 + 240 = 610(compliant)

UF STAIR LAYOUT 1:50 1000h capped 1// 12 11 framed walls plasterboard timber lined to underside of stairs stairs open under stairs plasterboard lined

PROPOSED RENOVATION

A & R GRENENGER

LOT 2 No 46 SEWELL STREET

PUBLISH DATE: Thursday, 25 March 2021

DRAWING TITLE:

STAIR LAYOUTS

RICCADONNA DESIGN

AMENDMENTS: REV K 09.12.20 ENGINEERING REVIEW

S2

1:50

REV L 21.01.21 ENGINEERING REVIEW

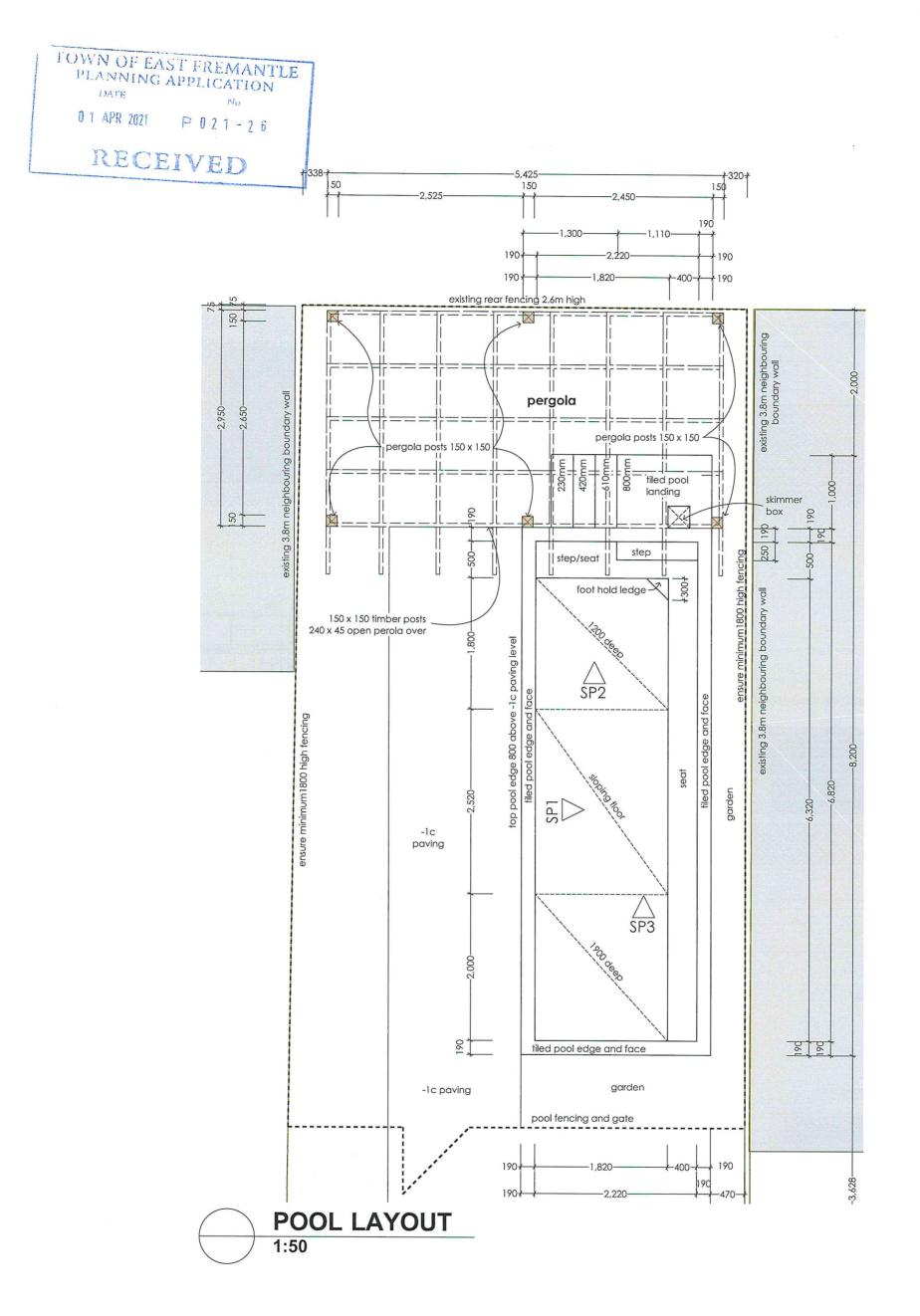
REV M 15.02.21 BUILDING APPROVAL APPLICATION

REV N 09.03.21 BUILDING APPROVAL APPLICATION REV O 23.03.21 BUILDING APPROVAL APPLICATION e:riccad@bigpond.net.au EET

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PROPOSED RENOVATION

A & R GRENENGER

LOT 2 No 46 SEWELL STREET

EAST FREMANTLE

POOL LAYOUT

RICCADONNA DESIGN

PUBLISH DATE: Thursday, 25 March 2021 AMENDMENTS:

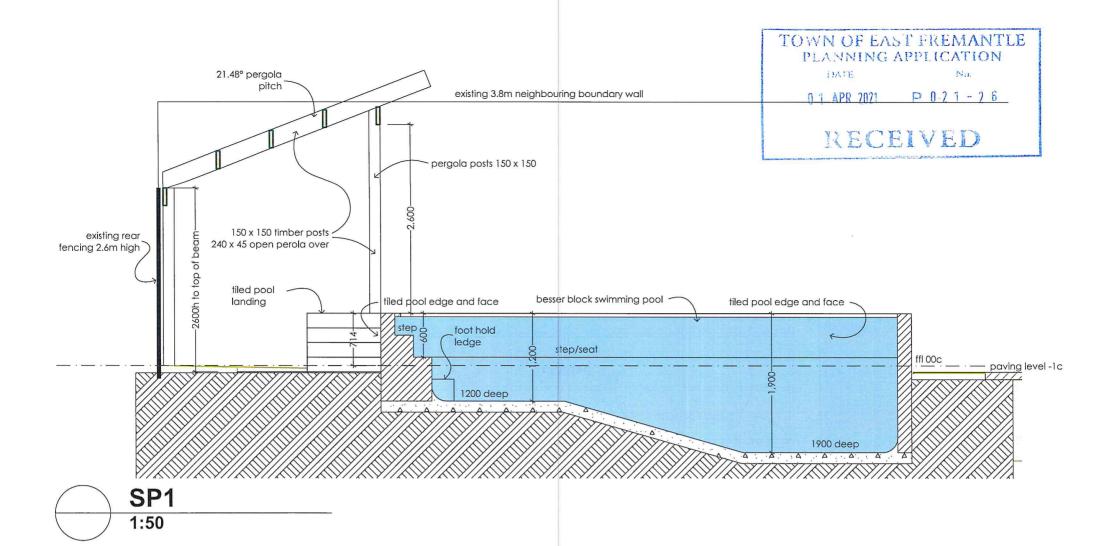


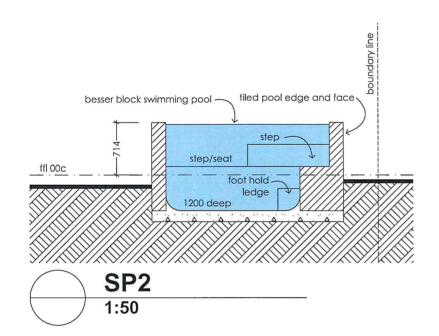
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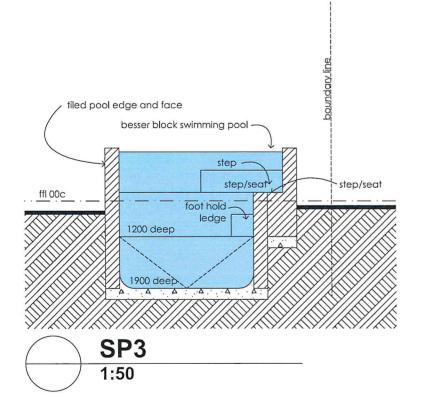


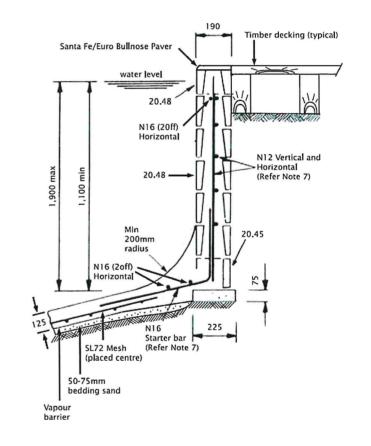
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YRI	PROPOSED RENOVATION
	A & R GRENENGER
00	LOT 2 No 46 SEWELL STREET

EAST FREMANTLE

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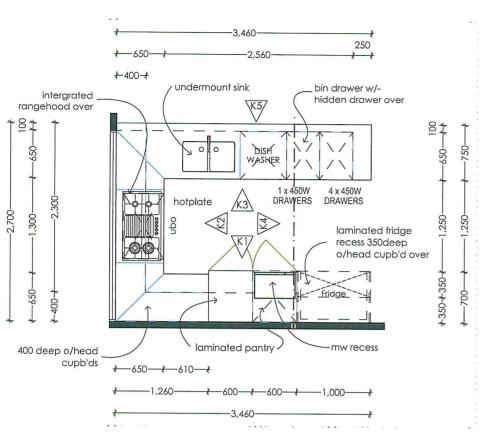
DRAWING TITLE: POOL LAYOUT 2

RICCADONNA DESIGN

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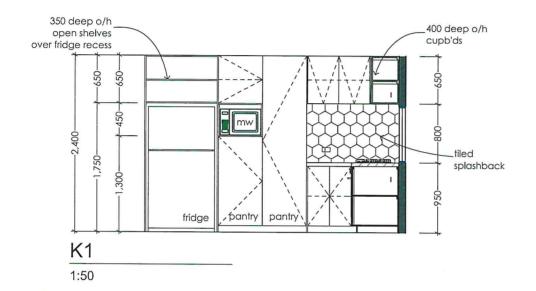




TOWN OF EAST FREMANTLE
PLANNING APPLICATION
DATE
01 APR 2021 P 0-2 1 - 2 6
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KITCHEN LAYOUT

1:50



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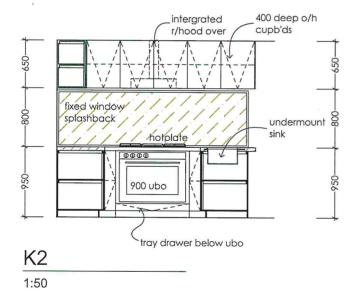
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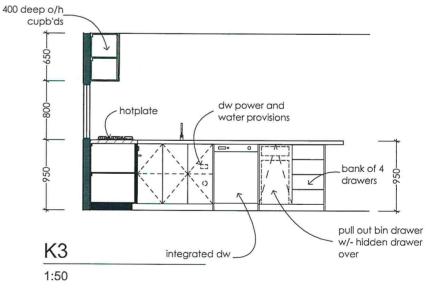
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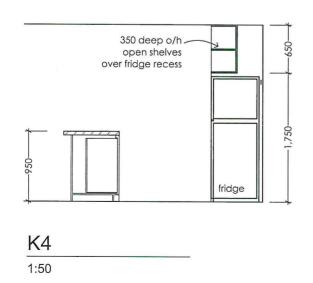
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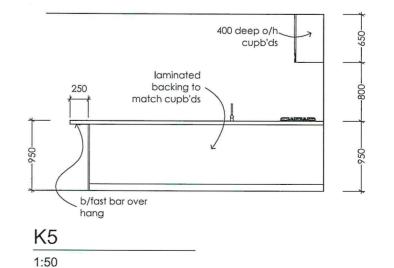
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PROPOSED RENOVATION

A & R GRENENGER

LOT 2 No 46 SEWELL STREET

EAST FREMANTLE

ROOM LAYOUTS

DRAWING TITLE

drawn: RICCADONNA DESIGN

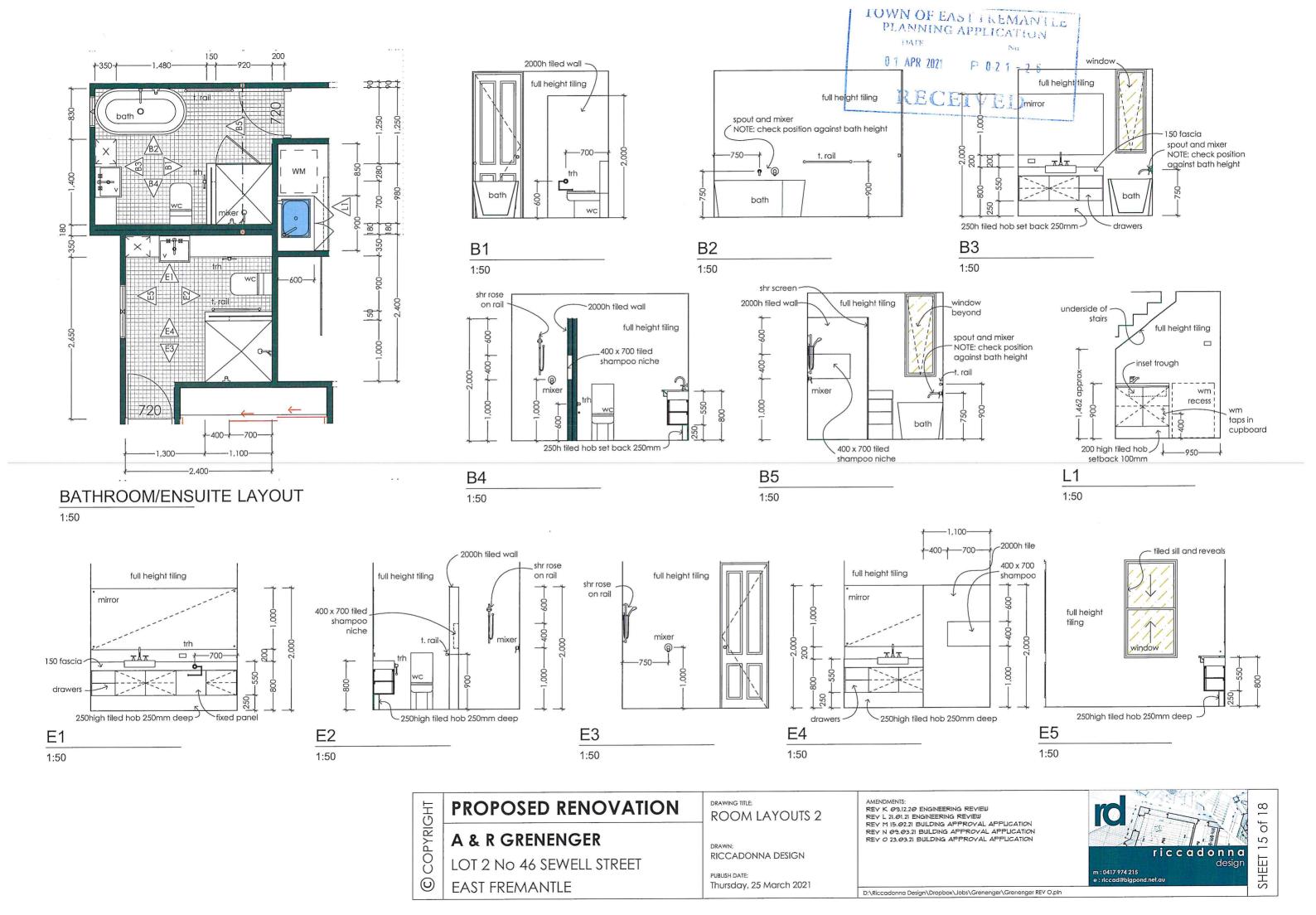
PUBLISH DATE: Thursday, 25 March 2021 REV K 09.12.20 ENGINEERING REVIEW REV L 21.01.21 ENGINEERING REVIEW REV M 15.02.21 BUILDING APPROVAL

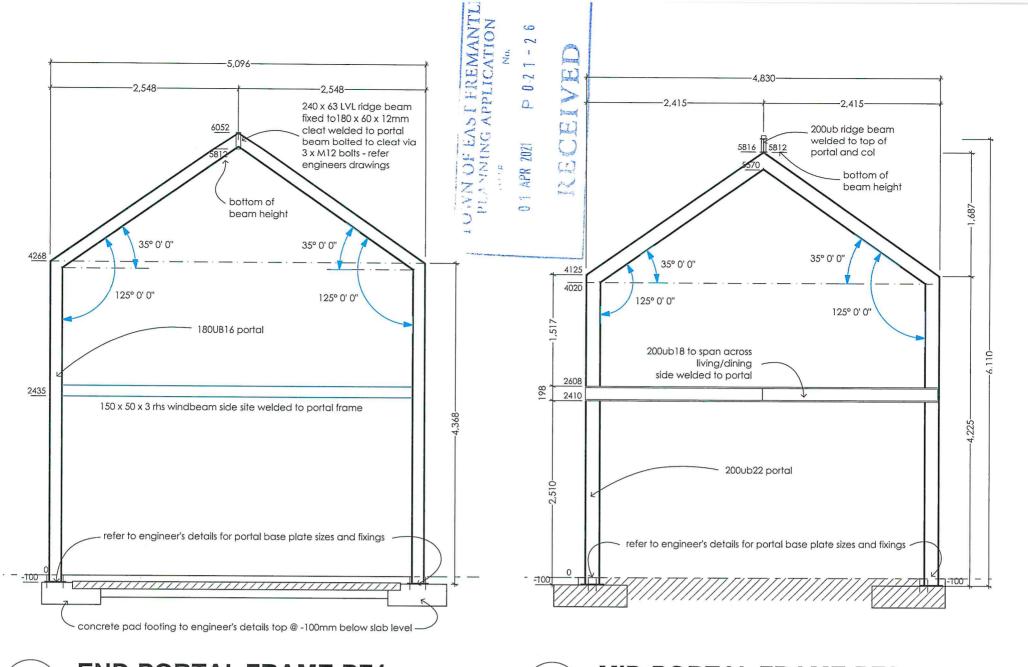
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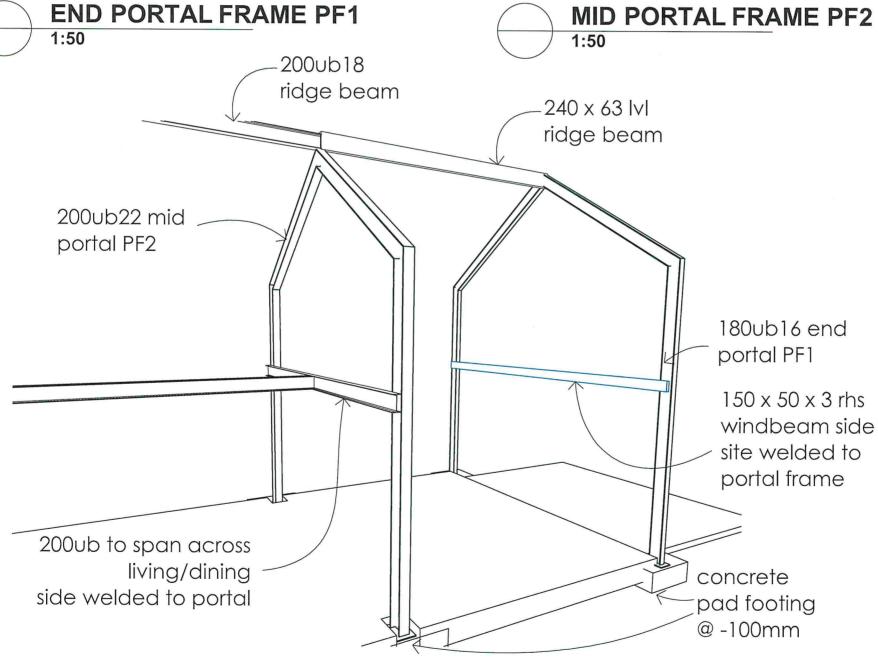
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HEET 14 of 1

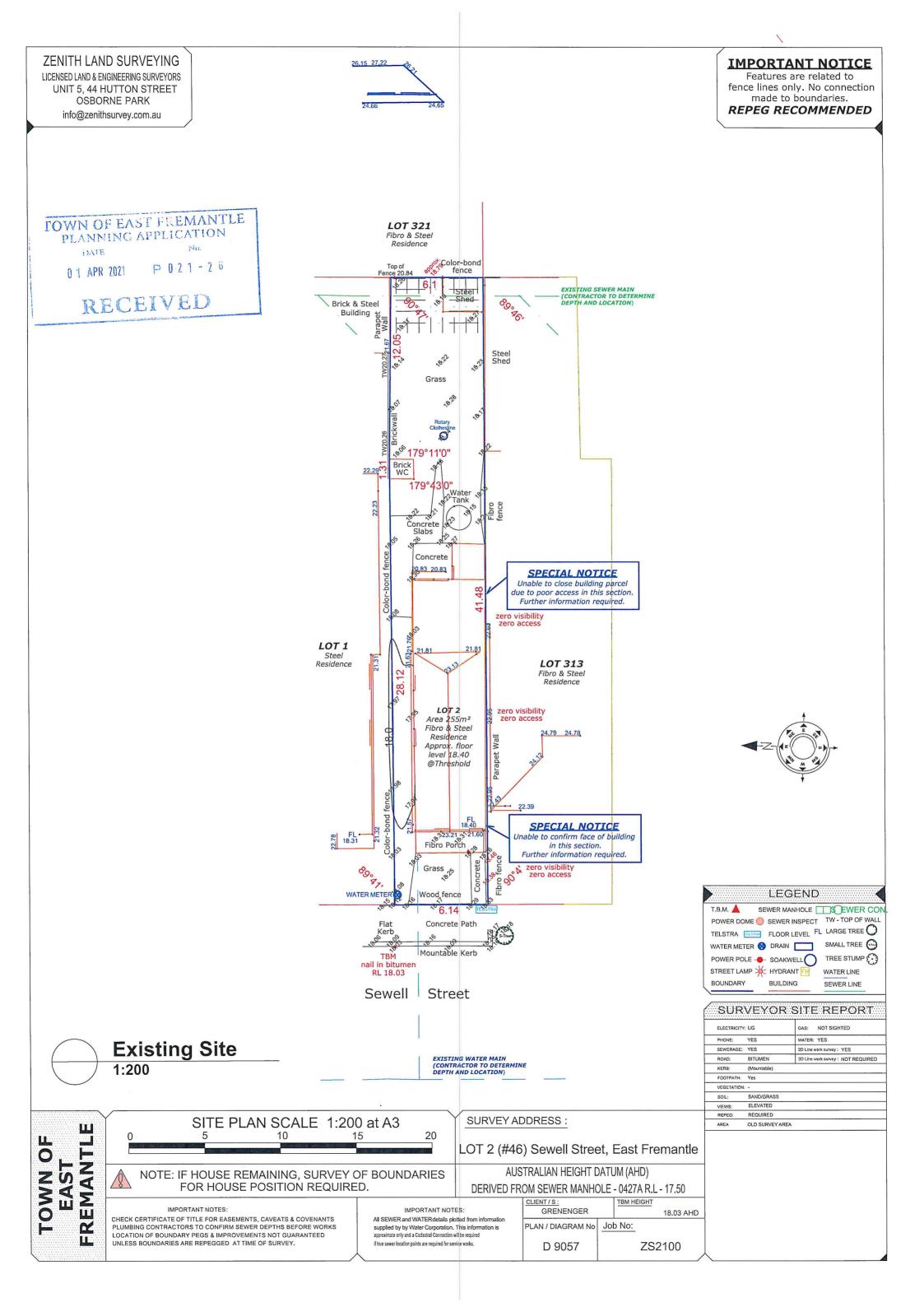






PORTAL FRAME PERSPECTIVE

PROPOSED RENOVATION COPYRIGHT DRAWING TITLE: AMENDMENTS: REV K 09.12.20 ENGINEERING REVIEW REV L 21.01.21 ENGINEERING REVIEW REV M 15.02.21 BUILDING APPROVAL APPLICATION PORTAL FRAMES REV N 09.03.21 BUILDING APPROVAL APPLICATION REV 0 23.03.21 BUILDING APPROVAL APPLICATION A & R GRENENGER DRAWN: LOT 2 No 46 SEWELL STREET RICCADONNA DESIGN m: 0417 974 215 PUBLISH DATE: 0 EAST FREMANTLE Thursday, 25 March 2021 D:\Riccadonna Design\Dropbox\Jobs\Grenenger\Grenenger REV O.pln



ZENITH LAND SURVEYING 26.15 27,22 **IMPORTANT NOTICE** LICENSED LAND & ENGINEERING SURVEYORS Features are related to UNIT 5, 44 HUTTON STREET fence lines only. No connection OSBORNE PARK made to boundaries. REPEG RECOMMENDED info@zenithsurvey.com.au **NEIGHBOURING PROPERTY** Lot 313 No 48 Sewell Street East Fremantle Area - 508m² TOWN OF EAST FREMANTLE Zoning R20 PLANNING APPLICATION LOT 321 **OVERSHADOWING** Fibro & Steel Residence (21st June @ 12pm) 25% max overshadowing allowed P 0-21-26 0 1 APR 2021 Existing Residence shadow cast - 96m² (18.89%) Color-bond fence New Residence shadow cast - 140m² (27.5%) Top of RECEIVED EXISTING SEWER MAIN
(CONTRACTOR TO DETERMINE
DEPTH AND LOCATION) 80° 80' Brick & Steel Building Steel Shed 13,853 EXTENT OF EXISTING HOUSE DEMOLISHED # 009'2 074 PROPOSED NEW ADDITION RL 18.30 79°11'0" 1816 V 975 proposed residence PROPOSED overshadowing cast NEW **ADDITION** FFL 18.40 SPECIAL NOTICE 0 Unable to close building parcel due to poor access in this section.

Further information required. existing residence overshadowing 1,055 cast LOT 1 Steel LOT 313 Fibro & Steel Residence LOT 2 zero visibility zero access Area 255m² Fibro & Steel 24.79 24.78 Residence Approx. floor @Threshold SPECIAL NOTICE FL 18.31 Unable to confirm face of building Fibro Porch if this section. o control in the cont Further information required. Grass LEGEND WATER METER Wood fence 6.14 SEWER MANHOLE SEWER CON Flat Kerb POWER DOME SEWER INSPECT TW - TOP OF WALL Concrete Path TELSTRA FLOOR LEVEL FL LARGE TREE SMALL TREE WATER METER 🔞 DRAIN 📘 Mountable Kerb TBM TREE STUMP POWER POLE - SOAKWELL nail in bitumen RL 18.03 STREET LAMP HYDRANT FH WATER LINE BOUNDARY BUILDING SEWER LINE R20 ZONING Sewell | Street SITE AREA - 255SQM SURVEYOR SITE REPORT ALLOWABLE OPENSPACE = min 50% (127.5SQM) YES WATER: YES EXISTING & PROPOSED FLOOR AREA = 120.19sqm SEWERAGE: YES 2D Line work survey: YES EXISTING WATER MAIN (CONTRACTOR TO DETERMINE DEPTH AND LOCATION) 52.86% open space BITUMEN 3D Line work survey: NOT REQUIRED KERB: (Mountable) FOOTPATH: Yes VEGETATION: -SOIL: SAND/GRASS VIEWS ELEVATED REPEG: REQUIRED SITE PLAN SCALE 1:200 at A3 SURVEY ADDRESS: OLD SURVEY AREA EAST FREMANTLE 20 TOWN OF LOT 2 (#46) Sewell Street, East Fremantle AUSTRALIAN HEIGHT DATUM (AHD) NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES FOR HOUSE POSITION REQUIRED. DERIVED FROM SEWER MANHOLE - 0427A R.L - 17.50 CLIENT / S: TBM HEIGHT IMPORTANT NOTES: IMPORTANT NOTES: GRENENGER 18.03 AHD CHECK CERTIFICATE OF TITLE FOR EASEMENTS, CAVEATS & COVENANTS All SEWER and WATERdetails plotted from information PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE WORKS
LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED PLAN / DIAGRAM No Job No: supplied by by Water Corporation. This information is oximate only and a Cadastral Connection will be required UNLESS BOUNDARIES ARE REPEGGED ATTIME OF SURVEY. if true sewer location points are required for service works. D 9057 ZS2100