

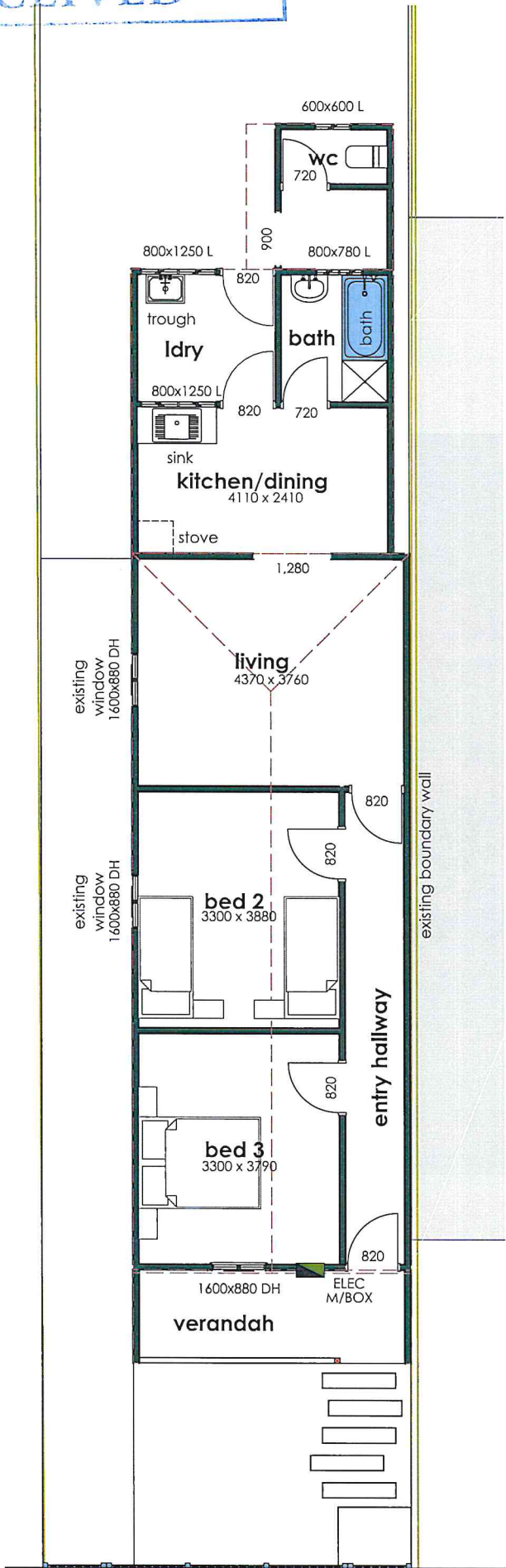
PROPOSED ADDITION

BUILDING APPROVAL APPLICATION REV O

A & R GRENENGER
LOT 2 No 46 SEWELL STREET, EAST FREMANTLE
TOWN OF EAST FREMANTLE



TOWN OF EAST FREMANTLE
PLANNING APPLICATION
01 APR 2021 P 0-21-26
RECEIVED



EXISTING GROUND FLOOR
1:100

- CONSTRUCTION NOTES:**
- EXISTING :**
- TIMBER FRAMED FLOOR
 - TIMBER FRAMED WALL - FIBRE CEMENT SHEETING
 - GALVANIZED CUSTOM ORB ROOF @ 30° ROOF PITCH
 - 2725mm CEILING HEIGHT
 - TIMBER WINDOW FRAMES
- PROPOSED :**
- CONCRETE RAFT SLAB
 - RE-ROOF IN COLORBOND CUSTOM ORB
 - NEW ROOF COLORBOND CUSTOM ORB @ 35° ROOF PITCH
 - RECYCLED FACE BRICK WORK TO SOUTHERN WALL
 - EXISTING TIMBER FRAMED WALL RECLAD IN WEATHERBOARD
 - NEW TIMBER FRAMED WALL - WEATHERBOARD CLADDING

NOTE:
DIMENSIONS ARE INDICATIVE ONLY. CHECK ON SITE PRIOR TO QUANTIFYING AND/OR ORDERING

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS: UNLESS OTHERWISE SPECIFIED IN THE CONTRACT, AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK

A STANDARD APPLICABLE TO THE WORKS SHALL BE THE EDITION LAST PUBLISHED PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED

DIMENSIONS AND SCALED DRAWINGS: FIGURE DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. LARGER SCALED DRAWINGS SHOULD BE READ IN PREFERENCE TO SMALLER SCALED DRAWINGS. CONTRACTOR TO CHECK FOR DISCREPANCIES ALL FIGURED DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS
SITE MEASUREMENTS SUCH AS DOORS, WINDOWS, JOINERY, FIXED FURNITURE, FURNISHINGS, FENCING, PLANT EQUIPMENT AND THE LIKE TO CONFIRM THE SUITABILITY OF THE DESIGN BEFORE COMMENCING FABRICATION AND IDENTIFY CHANGES REQUIRED TO DOCUMENTATION BEFORE FABRICATION

ALL DIMENSIONS ARE SHOWN FROM BRICKWORK TO BRICKWORK AND CONCRETE TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HARDWALL PLASTER, SKIM COAT, EXTERNAL RENDER, STONE CLADDING, FLOOR FINISHES OR STAIR CLADDING
ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

FALLS TO SHOWER FLOORS 1:80
FALLS TO WET AREA FLOORS 1:100
TILE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIONS

CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS

PROVIDE ALL NECESSARY FIXINGS, FLASHINGS, PACKING AND SEALANTS REQUIRED TO ENSURE THE INSTALLATION IS COMPLETELY WATERTIGHT

ALL GLAZING TO BE IN ACCORDANCE WITH AS1288
ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

SHEET 1 of 18

riccadonna
design
m : 0417 974 215
e : riced@bigpond.net.au

AMENDMENTS:
REV K 09/12/20 ENGINEERING REVIEW
REV L 18/01/21 ENGINEERING REVIEW
REV M 15/02/21 BUILDING APPROVAL APPLICATION
REV N 09/03/21 BUILDING APPROVAL APPLICATION
REV O 23/03/21 BUILDING APPROVAL APPLICATION

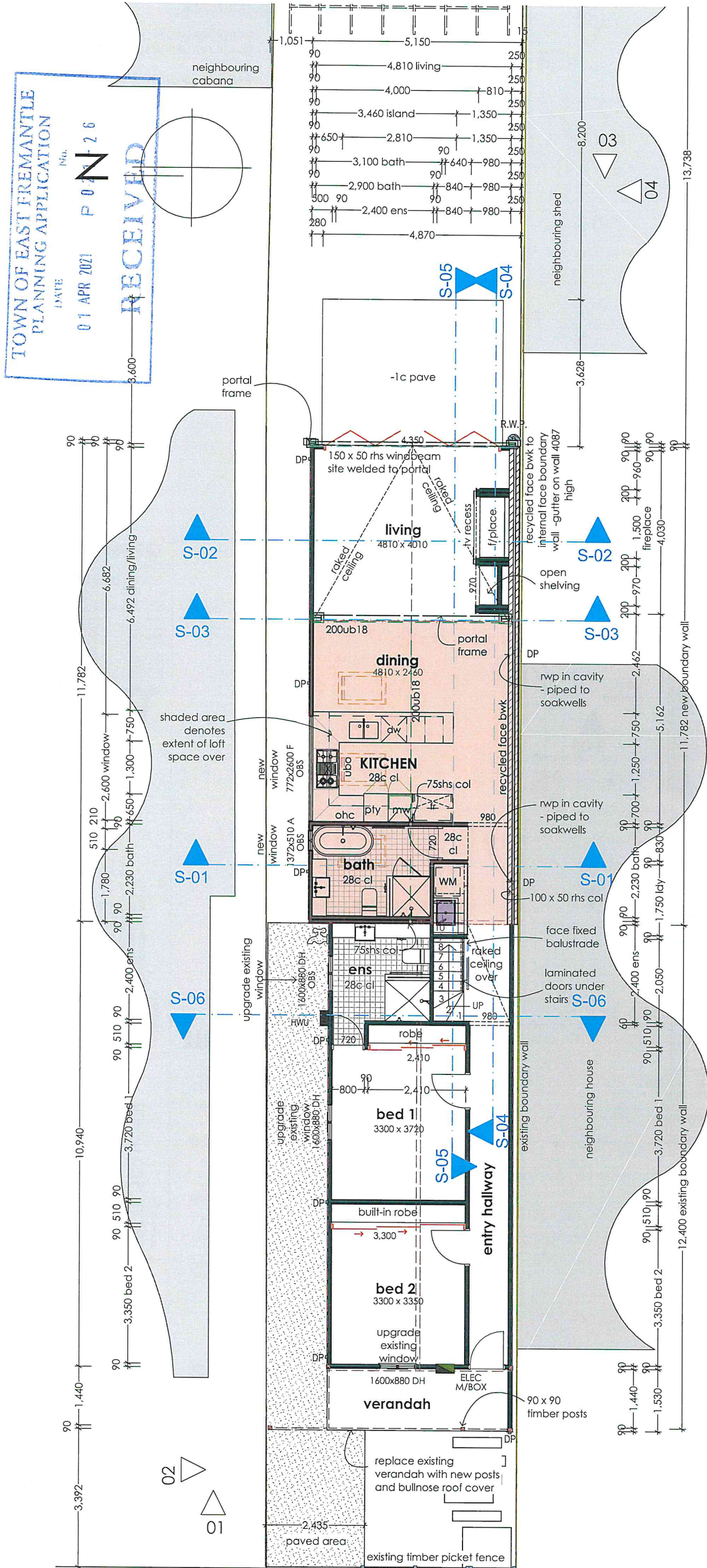
D:\Riccadonna Design\Dropbox\Jobst\Grenenger\Grenenger REV O.pln

DRAWING TITLE:
EXISTING FLOOR PLAN
DRAWN:
RICCADONNA DESIGN
PUBLISH DATE:
Thursday, 25 March 2021

PROPOSED ADDITION

A & R GRENINGER
LOT 2 No 46 SEWELL STREET
EAST FREMANTLE

COPYRIGHT ©



- CONSTRUCTION NOTES:
- EXISTING :
- TIMBER FRAMED FLOOR
 - TIMBER FRAMED WALL - FIBRE CEMENT SHEETING
 - GALVANIZED CUSTOM ORB ROOF @ 30° ROOF PITCH
 - 2725mm CEILING HEIGHT
 - TIMBER WINDOW FRAMES
- PROPOSED :
- CONCRETE RAFT SLAB
 - RE-ROOF IN COLORBOND CUSTOM ORB
 - NEW ROOF COLORBOND CUSTOM ORB @ 35° ROOF PITCH
 - RECYCLED FACE BRICK WORK TO SOUTHERN WALL
 - EXISTING TIMBER FRAMED WALL RECLAD IN WEATHERBOARD
 - NEW TIMBER FRAMED WALL - WEATHERBOARD CLADDING

NOTE:
DIMENSIONS ARE INDICATIVE ONLY. CHECK ON SITE PRIOR TO QUANTIFYING AND/OR ORDERING

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS: UNLESS OTHERWISE SPECIFIED IN THE CONTRACT, AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK

A STANDARD APPLICABLE TO THE WORKS SHALL BE THE EDITION LAST PUBLISHED PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED

DIMENSIONS AND SCALED DRAWINGS: FIGURE DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. LARGER SCALED DRAWINGS SHOULD BE READ IN PREFERENCE TO SMALLER SCALED DRAWINGS. CONTRACTOR TO CHECK FOR DISCREPANCIES ALL FIGURED DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS

SITE MEASUREMENTS SUCH AS DOORS, WINDOWS, JOINERY, FIXED FURNITURE, FURNISHINGS, FENCING, PLANT EQUIPMENT AND THE LIKE TO CONFIRM THE SUITABILITY OF THE DESIGN BEFORE COMMENCING FABRICATION AND IDENTIFY CHANGES REQUIRED TO DOCUMENTATION BEFORE FABRICATION

ALL DIMENSIONS ARE SHOWN FROM BRICKWORK TO BRICKWORK AND CONCRETE TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HARDWALL PLASTER, SKIM COAT, EXTERNAL RENDER, STONE CLADDING, FLOOR FINISHES OR STAIR CLADDING

ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

FALLS TO SHOWER FLOORS 1:80
FALLS TO WET AREA FLOORS 1:100

TILE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIONS

CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS

PROVIDE ALL NECESSARY FIXINGS, FLASHINGS, PACKING AND SEALANTS REQUIRED TO ENSURE THE INSTALLATION IS COMPLETELY WATERTIGHT

ALL GLAZING TO BE IN ACCORDANCE WITH AS1288
ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

SHEET 2 of 18

rd
riccadonna design
m : 0417 974 215
e : riccadonna@bigpond.net.au

AMENDMENTS:
REV K 09.12.20 ENGINEERING REVIEW
REV L 18.01.21 ENGINEERING REVIEW
REV M 15.02.21 BUILDING APPROVAL APPLICATION
REV N 09.03.21 BUILDING APPROVAL APPLICATION
REV O 23.03.21 BUILDING APPROVAL APPLICATION

D:\Riccadonna Design\Dropbox\Jobs\Grenenger\Grenenger REV O.dwg

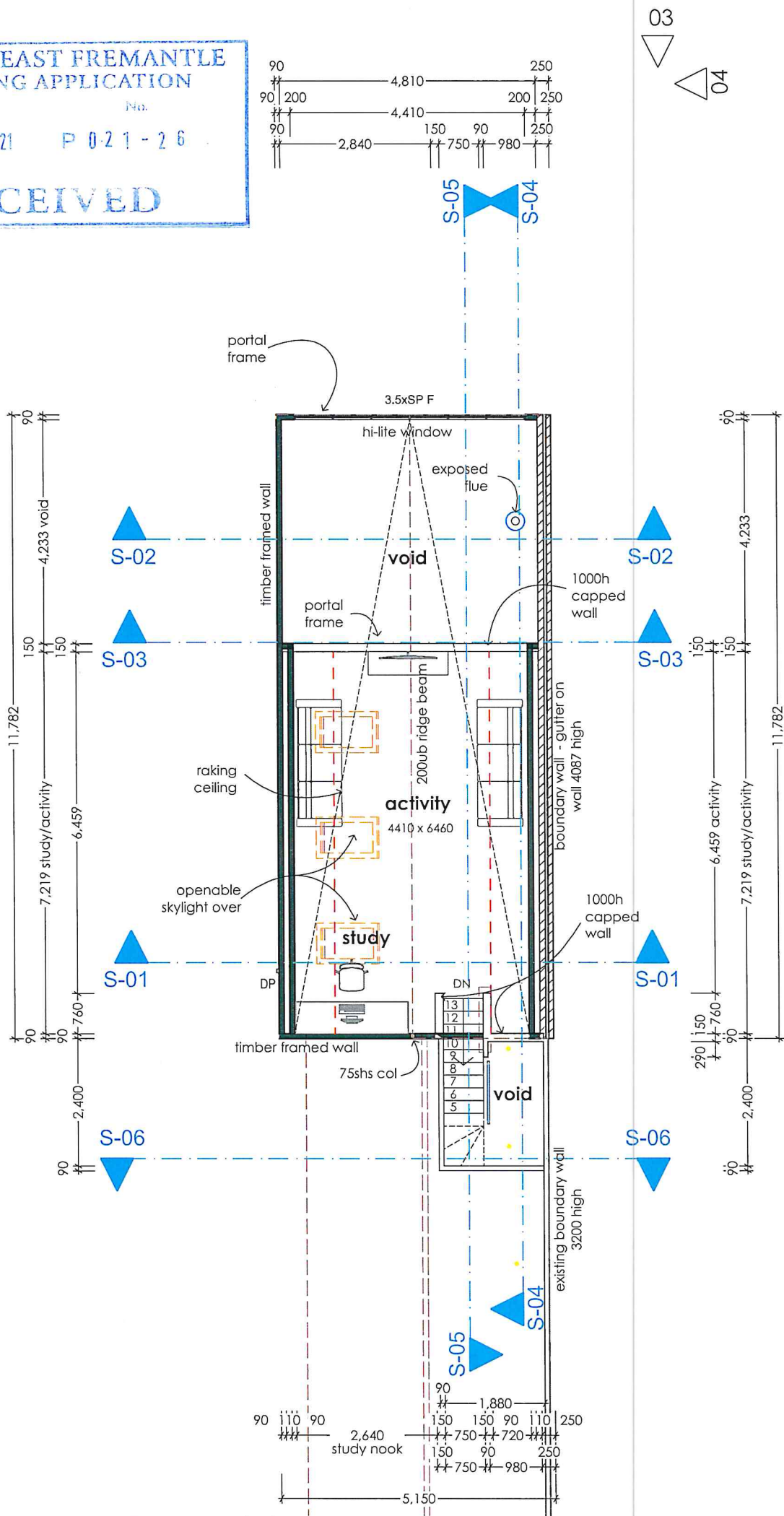
DRAWING TITLE:
PROPOSED GROUND
FLOOR PLAN

DRAWN:
RICCADONNA DESIGN

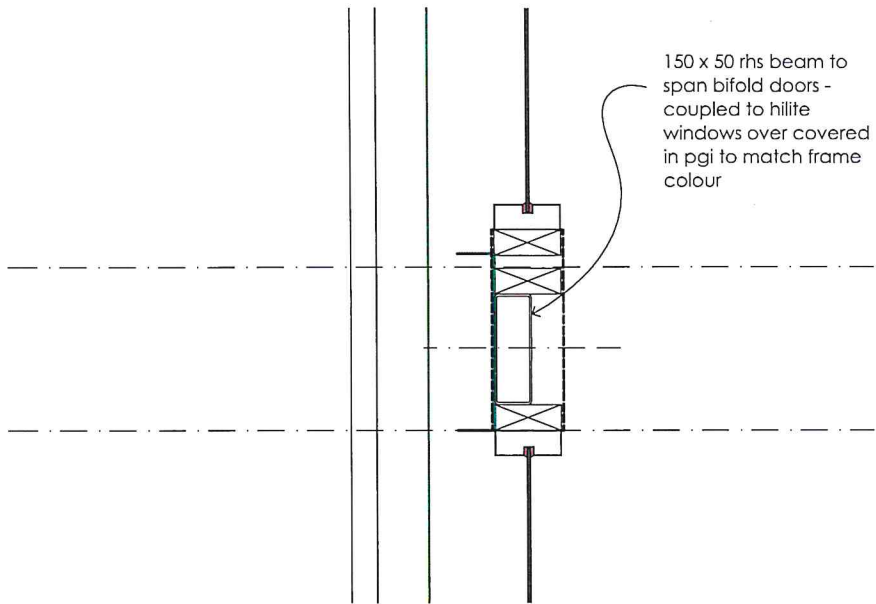
PUBLISH DATE:
Thursday, 25 March 2021

PROPOSED ADDITION
A & R GRENENGER
LOT 2 NO 46 SEWELL STREET
EAST FREMANTLE

COPYRIGHT ©



2. UPPER FLOOR
1:100



D-11 Detail
1:10

- CONSTRUCTION NOTES:
- EXISTING :
- TIMBER FRAMED FLOOR
 - TIMBER FRAMED WALL - FIBRE CEMENT SHEETING
 - GALVANIZED CUSTOM ORB ROOF @ 30° ROOF PITCH
 - 2725mm CEILING HEIGHT
 - TIMBER WINDOW FRAMES
- PROPOSED :
- CONCRETE RAFT SLAB
 - RE-ROOF IN COLORBOND CUSTOM ORB
 - NEW ROOF COLORBOND CUSTOM ORB @ 35° ROOF PITCH
 - RECYCLED FACE BRICK WORK TO SOUTHERN WALL
 - EXISTING TIMBER FRAMED WALL RECLAD IN WEATHERBOARD
 - NEW TIMBER FRAMED WALL - WEATHERBOARD CLADDING

NOTE:
DIMENSIONS ARE INDICATIVE ONLY. CHECK ON SITE PRIOR TO QUANTIFYING AND/OR ORDERING

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS: UNLESS OTHERWISE SPECIFIED IN THE CONTRACT, AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK

A STANDARD APPLICABLE TO THE WORKS SHALL BE THE EDITION LAST PUBLISHED PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED

DIMENSIONS AND SCALED DRAWINGS: FIGURE DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. LARGER SCALED DRAWINGS SHOULD BE READ IN PREFERENCE TO SMALLER SCALED DRAWINGS. CONTRACTOR TO CHECK FOR DISCREPANCIES ALL FIGURED DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS

SITE MEASUREMENTS SUCH AS DOORS, WINDOWS, JOINERY, FIXED FURNITURE, FURNISHINGS, FENCING, PLANT EQUIPMENT AND THE LIKE TO CONFIRM THE SUITABILITY OF THE DESIGN BEFORE COMMENCING FABRICATION AND IDENTIFY CHANGES REQUIRED TO DOCUMENTATION BEFORE FABRICATION

ALL DIMENSIONS ARE SHOWN FROM BRICKWORK TO BRICKWORK AND CONCRETE TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HARDWALL PLASTER, SKIM COAT, EXTERNAL RENDER, STONE CLADDING, FLOOR FINISHES OR STAIR CLADDING

ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

FALLS TO SHOWER FLOORS 1:80
FALLS TO WET AREA FLOORS 1:100

TILE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIONS

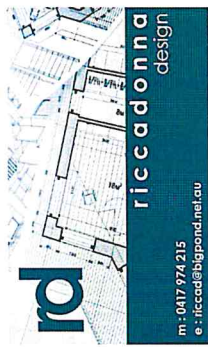
CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS

PROVIDE ALL NECESSARY FIXINGS, FLASHINGS, PACKING AND SEALANTS REQUIRED TO ENSURE THE INSTALLATION IS COMPLETELY WATERTIGHT

ALL GLAZING TO BE IN ACCORDANCE WITH AS1288
ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS



AMENDMENTS:
REV K 09.12.20 ENGINEERING REVIEW
REV L 18.01.21 ENGINEERING REVIEW
REV M 15.02.21 BUILDING APPROVAL APPLICATION
REV N 09.03.21 BUILDING APPROVAL APPLICATION
REV O 23.03.21 BUILDING APPROVAL APPLICATION

D:\Riccadonna Design\Dropbox\Jobs\Grenenger\Grenenger REV O.pln

DRAWING TITLE:
PROPOSED UPPER
FLOOR PLAN
DRAWN:
RICCADONNA DESIGN
PUBLISH DATE:
Thursday, 25 March 2021

PROPOSED ADDITION
A & R GRENNER
LOT 2 No 46 SEWELL STREET
EAST FREMANTLE

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS: UNLESS OTHERWISE SPECIFIED IN THE CONTRACT, AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK

A STANDARD APPLICABLE TO THE WORKS SHALL BE THE EDITION LAST PUBLISHED PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED

DIMENSIONS AND SCALED DRAWINGS: FIGURE DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. LARGER SCALED DRAWINGS SHOULD BE READ IN PREFERENCE TO SMALLER SCALED DRAWINGS. CONTRACTOR TO CHECK FOR DISCREPANCIES ALL FIGURED DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS
SITE MEASUREMENTS SUCH AS DOORS, WINDOWS, JOINERY, FIXED FURNITURE, FURNISHINGS, FENCING, PLANT EQUIPMENT AND THE LIKE TO CONFIRM THE SUITABILITY OF THE DESIGN BEFORE COMMENCING FABRICATION AND IDENTIFY CHANGES REQUIRED TO DOCUMENTATION BEFORE FABRICATION

ALL DIMENSIONS ARE SHOWN FROM BRICKWORK TO BRICKWORK AND CONCRETE TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HARDWALL PLASTER, SKIM COAT, EXTERNAL RENDER, STONE CLADDING, FLOOR FINISHES OR STAIR CLADDING
ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

FALLS TO SHOWER FLOORS 1:80
FALLS TO WET AREA FLOORS 1:100
TILE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIONS

CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS

PROVIDE ALL NECESSARY FIXINGS, FLASHINGS, PACKING AND SEALANTS REQUIRED TO ENSURE THE INSTALLATION IS COMPLETELY WATERTIGHT

ALL GLAZING TO BE IN ACCORDANCE WITH AS1288
ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

CONSTRUCTION NOTES:

EXISTING :

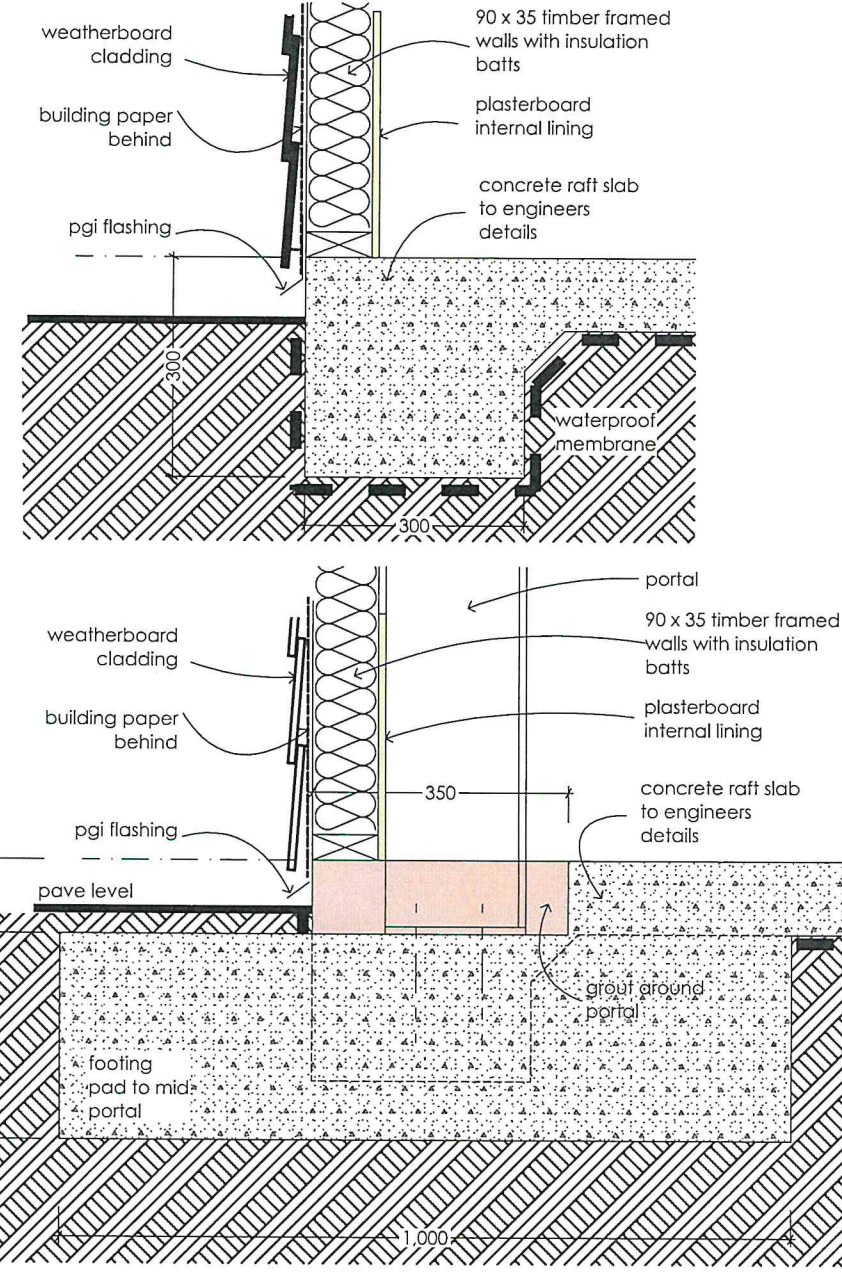
- TIMBER FRAMED FLOOR
- TIMBER FRAMED WALL - FIBRE CEMENT SHEETING
- GALVANIZED CUSTOM ORB ROOF @ 30° ROOF PITCH
- 2725mm CEILING HEIGHT
- TIMBER WINDOW FRAMES

PROPOSED :

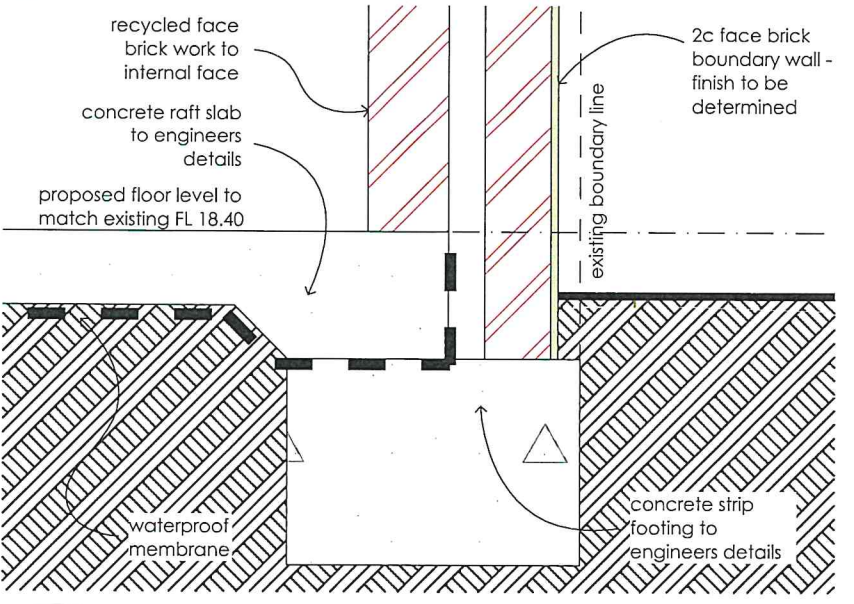
- CONCRETE RAFT SLAB
- RE-ROOF IN COLORBOND CUSTOM ORB
- NEW ROOF COLORBOND CUSTOM ORB @ 35° ROOF PITCH
- RECYCLED FACE BRICK WORK TO SOUTHERN WALL
- EXISTING TIMBER FRAMED WALL RECLAD IN WEATHERBOARD
- NEW TIMBER FRAMED WALL - WEATHERBOARD CLADDING



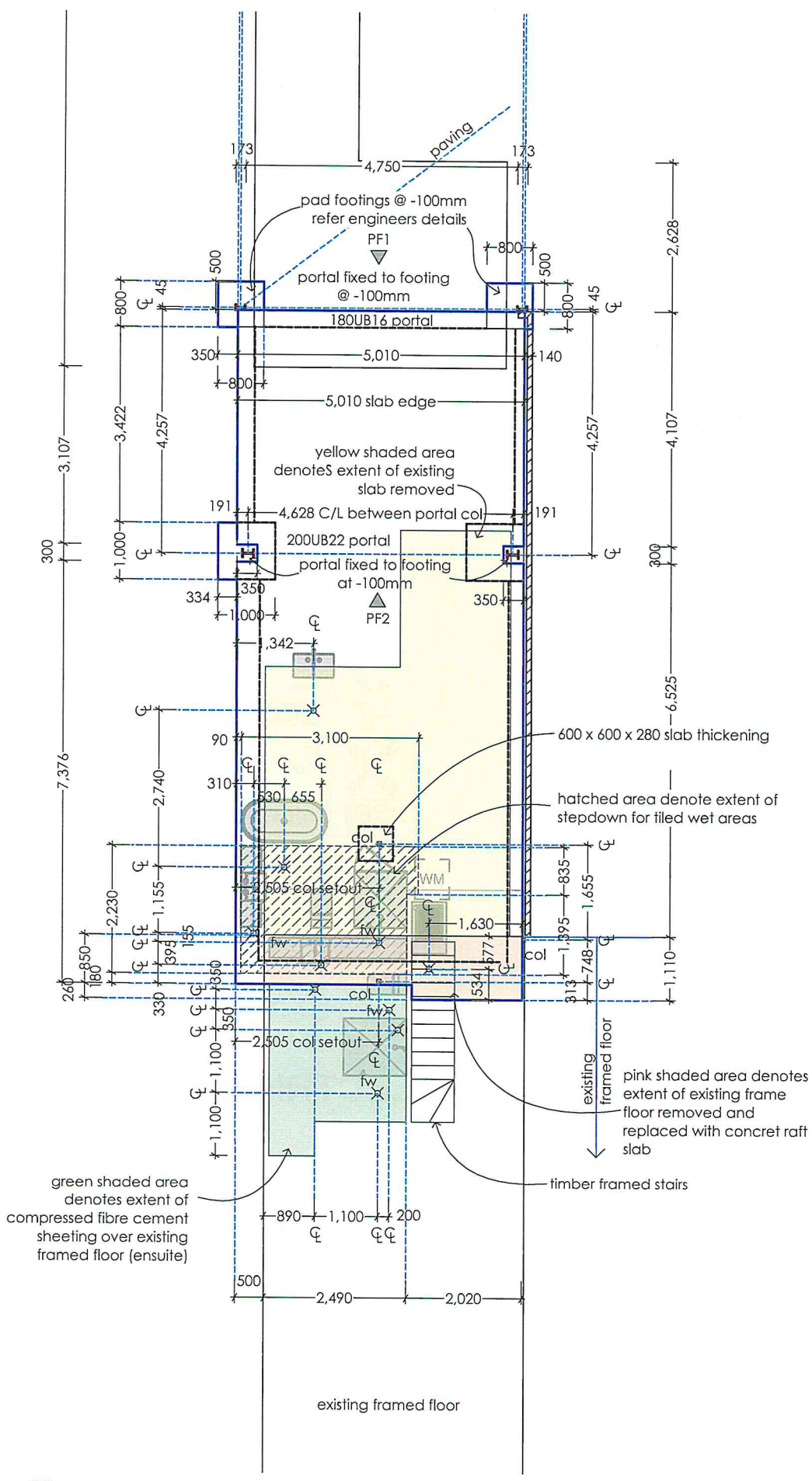
NOTE:
DIMENSIONS ARE INDICATIVE ONLY. CHECK ON SITE PRIOR TO QUANTIFYING AND/OR ORDERING



D-01 Detail
1:10



D-02 Detail
1:10



SLAB LAYOUT PLAN
1:100

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS: UNLESS OTHERWISE SPECIFIED IN THE CONTRACT, AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK

A STANDARD APPLICABLE TO THE WORKS SHALL BE THE EDITION LAST PUBLISHED PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED

DIMENSIONS AND SCALED DRAWINGS: FIGURE DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. LARGER SCALED DRAWINGS SHOULD BE READ IN PREFERENCE TO SMALLER SCALED DRAWINGS. CONTRACTOR TO CHECK FOR DISCREPANCIES ALL FIGURED DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS
SITE MEASUREMENTS SUCH AS DOORS, WINDOWS, JOINERY, FIXED FURNITURE, FURNISHINGS, FENCING, PLANT EQUIPMENT AND THE LIKE TO CONFIRM THE SUITABILITY OF THE DESIGN BEFORE COMMENCING FABRICATION AND IDENTIFY CHANGES REQUIRED TO DOCUMENTATION BEFORE FABRICATION

ALL DIMENSIONS ARE SHOWN FROM BRICKWORK TO BRICKWORK AND CONCRETE TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HARDWALL PLASTER, SKIM COAT, EXTERNAL RENDER, STONE CLADDING, FLOOR FINISHES OR STAIR CLADDING
ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

FALLS TO SHOWER FLOORS 1:80
FALLS TO WET AREA FLOORS 1:100
TILE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIONS

CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS

PROVIDE ALL NECESSARY FIXINGS, FLASHINGS, PACKING AND SEALANTS REQUIRED TO ENSURE THE INSTALLATION IS COMPLETELY WATERTIGHT

ALL GLAZING TO BE IN ACCORDANCE WITH AS1288
ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

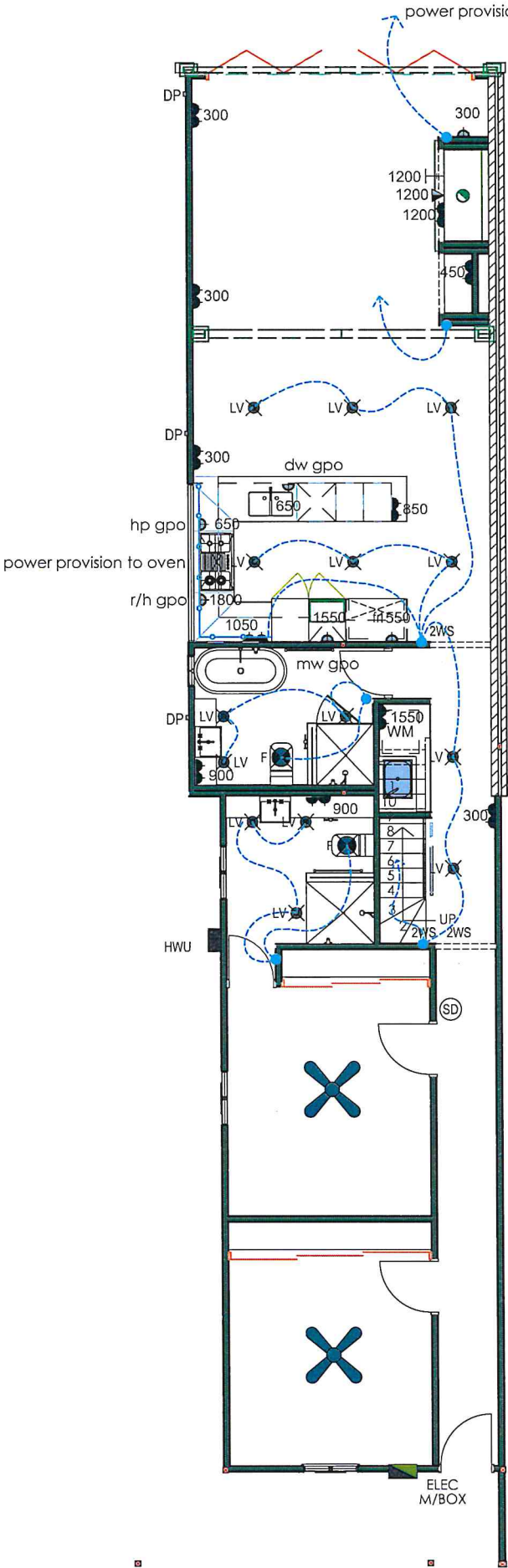
NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

CONSTRUCTION NOTES:

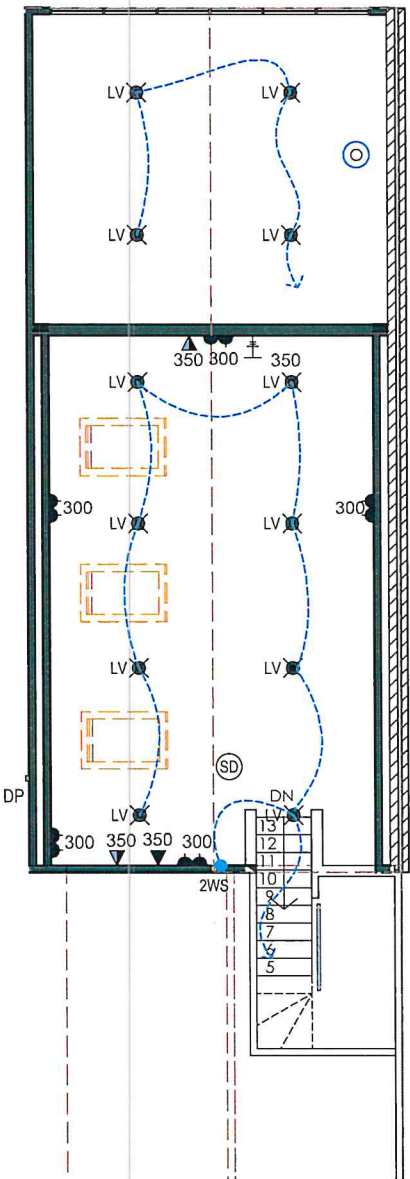
- EXISTING :
- TIMBER FRAMED FLOOR
 - TIMBER FRAMED WALL - FIBRE CEMENT SHEETING
 - GALVANIZED CUSTOM ORB ROOF @ 30° ROOF PITCH
 - 2725mm CEILING HEIGHT
 - TIMBER WINDOW FRAMES

- PROPOSED :
- CONCRETE RAFT SLAB
 - RE-ROOF IN COLORBOND CUSTOM ORB
 - NEW ROOF COLORBOND CUSTOM ORB @ 35° ROOF PITCH
 - RECYCLED FACE BRICK WORK TO SOUTHERN WALL
 - EXISTING TIMBER FRAMED WALL RECLAD IN WEATHERBOARD
 - NEW TIMBER FRAMED WALL - WEATHERBOARD CLADDING



GROUND FLOOR - ELECTRICAL
1:100

fire isolator switch



UPPER FLOOR - ELECTRICAL
1:100

LV	LOW VOLTAGE RECESSED CEILING LIGHT - LED
LV	LOW VOLTAGE WALL LIGHT - LED
P	CEILING MOUNTED PENDANT LIGHT FITTING
1x40w	CEILING MOUNTED SINGLE FLUORO
2x40w	CEILING MOUNTED DOUBLE FLUORO
F	FLUMED EXHAUST CEILING FAN
SD	HARDWIRED SMOKE ALARM - BATTERY BACK UP
—	LED STRIP LIGHTING
DS	DIMMER SWITCH
2WS	2 - WAY SWITCH
3WS	3 - WAY SWITCH
1550	SINGLE GPO - NOMINATED HEIGHT AFL
300	DOUBLE GPO - NOMINATED HEIGHT AFL
1350	TV POINT - NOMINATED HEIGHT AFL
350	DATA POINT - NOMINATED HEIGHT AFL
350	PHONE POINT - NOMINATED HEIGHT AFL
WP	WATERPROOF
X	CEILING FAN
	A/C RETURN AIR

NOTE:
DIMENSIONS ARE INDICATIVE ONLY. CHECK ON SITE PRIOR TO QUANTIFYING AND/OR ORDERING

COPYRIGHT

PROPOSED RENOVATION
A & R GRENENGER
LOT 2 No 46 SEWELL STREET
EAST FREMANTLE

DRAWING TITLE:
ELECTRICAL PLANS

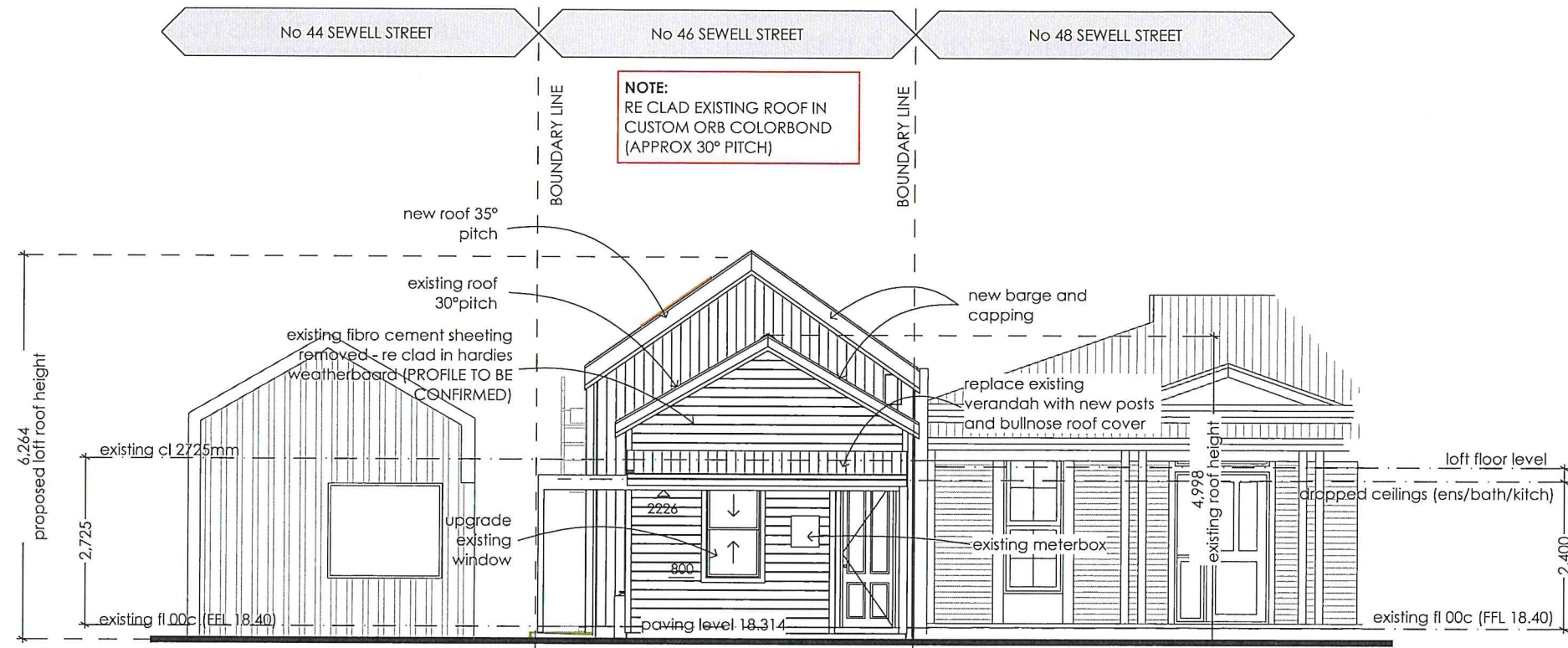
DRAWN:
RICCADONNA DESIGN

PUBLISH DATE:
Thursday, 25 March 2021

AMENDMENTS:
REV K 09.12.20 ENGINEERING REVIEW
REV L 21.01.21 ENGINEERING REVIEW
REV M 15.02.21 BUILDING APPROVAL APPLICATION
REV N 09.03.21 BUILDING APPROVAL APPLICATION
REV O 23.03.21 BUILDING APPROVAL APPLICATION

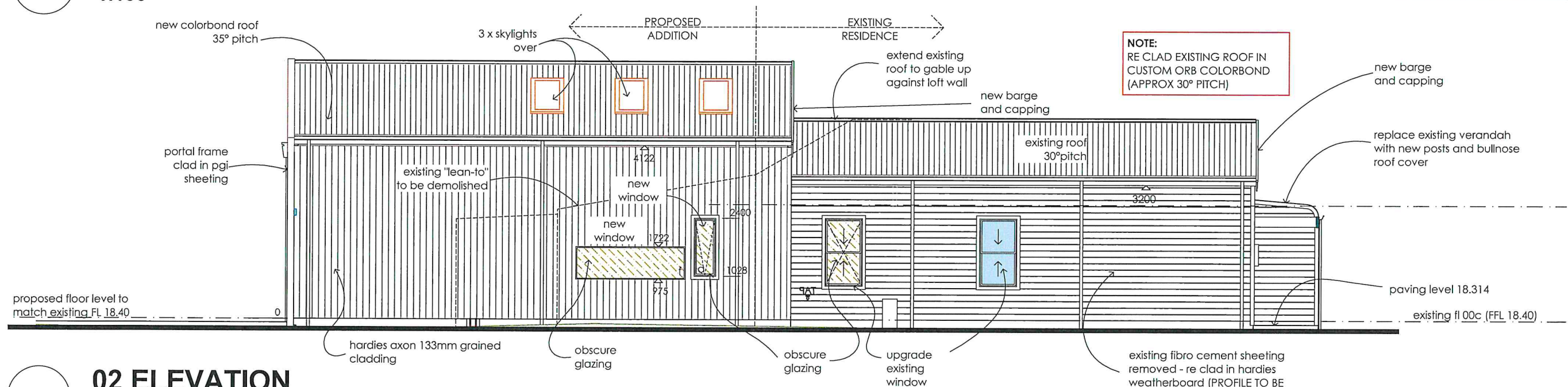
D:\Riccadonna Design\Dropbox\Jobs\Grenenger\Grenenger REV O.pln





01 ELEVATION

1:100



02 ELEVATION

1:100

NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS, UNLESS OTHERWISE SPECIFIED IN THE CONTRACT, AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK

A STANDARD APPLICABLE TO THE WORKS SHALL BE THE EDITION LAST PUBLISHED PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED

DIMENSIONS AND SCALED DRAWINGS: FIGURE DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. LARGER SCALED DRAWINGS SHOULD BE READ IN PREFERENCE TO SMALLER SCALED DRAWINGS. CONTRACTOR TO CHECK FOR DISCREPANCIES ALL FIGURED DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS. SITE MEASUREMENTS SUCH AS DOORS, WINDOWS, JOINERY, FIXED FURNITURE, FURNISHINGS, FENCING, PLANT EQUIPMENT AND THE LIKE TO CONFIRM THE SUITABILITY OF THE DESIGN BEFORE COMMENCING FABRICATION AND IDENTIFY CHANGES REQUIRED TO DOCUMENTATION BEFORE FABRICATION

ALL DIMENSIONS ARE SHOWN FROM BRICKWORK TO BRICKWORK AND CONCRETE TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HARDWALL PLASTER, SKIM COAT, EXTERNAL RENDER, STONE CLADDING, FLOOR FINISHES OR STAIR CLADDING. ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

FALLS TO SHOWER FLOORS 1:80
FALLS TO WET AREA FLOORS 1:100

TILE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIONS

CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS

PROVIDE ALL NECESSARY FIXINGS, FLASHINGS, PACKING AND SEALANTS REQUIRED TO ENSURE THE INSTALLATION IS COMPLETELY WATERTIGHT

ALL GLAZING TO BE IN ACCORDANCE WITH AS1288
ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

CONSTRUCTION NOTES:

EXISTING :

- TIMBER FRAMED FLOOR
- TIMBER FRAMED WALL - FIBRE CEMENT SHEETING
- GALVANIZED CUSTOM ORB ROOF @ 30° ROOF PITCH
- 2725mm CEILING HEIGHT
- TIMBER WINDOW FRAMES


PROPOSED :

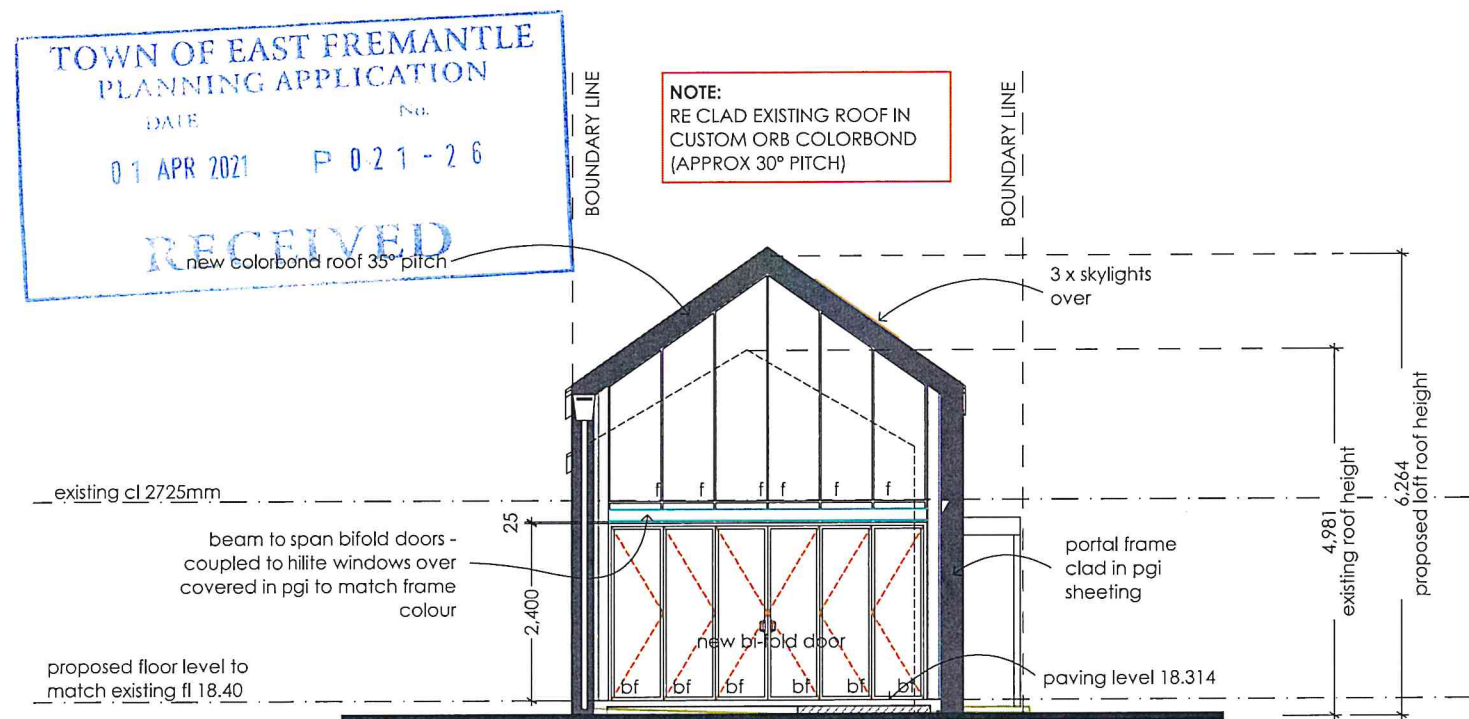
- CONCRETE RAFT SLAB
- RE-ROOF IN COLORBOND CUSTOM ORB
- NEW ROOF COLORBOND CUSTOM ORB @ 35° ROOF PITCH
- RECYCLED FACE BRICK WORK TO SOUTHERN WALL
- EXISTING TIMBER FRAMED WALL RECLAD IN WEATHERBOARD
- NEW TIMBER FRAMED WALL - WEATHERBOARD CLADDING



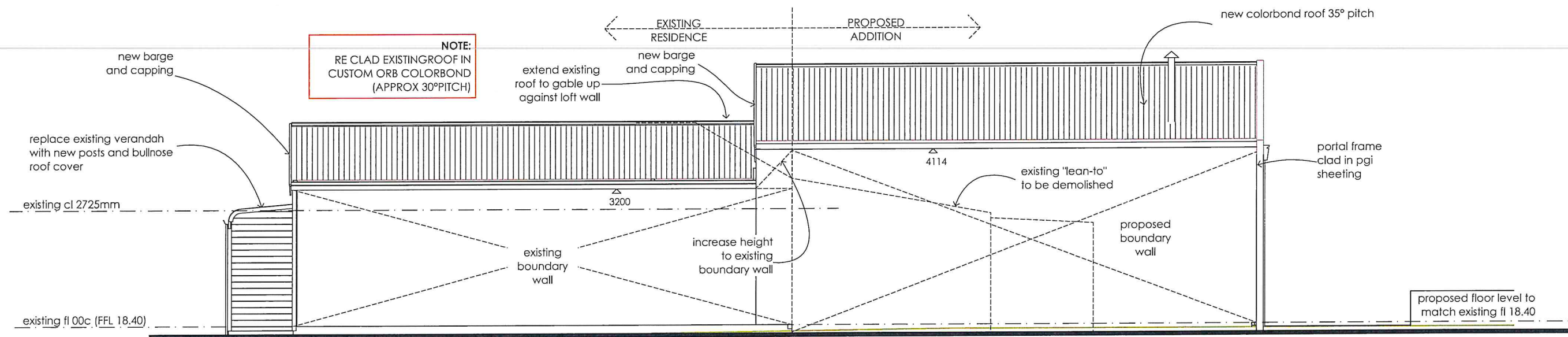
NOTE:
RE CLAD EXISTING ROOF IN CUSTOM ORB COLORBOND (APPROX 30° PITCH)

NOTE:
DIMENSIONS ARE INDICATIVE ONLY. CHECK ON SITE PRIOR TO QUANTIFYING AND/OR ORDERING

© COPYRIGHT	PROPOSED RENOVATION	DRAWING TITLE: ELEVATIONS	AMENDMENTS: REV K 09.12.20 ENGINEERING REVIEW REV L 21.01.21 ENGINEERING REVIEW REV M 15.02.21 BUILDING APPROVAL APPLICATION REV N 09.03.21 BUILDING APPROVAL APPLICATION REV O 23.03.21 BUILDING APPROVAL APPLICATION	 m : 0417 974 215 e : riccad@bigpond.net.au	SHEET 6 of 18
	A & R GRENENGER LOT 2 No 46 SEWELL STREET EAST FREMANTLE	DRAWN: RICCADONNA DESIGN PUBLISH DATE: Thursday, 25 March 2021			



03 ELEVATION
1:100



04 ELEVATION
1:100

NOTE:
THESE DOCUMENTS ARE TO BE READ IN
CONJUNCTION WITH STRUCTURAL
ENGINEERS DOCUMENTS AND
SPECIFICATIONS

TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE
TREATMENTS DETAILS AND LOCATIONS
REQUIRED. INSTALL STRICTLY TO RELEVANT
CODES AND REGULATIONS

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS: UNLESS OTHERWISE SPECIFIED IN THE CONTRACT, AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK

A STANDARD APPLICABLE TO THE WORKS SHALL BE THE EDITION LAST PUBLISHED PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED

DIMENSIONS AND SCALED DRAWINGS: FIGURE DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. LARGER SCALED DRAWINGS SHOULD BE READ IN PREFERENCE TO SMALLER SCALED DRAWINGS. CONTRACTOR TO CHECK FOR DISCREPANCIES ALL FIGURED DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS. SITE MEASUREMENTS SUCH AS DOORS, WINDOWS, JOINERY, FIXED FURNITURE, FURNISHINGS, FENCING, PLANT EQUIPMENT AND THE LIKE TO CONFIRM THE SUITABILITY OF THE DESIGN BEFORE COMMENCING FABRICATION AND IDENTIFY CHANGES REQUIRED TO DOCUMENTATION BEFORE FABRICATION

ALL DIMENSIONS ARE SHOWN FROM BRICKWORK TO BRICKWORK AND CONCRETE TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HARDWALL PLASTER, SKIM COAT, EXTERNAL RENDER, STONE CLADDING, FLOOR FINISHES OR STAIR CLADDING
ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

FALLS TO SHOWER FLOORS 1:80
FALLS TO WET AREA FLOORS 1:100

TILE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIONS

CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS

PROVIDE ALL NECESSARY FIXINGS, FLASHINGS, PACKING AND SEALANTS REQUIRED TO ENSURE THE INSTALLATION IS COMPLETELY WATERTIGHT

ALL GLAZING TO BE IN ACCORDANCE WITH AS1288
ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

CONSTRUCTION NOTES:

EXISTING :

- TIMBER FRAMED FLOOR
- TIMBER FRAMED WALL - FIBRE CEMENT SHEETING
- GALVANIZED CUSTOM ORB ROOF @ 30° ROOF PITCH
- 2725mm CEILING HEIGHT
- TIMBER WINDOW FRAMES

PROPOSED :

- CONCRETE RAFT SLAB
- RE-ROOF IN COLORBOND CUSTOM ORB
- NEW ROOF COLORBOND CUSTOM ORB @ 35° ROOF PITCH
- RECYCLED FACE BRICK WORK TO SOUTHERN WALL
- EXISTING TIMBER FRAMED WALL RECLAD IN WEATHERBOARD
- NEW TIMBER FRAMED WALL - WEATHERBOARD CLADDING

NOTE:

DIMENSIONS ARE INDICATIVE ONLY. CHECK ON SITE PRIOR TO QUANTIFYING AND/OR ORDERING

© COPYRIGHT

PROPOSED RENOVATION

A & R GRENENGER

LOT 2 No 46 SEWELL STREET
EAST FREMANTLE

DRAWING TITLE:
ELEVATIONS 2

DRAWN:
RICCADONNA DESIGN

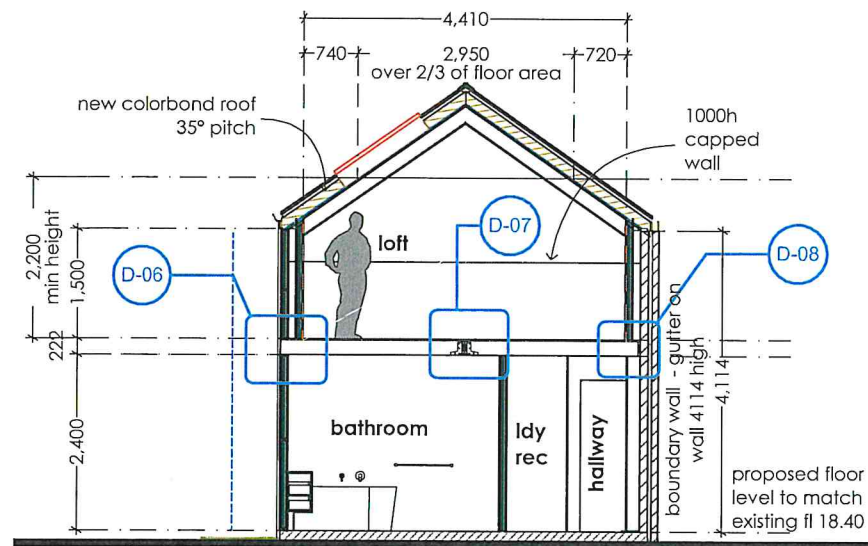
PUBLISH DATE:
Thursday, 25 March 2021

AMENDMENTS:
REV K 09.12.20 ENGINEERING REVIEW
REV L 21.01.21 ENGINEERING REVIEW
REV M 15.02.21 BUILDING APPROVAL APPLICATION
REV N 09.03.21 BUILDING APPROVAL APPLICATION
REV O 23.03.21 BUILDING APPROVAL APPLICATION

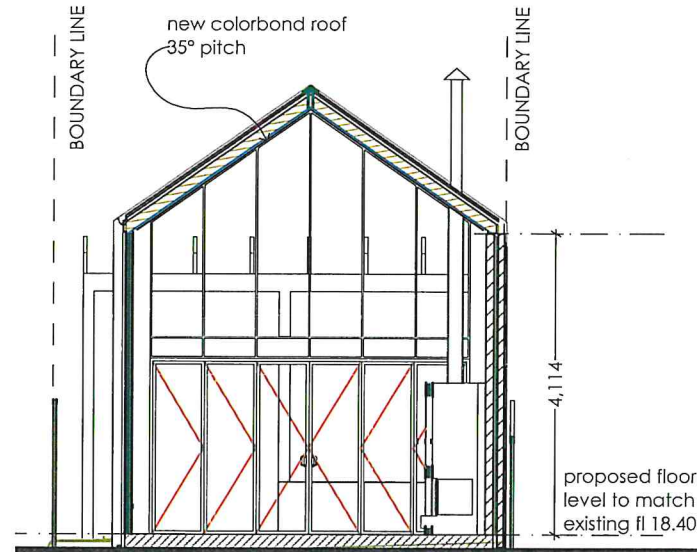
D:\Riccadonna Design\Dropbox\Jobs\Grenenger\Grenenger REV O.pln



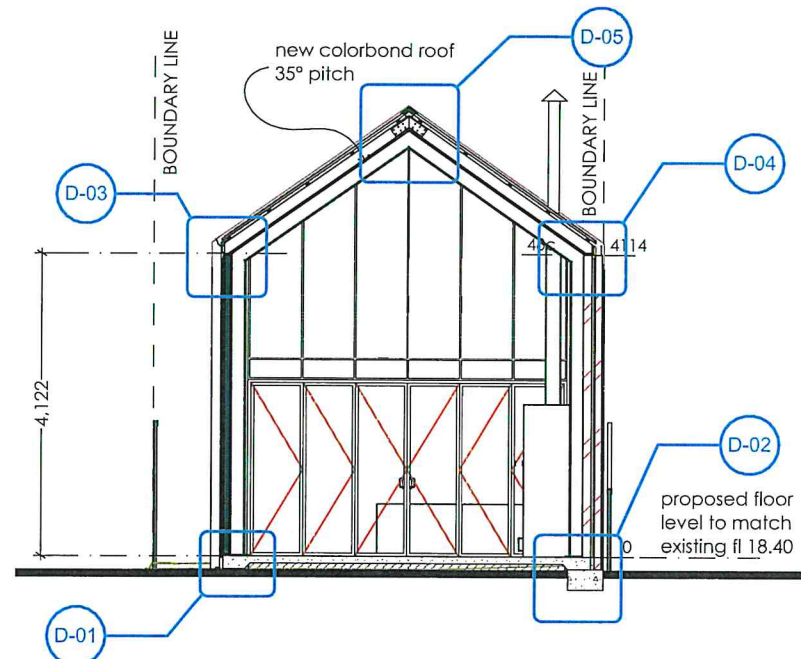
SHEET 7 of 18



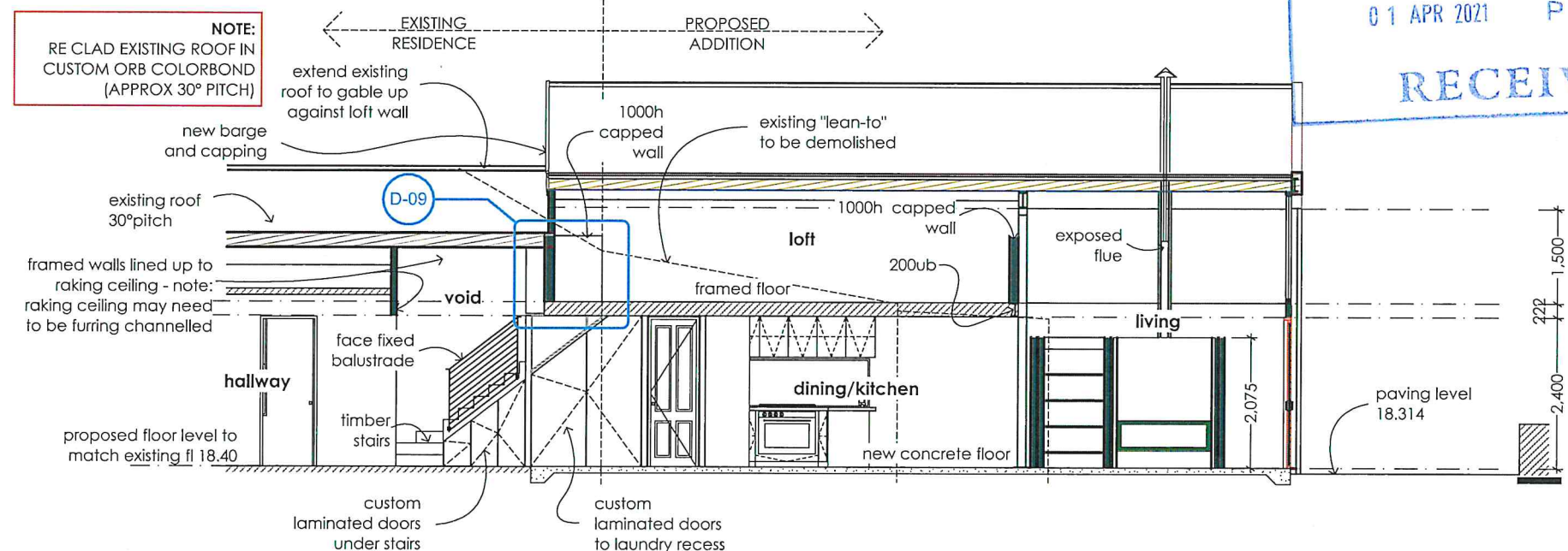
S-01 Building Section
1:100



S-02 Building Section
1:100



S-03 Building Section
1:100



S-04 Building Section
1:100

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS: UNLESS OTHERWISE SPECIFIED IN THE CONTRACT, AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK

A STANDARD APPLICABLE TO THE WORKS SHALL BE THE EDITION LAST PUBLISHED PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED

DIMENSIONS AND SCALED DRAWINGS: FIGURE DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. LARGER SCALED DRAWINGS SHOULD BE READ IN PREFERENCE TO SMALLER SCALED DRAWINGS. CONTRACTOR TO CHECK FOR DISCREPANCIES ALL FIGURED DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS

SITE MEASUREMENTS SUCH AS DOORS, WINDOWS, JOINERY, FIXED FURNITURE, FURNISHINGS, FENCING, PLANT EQUIPMENT AND THE LIKE TO CONFIRM THE SUITABILITY OF THE DESIGN BEFORE COMMENCING FABRICATION AND IDENTIFY CHANGES REQUIRED TO DOCUMENTATION BEFORE FABRICATION

ALL DIMENSIONS ARE SHOWN FROM BRICKWORK TO BRICKWORK AND CONCRETE TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HARDWALL PLASTER, SKIM COAT, EXTERNAL RENDER, STONE CLADDING, FLOOR FINISHES OR STAIR CLADDING

ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

FALLS TO SHOWER FLOORS 1:80

FALLS TO WET AREA FLOORS 1:100

TILE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIONS

CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS

PROVIDE ALL NECESSARY FIXINGS, FLASHINGS, PACKING AND SEALANTS REQUIRED TO ENSURE THE INSTALLATION IS COMPLETELY WATERTIGHT

ALL GLAZING TO BE IN ACCORDANCE WITH AS1288
ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

CONSTRUCTION NOTES:

EXISTING :

- TIMBER FRAMED FLOOR
- TIMBER FRAMED WALL - FIBRE CEMENT SHEETING
- GALVANIZED CUSTOM ORB ROOF @ 30° ROOF PITCH
- 2725mm CEILING HEIGHT
- TIMBER WINDOW FRAMES

PROPOSED :

- CONCRETE RAFT SLAB
- RE-ROOF IN COLORBOND CUSTOM ORB
- NEW ROOF COLORBOND CUSTOM ORB @ 35° ROOF PITCH
- RECYCLED FACE BRICK WORK TO SOUTHERN WALL
- EXISTING TIMBER FRAMED WALL RECLAD IN WEATHERBOARD
- NEW TIMBER FRAMED WALL - WEATHERBOARD CLADDING

NOTE:

DIMENSIONS ARE INDICATIVE ONLY. CHECK ON SITE PRIOR TO QUANTIFYING AND/OR ORDERING



NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

© COPYRIGHT

PROPOSED RENOVATION

A & R GRENENGER

LOT 2 No 46 SEWELL STREET
EAST FREMANTLE

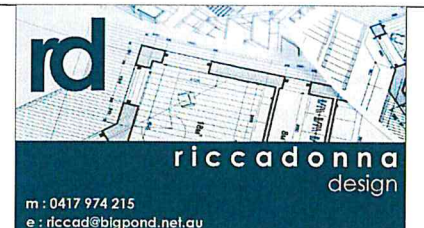
DRAWING TITLE:
SECTIONS/DETAILS

DRAWN:
RICCADONNA DESIGN

PUBLISH DATE:
Thursday, 25 March 2021

AMENDMENTS:
REV K 09.12.20 ENGINEERING REVIEW
REV L 21.01.21 ENGINEERING REVIEW
REV M 15.02.21 BUILDING APPROVAL APPLICATION
REV N 09.03.21 BUILDING APPROVAL APPLICATION
REV O 23.03.21 BUILDING APPROVAL APPLICATION

D:\Riccadonna Design\Dropbox\Jobs\Grenenger\Grenenger REV O.pln



SHEET 8 of 18

GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS: UNLESS OTHERWISE SPECIFIED IN THE CONTRACT, AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK

A STANDARD APPLICABLE TO THE WORKS SHALL BE THE EDITION LAST PUBLISHED PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED

DIMENSIONS AND SCALED DRAWINGS: FIGURE DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. LARGER SCALED DRAWINGS SHOULD BE READ IN PREFERENCE TO SMALLER SCALED DRAWINGS. CONTRACTOR TO CHECK FOR DISCREPANCIES ALL FIGURED DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS. SITE MEASUREMENTS SUCH AS DOORS, WINDOWS, JOINERY, FIXED FURNITURE, FURNISHINGS, FENCING, PLANT EQUIPMENT AND THE LIKE TO CONFIRM THE SUITABILITY OF THE DESIGN BEFORE COMMENCING FABRICATION AND IDENTIFY CHANGES REQUIRED TO DOCUMENTATION BEFORE FABRICATION

NOTE:
DIMENSIONS ARE INDICATIVE ONLY. CHECK ON SITE PRIOR TO QUANTIFYING AND/OR ORDERING

ALL DIMENSIONS ARE SHOWN FROM BRICKWORK TO BRICKWORK AND CONCRETE TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HARDWALL PLASTER, SKIM COAT, EXTERNAL RENDER, STONE CLADDING, FLOOR FINISHES OR STAIR CLADDING
ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

FALLS TO SHOWER FLOORS 1:80
FALLS TO WET AREA FLOORS 1:100

TILE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIONS

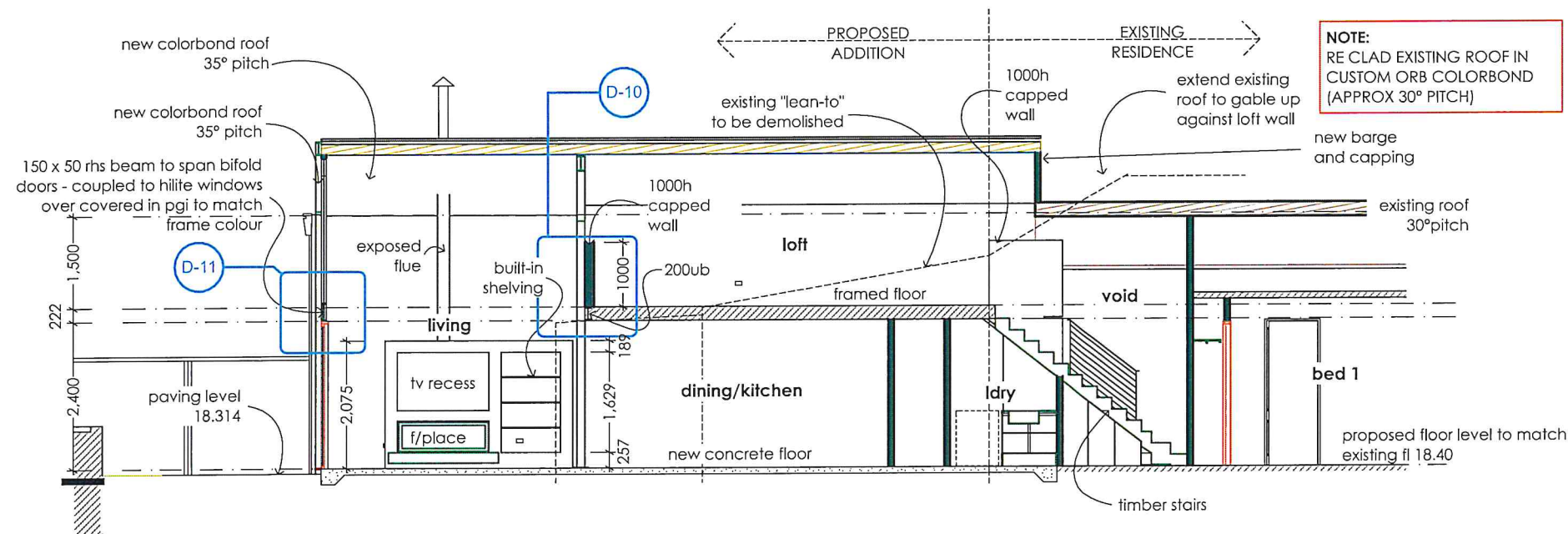
CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS

PROVIDE ALL NECESSARY FIXINGS, FLASHINGS, PACKING AND SEALANTS REQUIRED TO ENSURE THE INSTALLATION IS COMPLETELY WATERTIGHT

ALL GLAZING TO BE IN ACCORDANCE WITH AS1288
ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

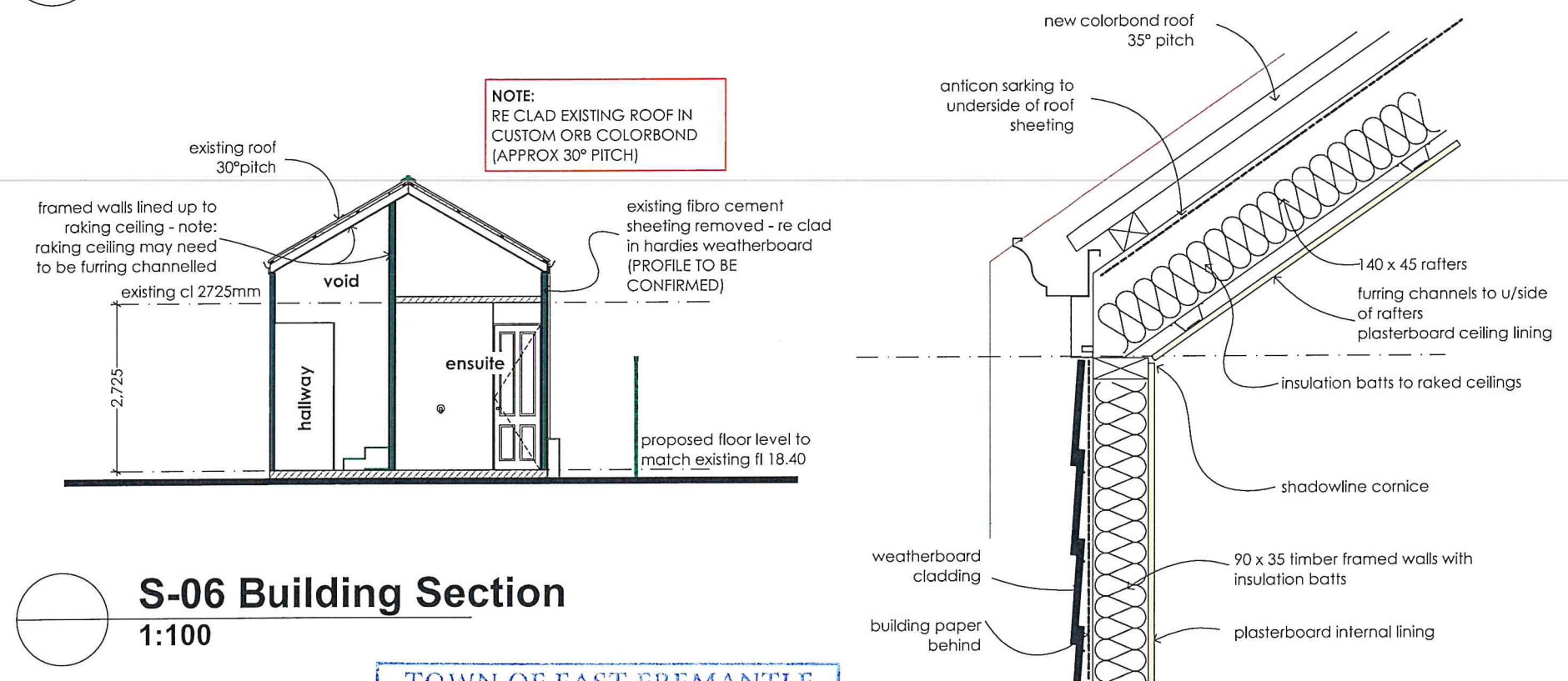
NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS



S-05 Building Section

1:100



S-06 Building Section

1:100

CONSTRUCTION NOTES:

EXISTING :

- TIMBER FRAMED FLOOR
- TIMBER FRAMED WALL - FIBRE CEMENT SHEETING
- GALVANIZED CUSTOM ORB ROOF @30° ROOF PITCH
- 2725mm CEILING HEIGHT
- TIMBER WINDOW FRAMES

PROPOSED :

- CONCRETE RAFT SLAB
- RE-ROOF IN COLORBOND CUSTOM ORB
- NEW ROOF COLORBOND CUSTOM ORB @ 35° ROOF PITCH
- RECYCLED FACE BRICK WORK TO SOUTHERN WALL
- EXISTING TIMBER FRAMED WALL RECLAD IN WEATHERBOARD
- NEW TIMBER FRAMED WALL - WEATHERBOARD CLADDING

TOWN OF EAST FREMANTLE
PLANNING APPLICATION

DATE

No.

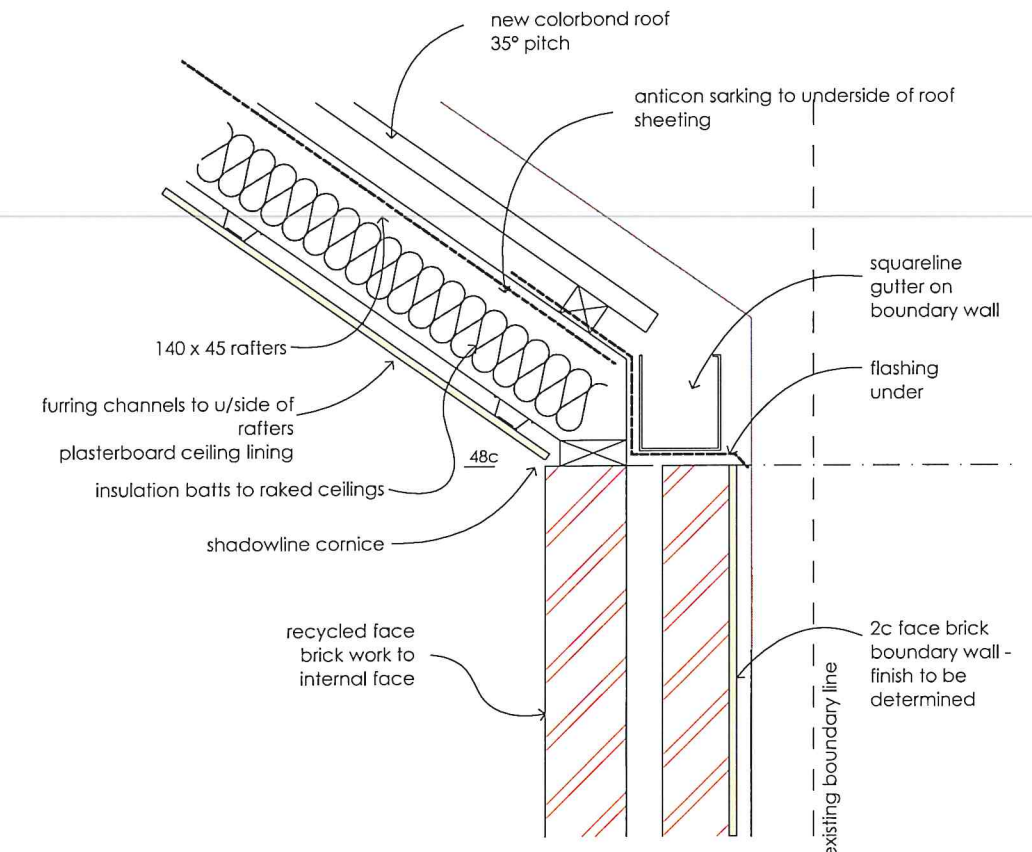
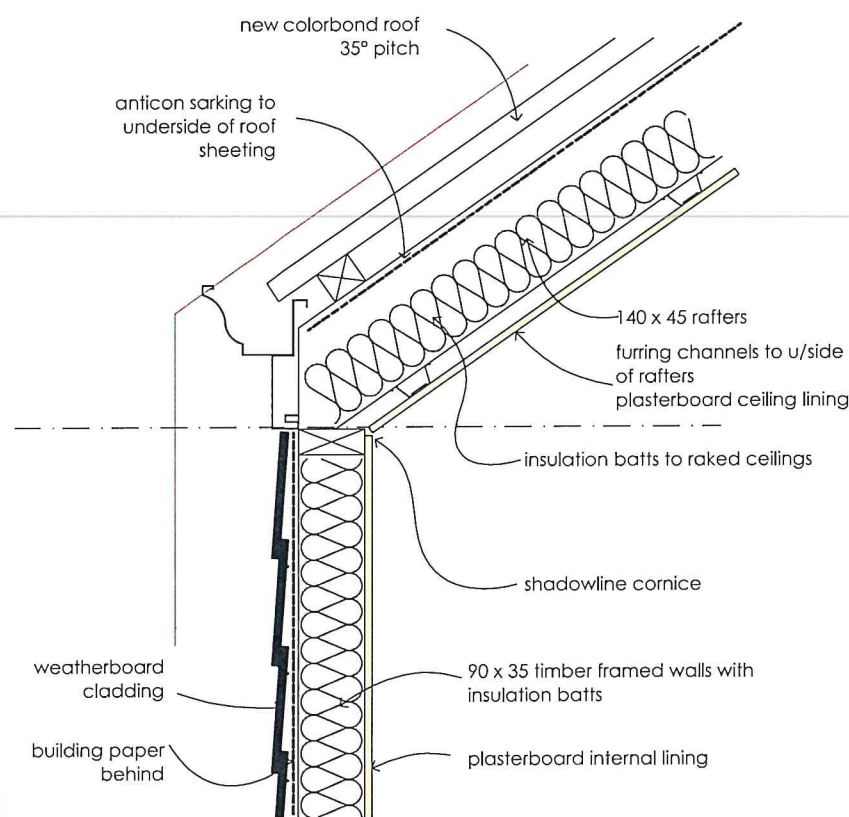
01 APR 2021

P 0-21-26

RECEIVED

D-03 Detail

1:10



D-04 Detail

1:10

PROPOSED RENOVATION

A & R GRENENGER

LOT 2 No 46 SEWELL STREET
EAST FREMANTLE

DRAWING TITLE:

SECTIONS/DETAILS 2

DRAWN:

RICCADONNA DESIGN

PUBLISH DATE:

Thursday, 25 March 2021

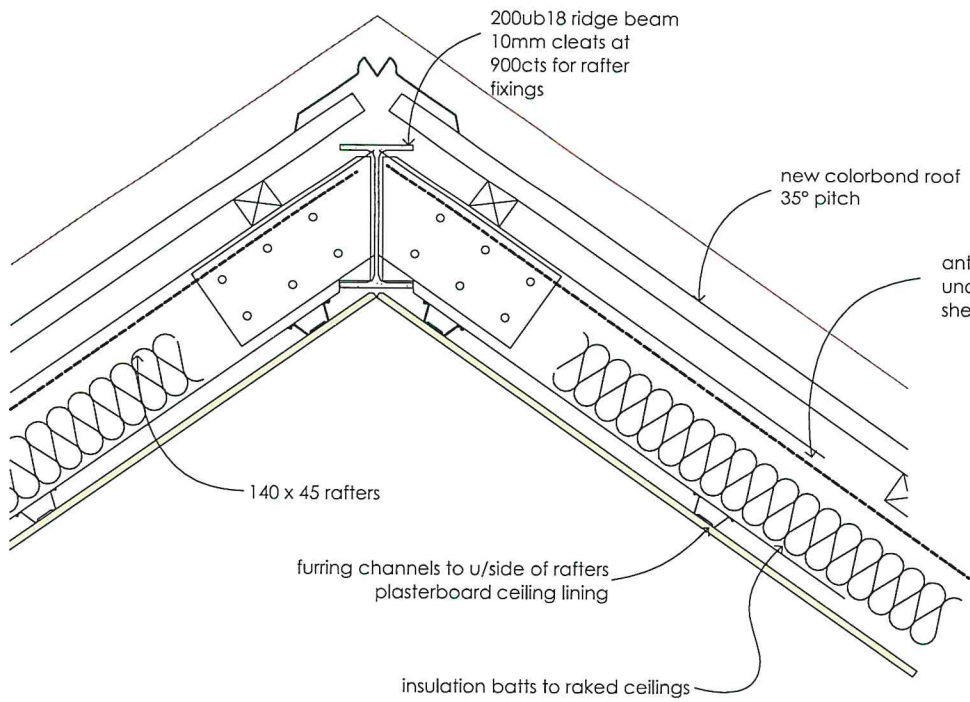
AMENDMENTS:

REV K 09.12.20 ENGINEERING REVIEW
REV L 21.01.21 ENGINEERING REVIEW
REV M 15.02.21 BUILDING APPROVAL APPLICATION
REV N 09.03.21 BUILDING APPROVAL APPLICATION
REV O 23.03.21 BUILDING APPROVAL APPLICATION



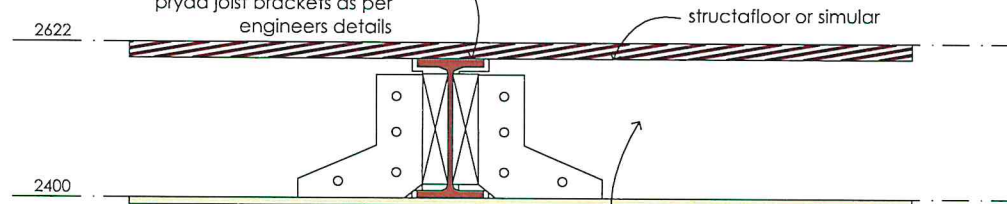
SHEET 9 of 18

D:\Riccadonna Design\Dropbox\Jobs\Grenenger\Grenenger REV O.pln

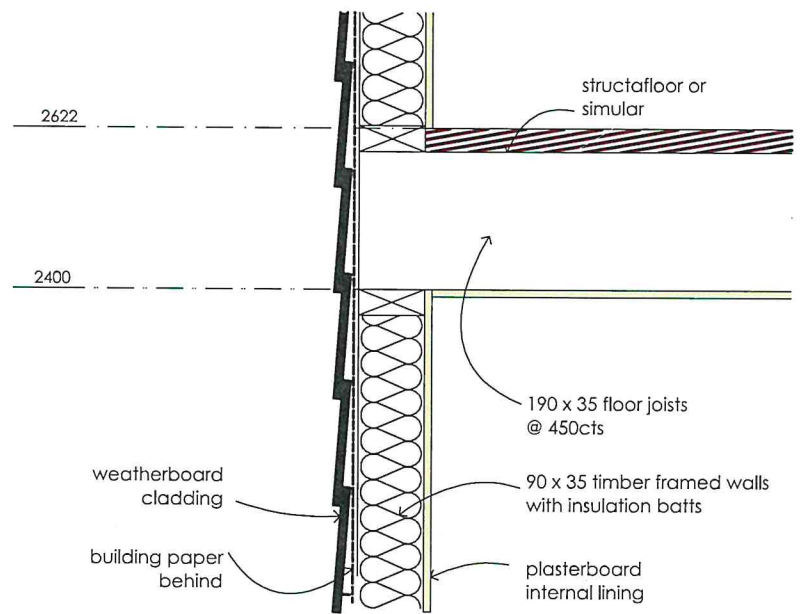


D-05 Detail
1:10

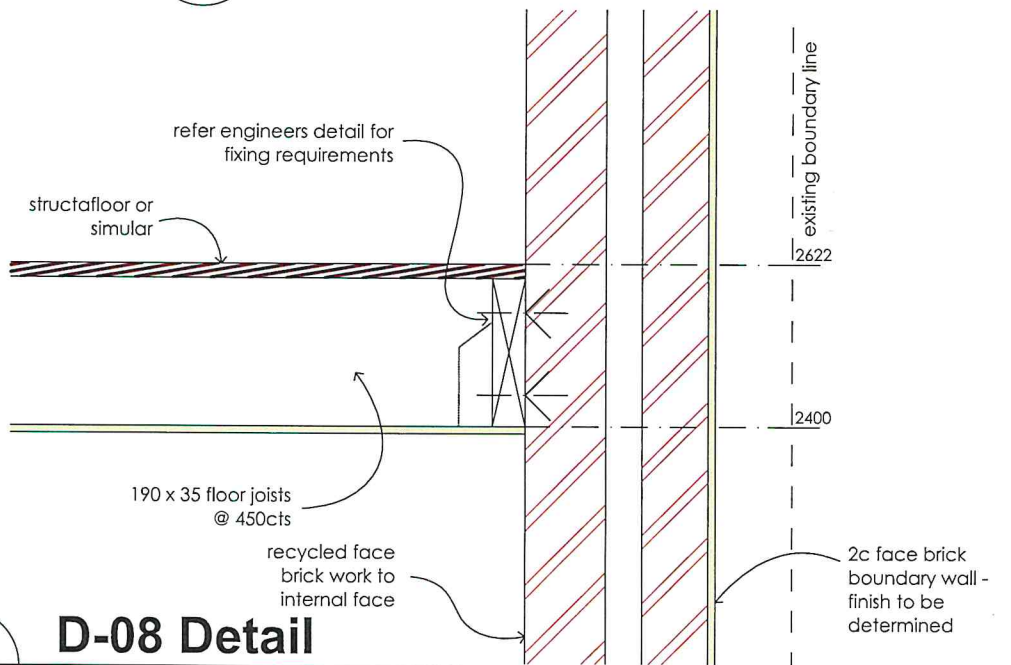
200ub mid beam to break floor joist span
provide 190 x 35 to both sides of beam - joists connected to beam via pryda joist brackets as per engineers details



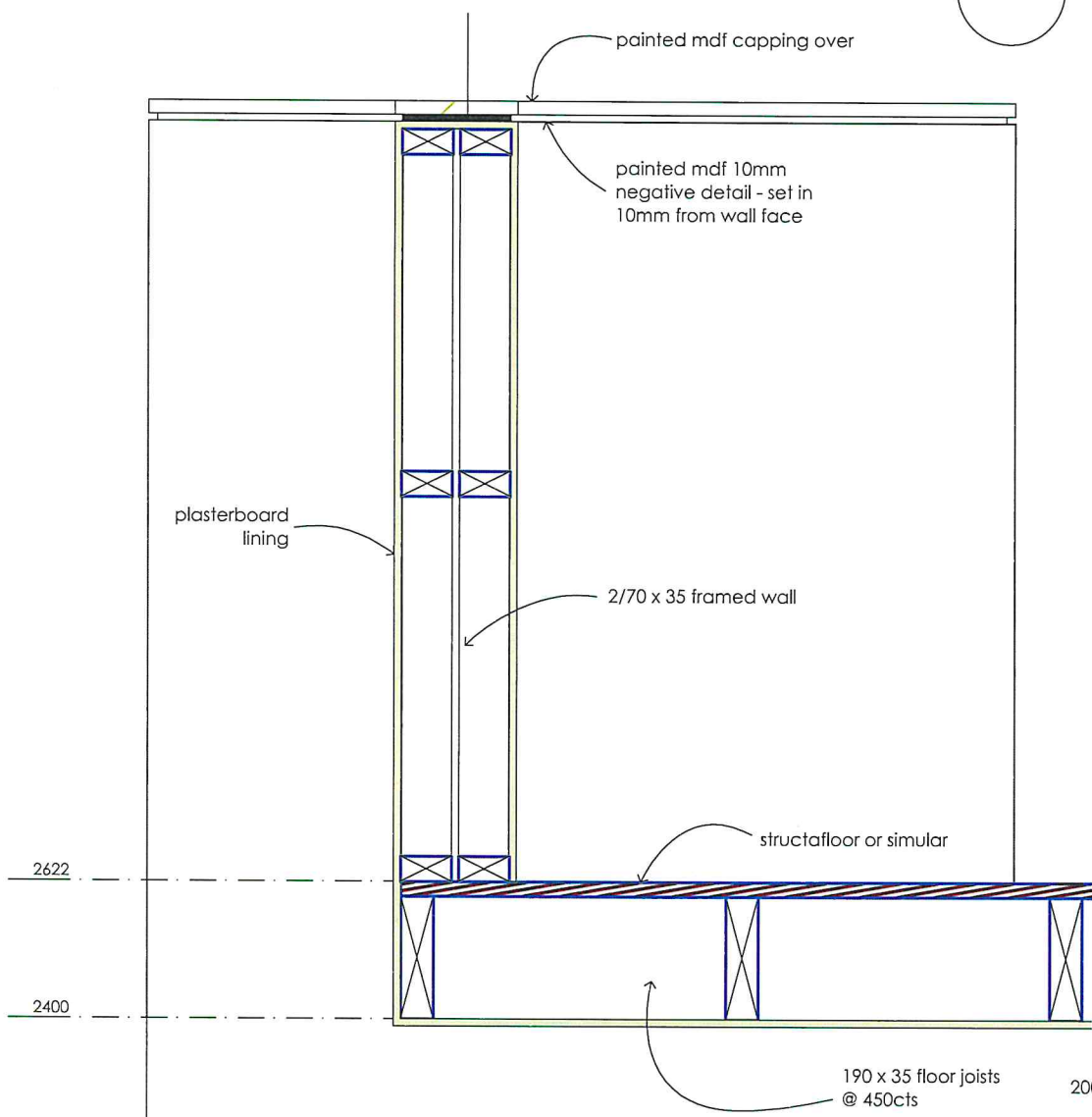
D-07 Detail
1:10



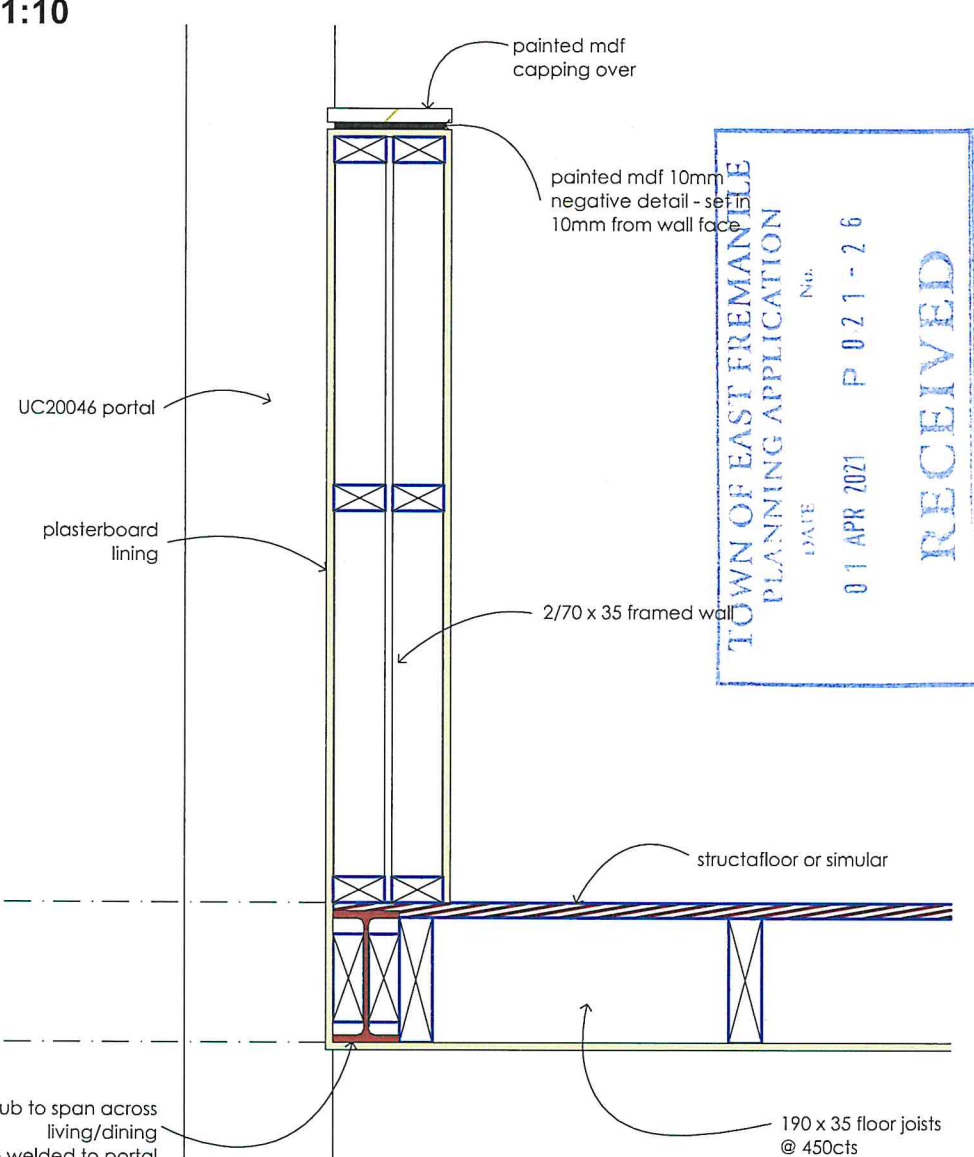
D-06 Detail
1:10



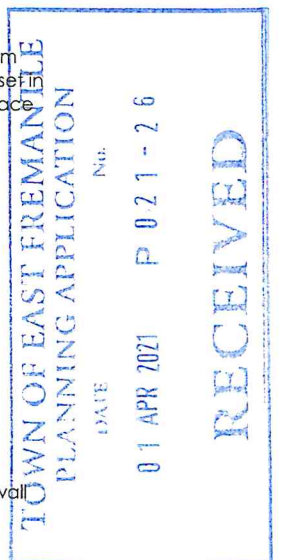
D-08 Detail
1:10



D-09 Detail
1:10



D-10 Detail
1:10



GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS: UNLESS OTHERWISE SPECIFIED IN THE CONTRACT, AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK

A STANDARD APPLICABLE TO THE WORKS SHALL BE THE EDITION LAST PUBLISHED PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED

DIMENSIONS AND SCALED DRAWINGS: FIGURE DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. LARGER SCALED DRAWINGS SHOULD BE READ IN PREFERENCE TO SMALLER SCALED DRAWINGS. CONTRACTOR TO CHECK FOR DISCREPANCIES ALL FIGURED DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS
SITE MEASUREMENTS SUCH AS DOORS, WINDOWS, JOINERY, FIXED FURNITURE, FURNISHINGS, FENCING, PLANT EQUIPMENT AND THE LIKE TO CONFIRM THE SUITABILITY OF THE DESIGN BEFORE COMMENCING FABRICATION AND IDENTIFY CHANGES REQUIRED TO DOCUMENTATION BEFORE FABRICATION

ALL DIMENSIONS ARE SHOWN FROM BRICKWORK TO BRICKWORK AND CONCRETE TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HARDWALL PLASTER, SKIM COAT, EXTERNAL RENDER, STONE CLADDING, FLOOR FINISHES OR STAIR CLADDING
ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

FALLS TO SHOWER FLOORS 1:80
FALLS TO WET AREA FLOORS 1:100
TILE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIONS

CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS

PROVIDE ALL NECESSARY FIXINGS, FLASHINGS, PACKING AND SEALANTS REQUIRED TO ENSURE THE INSTALLATION IS COMPLETELY WATERTIGHT

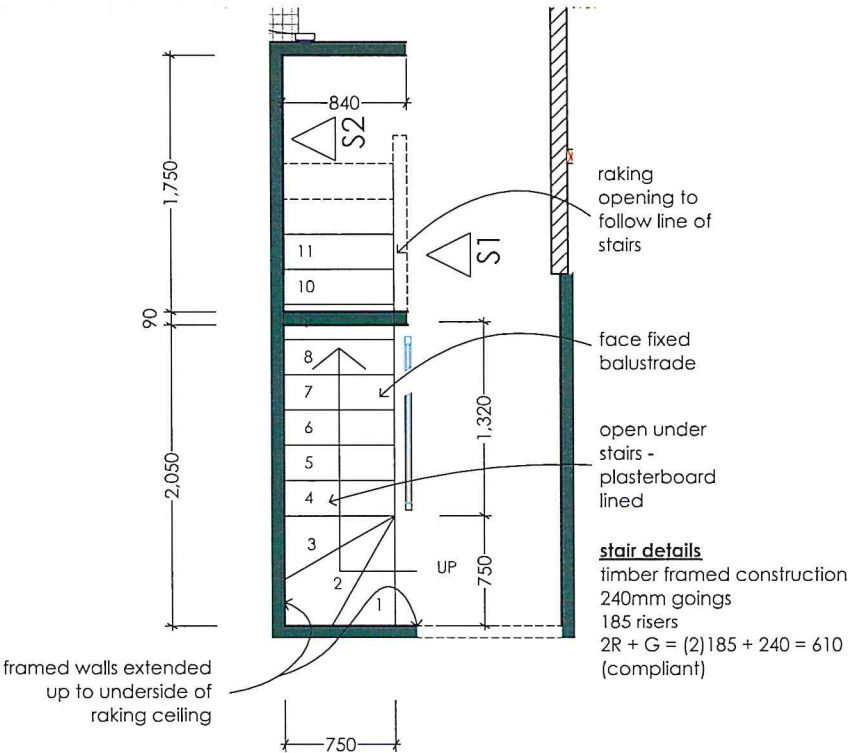
ALL GLAZING TO BE IN ACCORDANCE WITH AS1288
ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS

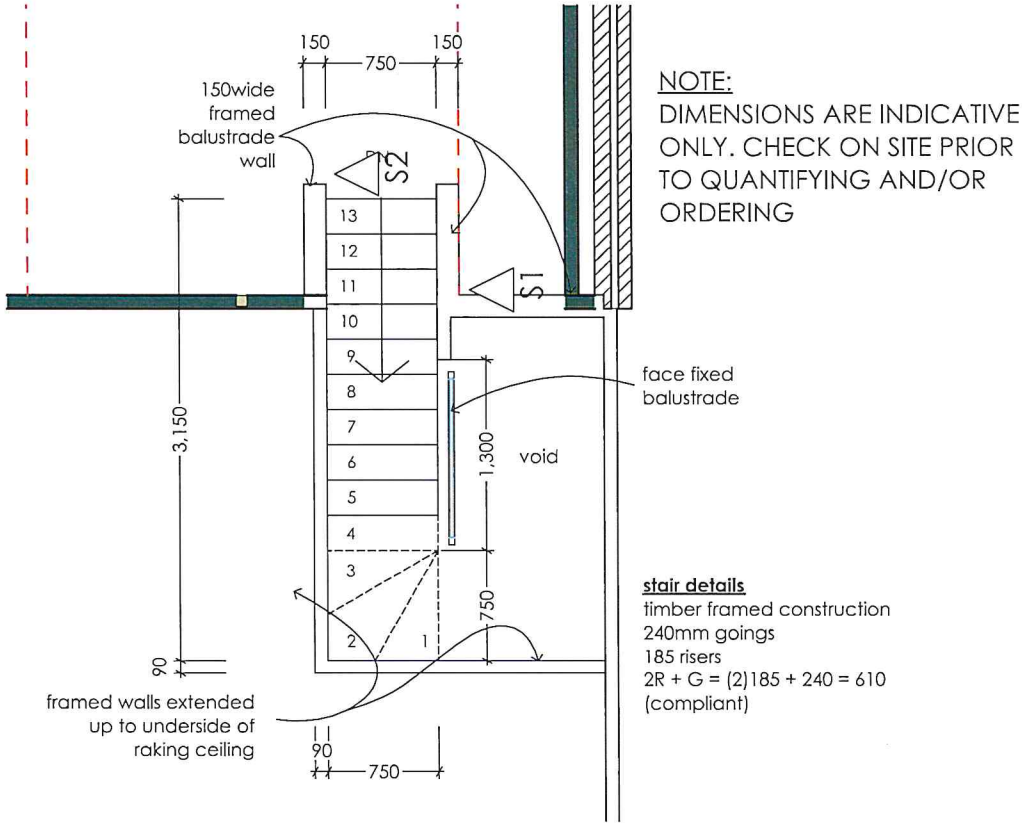
TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

CONSTRUCTION NOTES:

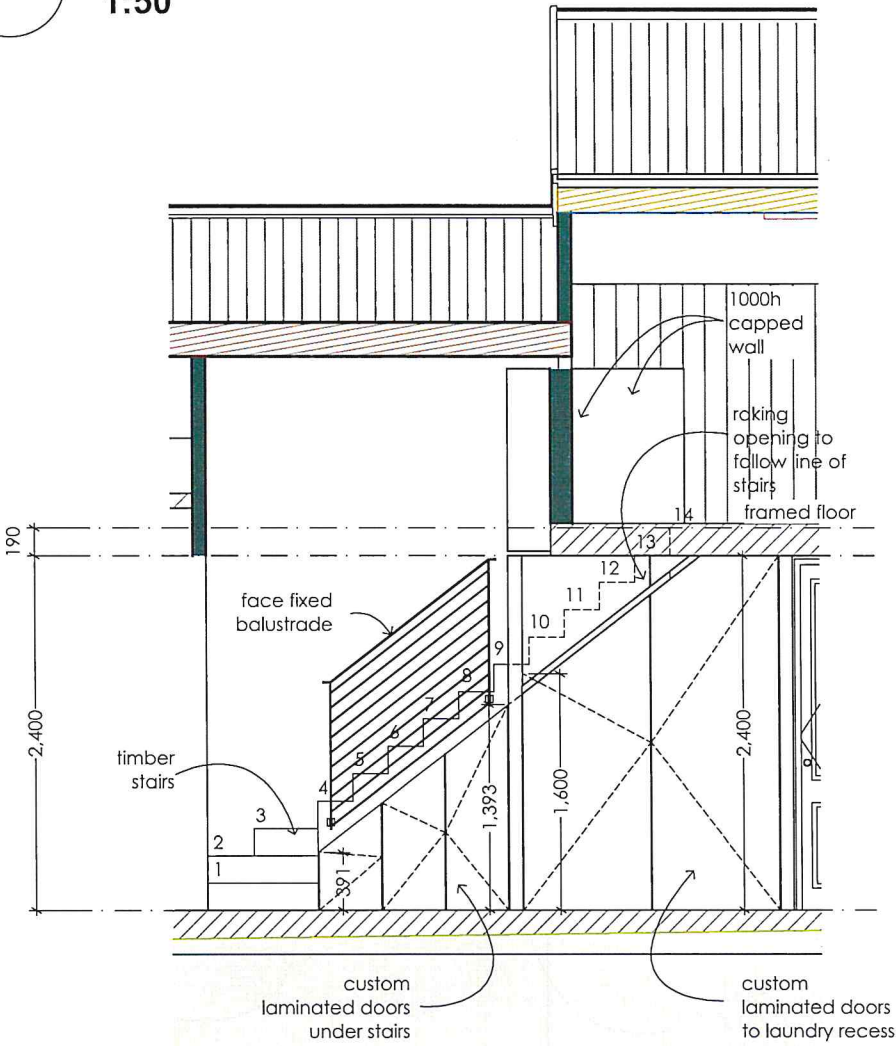
- EXISTING :
- TIMBER FRAMED FLOOR
 - TIMBER FRAMED WALL - FIBRE CEMENT SHEETING
 - GALVANIZED CUSTOM ORB ROOF @ 30° ROOF PITCH
 - 2725mm CEILING HEIGHT
 - TIMBER WINDOW FRAMES
- PROPOSED :
- CONCRETE RAFT SLAB
 - RE-ROOF IN COLORBOND CUSTOM ORB
 - NEW ROOF COLORBOND CUSTOM ORB @ 35° ROOF PITCH
 - RECYCLED FACE BRICK WORK TO SOUTHERN WALL
 - EXISTING TIMBER FRAMED WALL RECLAD IN WEATHERBOARD
 - NEW TIMBER FRAMED WALL - WEATHERBOARD CLADDING



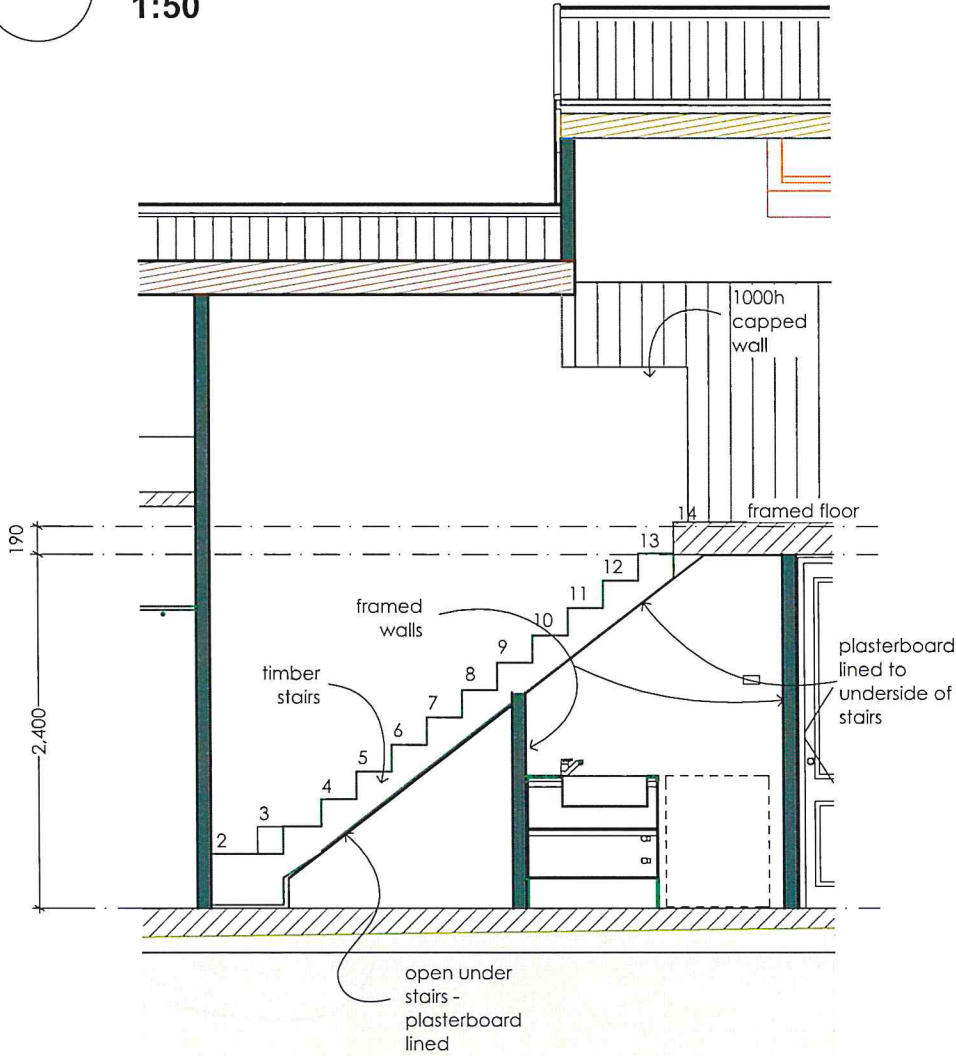
GF STAIR LAYOUT
1:50



UF STAIR LAYOUT
1:50



S1
1:50



S2
1:50

COPYRIGHT

PROPOSED RENOVATION
A & R GRENENGER
LOT 2 No 46 SEWELL STREET
EAST FREMANTLE

DRAWING TITLE:
STAIR LAYOUTS

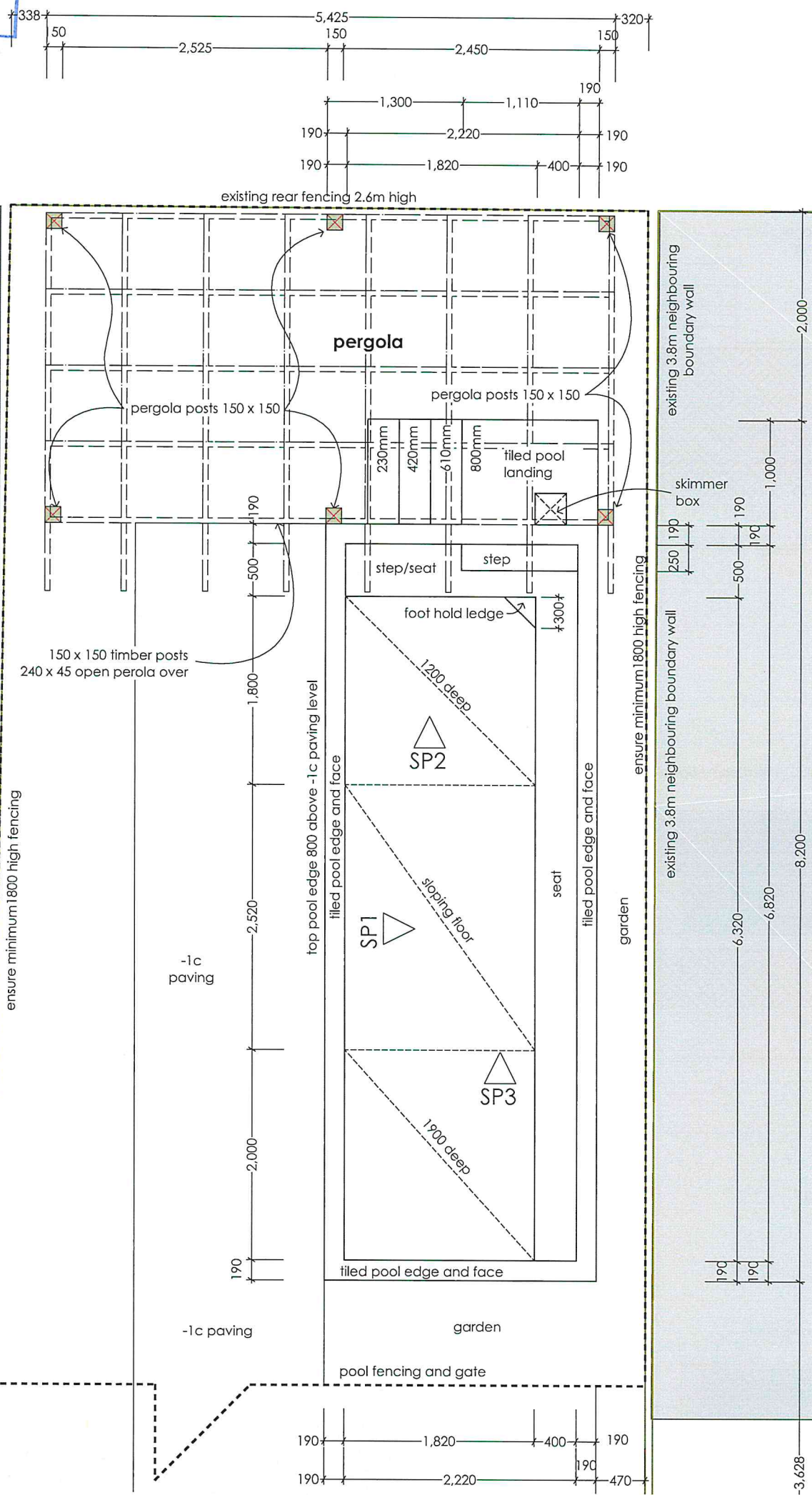
DRAWN:
RICCADONNA DESIGN

PUBLISH DATE:
Thursday, 25 March 2021

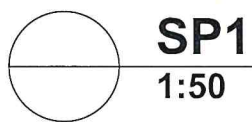
AMENDMENTS:
REV K 09.12.20 ENGINEERING REVIEW
REV L 21.01.21 ENGINEERING REVIEW
REV M 15.02.21 BUILDING APPROVAL APPLICATION
REV N 09.03.21 BUILDING APPROVAL APPLICATION
REV O 23.03.21 BUILDING APPROVAL APPLICATION

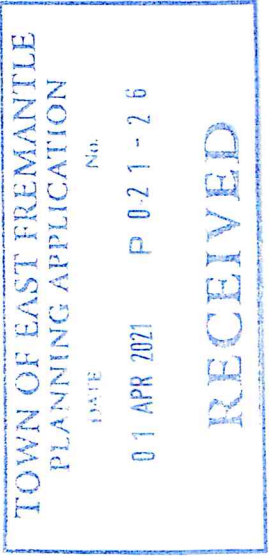


D:\Riccadonna Design\Dropbox\Jobs\Grenenger\Grenenger REV O.pln



POOL LAYOUT





1:50

1:50

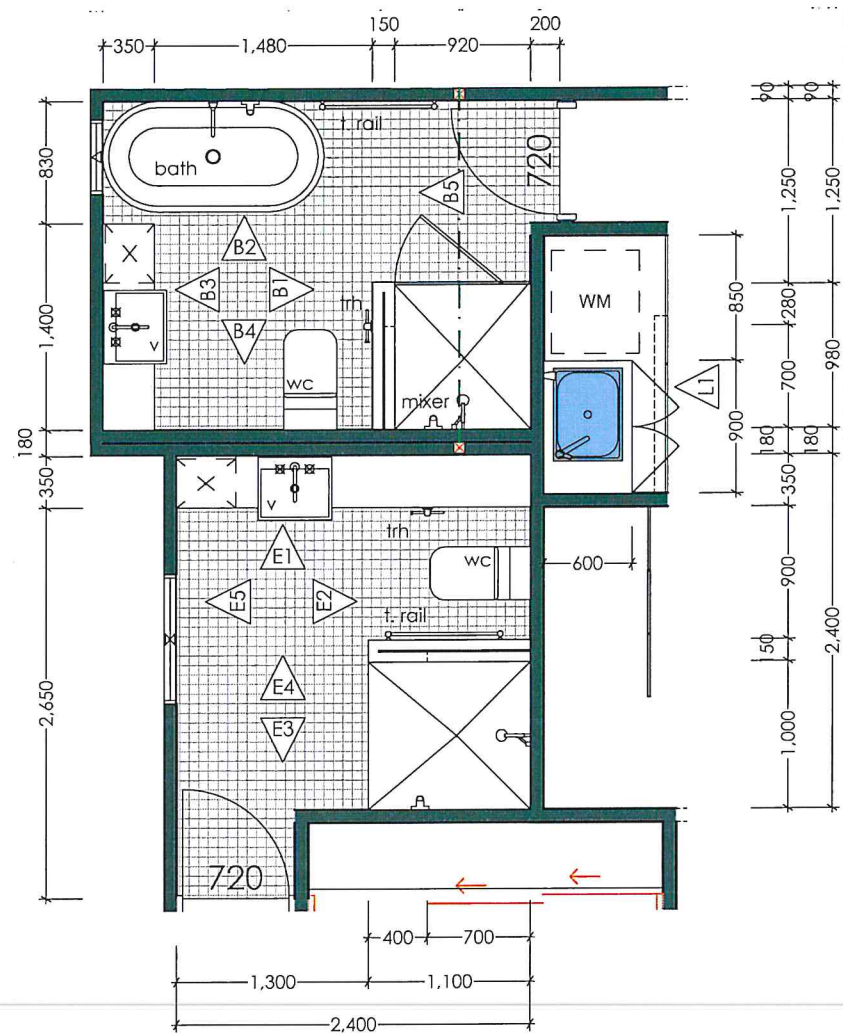
1:50

1:50

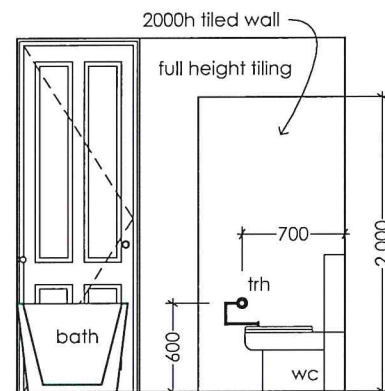
1:50

1.50

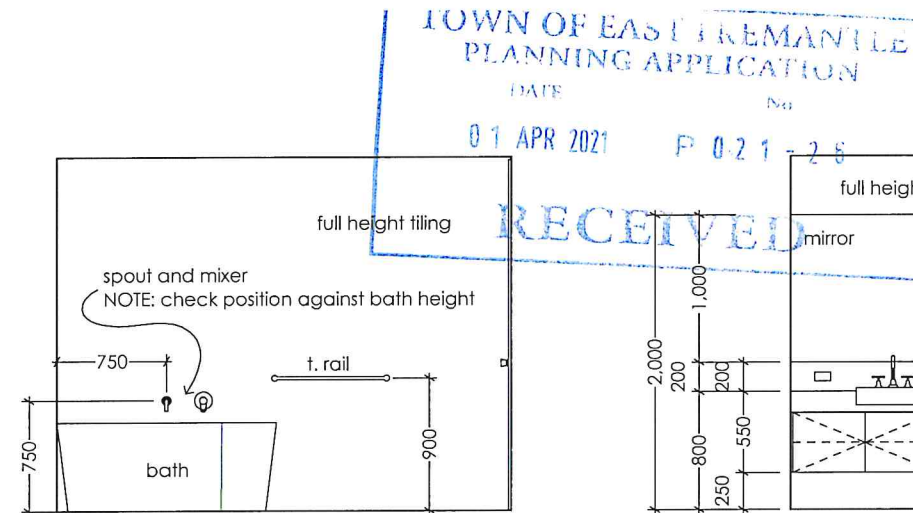
**TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE
TREATMENTS DETAILS AND LOCATIONS
REQUIRED. INSTALL STRICTLY TO RELEVANT
CODES AND REGULATIONS**



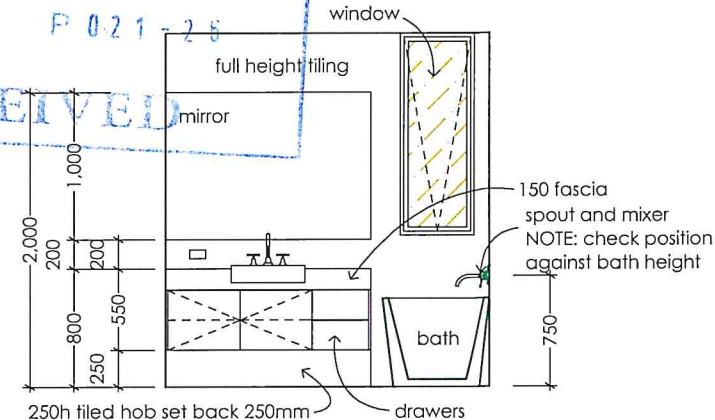
BATHROOM/ENSUITE LAYOUT
1:50



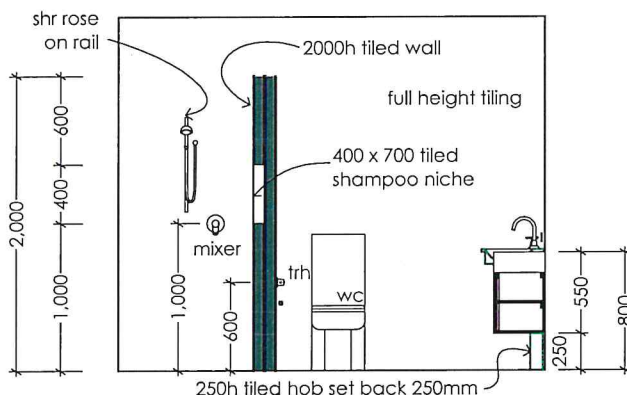
B1
1:50



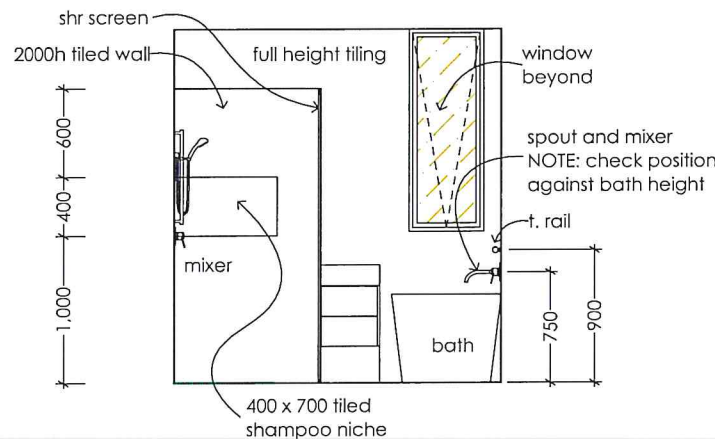
B2
1:50



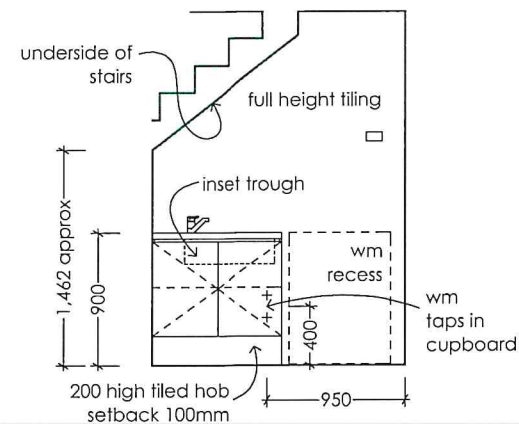
B3
1:50



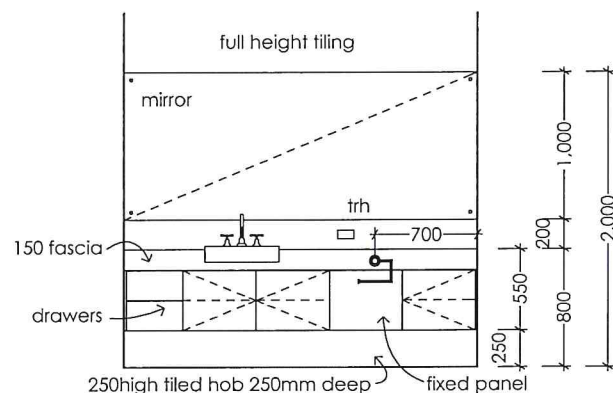
B4
1:50



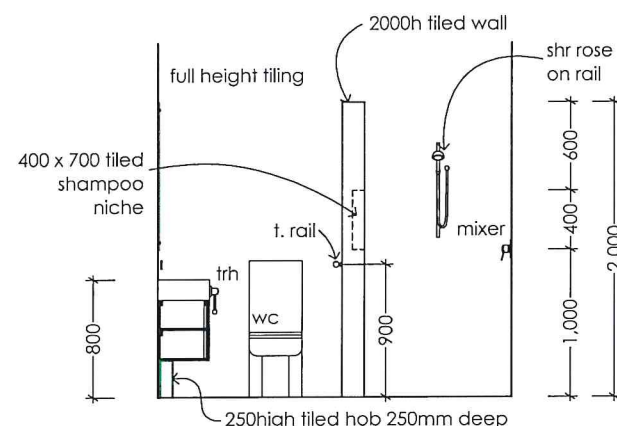
B5
1:50



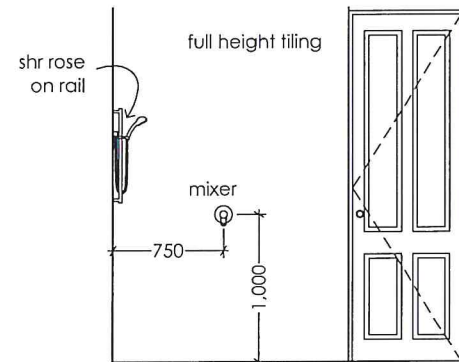
L1
1:50



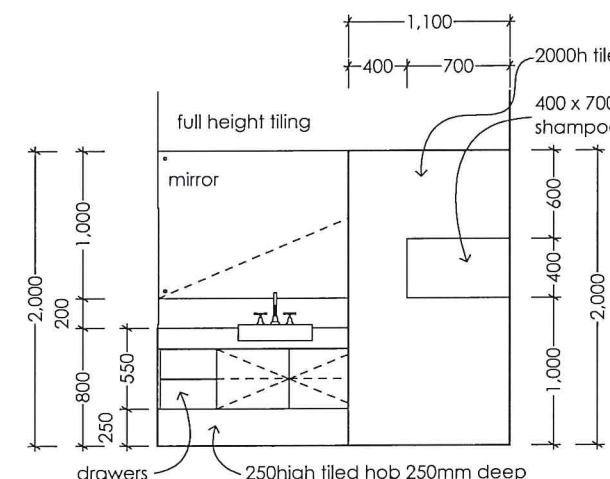
E1
1:50



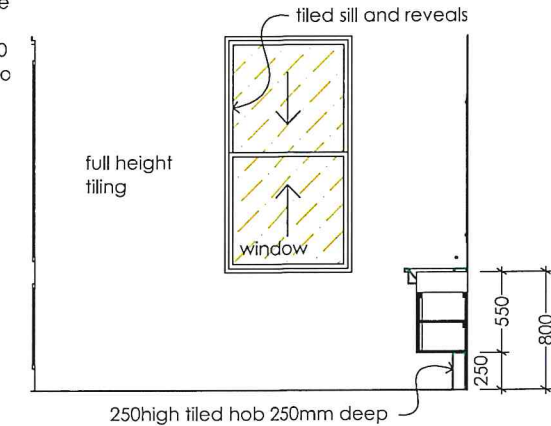
E2
1:50



E3
1:50



E4
1:50



E5
1:50

© COPYRIGHT

PROPOSED RENOVATION
A & R GRENENGER
LOT 2 No 46 SEWELL STREET
EAST FREMANTLE

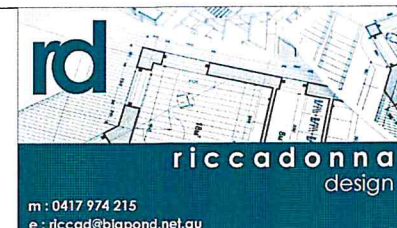
DRAWING TITLE:
ROOM LAYOUTS 2

DRAWN:
RICCADONNA DESIGN

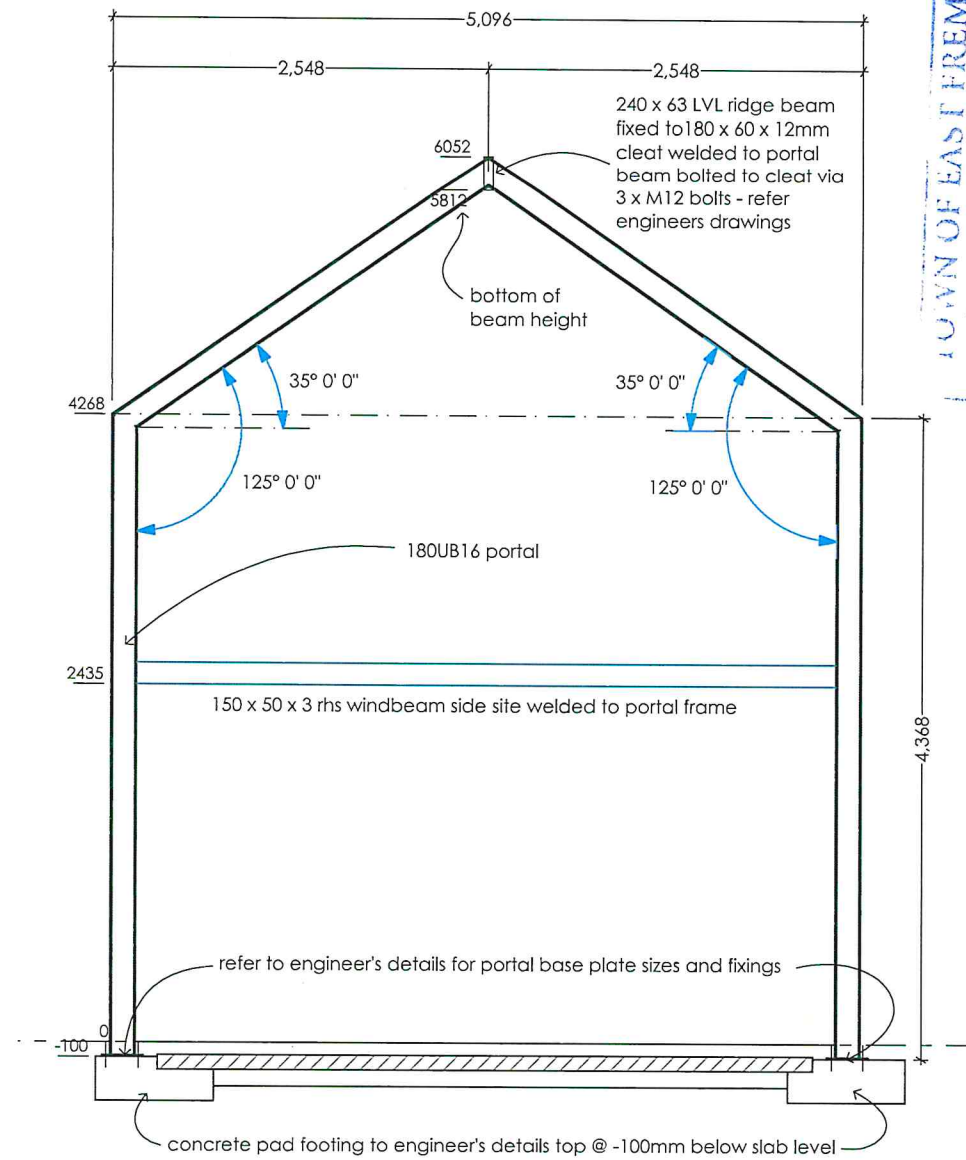
PUBLISH DATE:
Thursday, 25 March 2021

AMENDMENTS:
REV K 09.12.20 ENGINEERING REVIEW
REV L 21.01.21 ENGINEERING REVIEW
REV M 15.02.21 BUILDING APPROVAL APPLICATION
REV N 03.03.21 BUILDING APPROVAL APPLICATION
REV O 23.03.21 BUILDING APPROVAL APPLICATION

D:\Riccadonna Design\Dropbox\Jobs\Grenenger\Grenenger REV O.pln

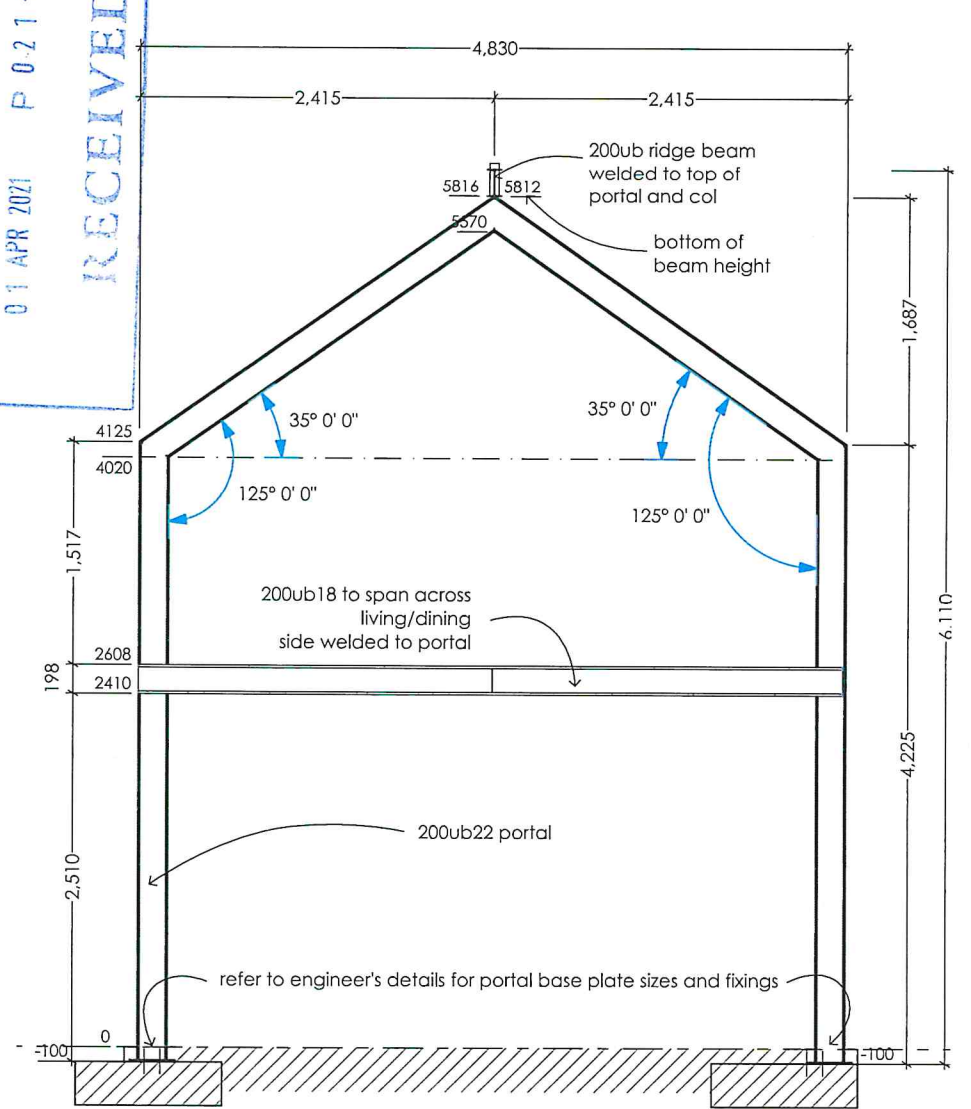


SHEET 15 of 18



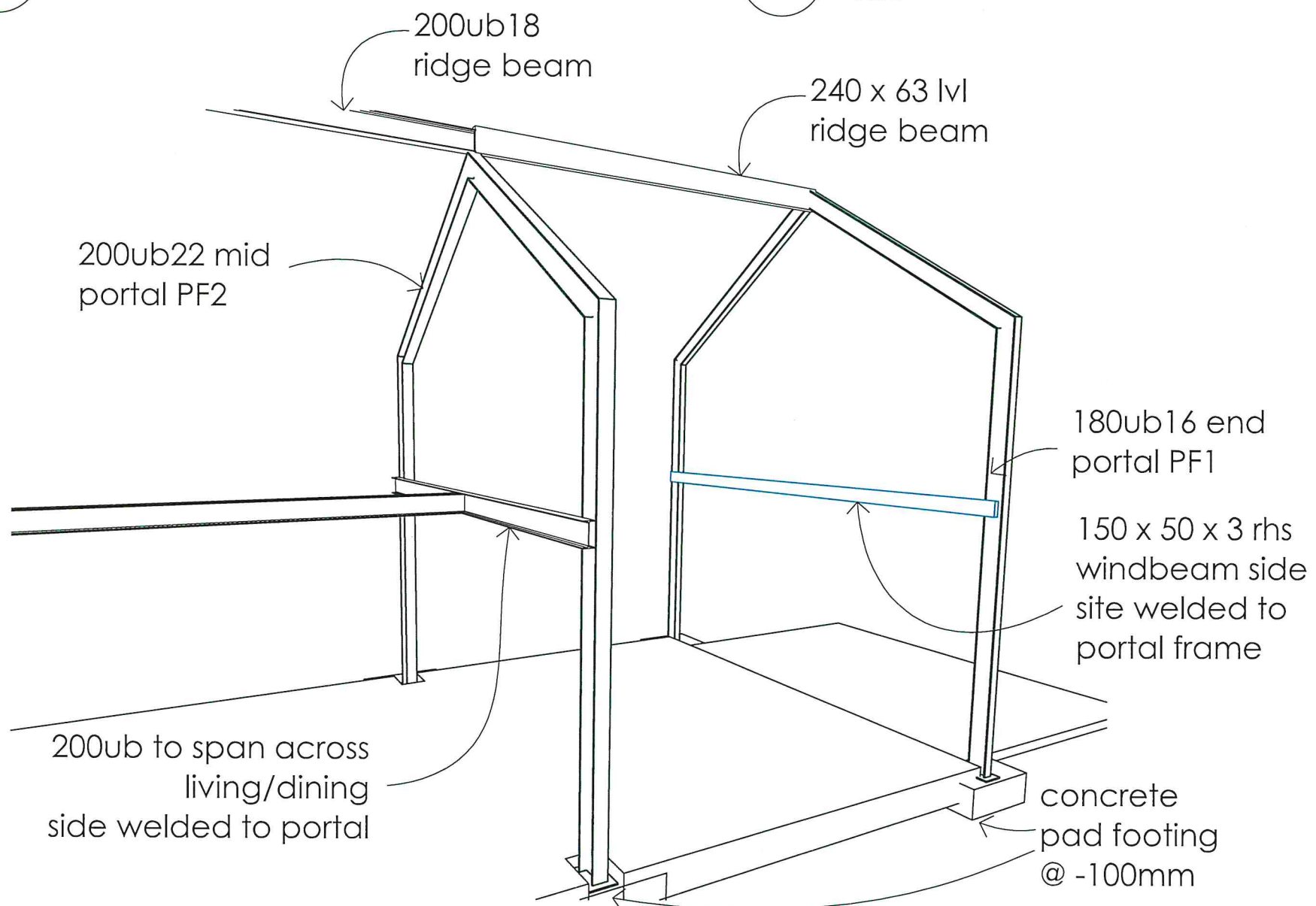
END PORTAL FRAME PF1

1:50



MID PORTAL FRAME PF2

1:50



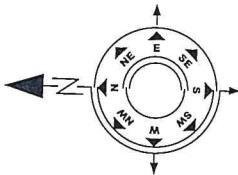
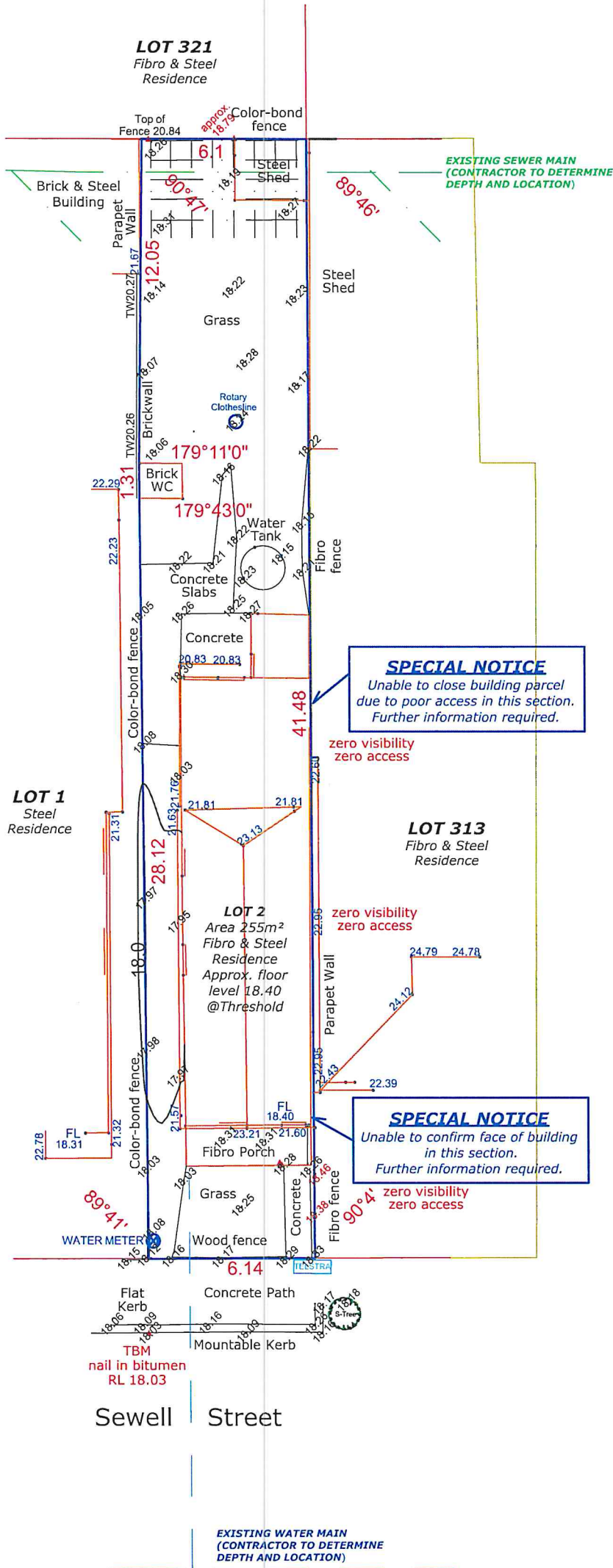
PORTAL FRAME PERSPECTIVE

ZENITH LAND SURVEYING
LICENSED LAND & ENGINEERING SURVEYORS
UNIT 5, 44 HUTTON STREET
OSBORNE PARK
info@zenithsurvey.com.au

IMPORTANT NOTICE

Features are related to
fence lines only. No connection
made to boundaries.
REPEG RECOMMENDED

TOWN OF EAST FREMANTLE
PLANNING APPLICATION
DATE 01 APR 2021 No. P 021-26
RECEIVED



LEGEND

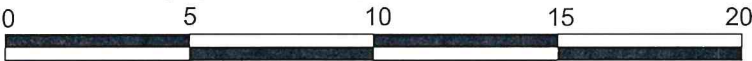
T.B.M. ▲	SEWER MANHOLE □	SEWER CON. □
POWER DOME ○	SEWER INSPECT ○	TW - TOP OF WALL
TELSTRA [TELSTRA]	FLOOR LEVEL FL	LARGE TREE ○
WATER METER [WATER METER]	DRAIN [DRAIN]	SMALL TREE [SMALL TREE]
POWER POLE - [POWER POLE]	SOAKWELL ○	TREE STUMP [TREE STUMP]
STREET LAMP [STREET LAMP]	HYDRANT [HYDRANT]	WATER LINE [WATER LINE]
BOUNDARY [BOUNDARY]	BUILDING [BUILDING]	SEWER LINE [SEWER LINE]

SURVEYOR SITE REPORT

ELECTRICITY: UG	GAS: NOT SIGHTED
PHONE: YES	WATER: YES
SEWERAGE: YES	2D Line work survey: YES
ROAD: BITUMEN	3D Line work survey: NOT REQUIRED
KERB: (Mountable)	
FOOTPATH: Yes	
VEGETATION: -	
SOIL: SAND/GRASS	
VIEWS: ELEVATED	
REPEG: REQUIRED	
AREA: OLD SURVEY AREA	

Existing Site
1:200

SITE PLAN SCALE 1:200 at A3



NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES
FOR HOUSE POSITION REQUIRED.

IMPORTANT NOTES:

CHECK CERTIFICATE OF TITLE FOR EASEMENTS, CAVEATS & COVENANTS
PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE WORKS
LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED
UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.

IMPORTANT NOTES:

All SEWER and WATER details plotted from information
supplied by Water Corporation. This information is
approximate only and a Cadastral Connection will be required
if true sewer location points are required for service works.

SURVEY ADDRESS :

LOT 2 (#46) Sewell Street, East Fremantle

AUSTRALIAN HEIGHT DATUM (AHD)

DERIVED FROM SEWER MANHOLE - 0427A R.L - 17.50

CLIENT / S:	TBM HEIGHT
GRENEGER	18.03 AHD
PLAN / DIAGRAM No	Job No:
D 9057	ZS2100

TOWN OF
EAST
FREEMANTLE

ZENITH LAND SURVEYING
LICENSED LAND & ENGINEERING SURVEYORS
UNIT 5, 44 HUTTON STREET
OSBORNE PARK
info@zenithsurvey.com.au

IMPORTANT NOTICE
Features are related to
fence lines only. No connection
made to boundaries.
REPEG RECOMMENDED

TOWN OF EAST FREMANTLE
PLANNING APPLICATION

DATE No.
01 APR 2021 P 021-26

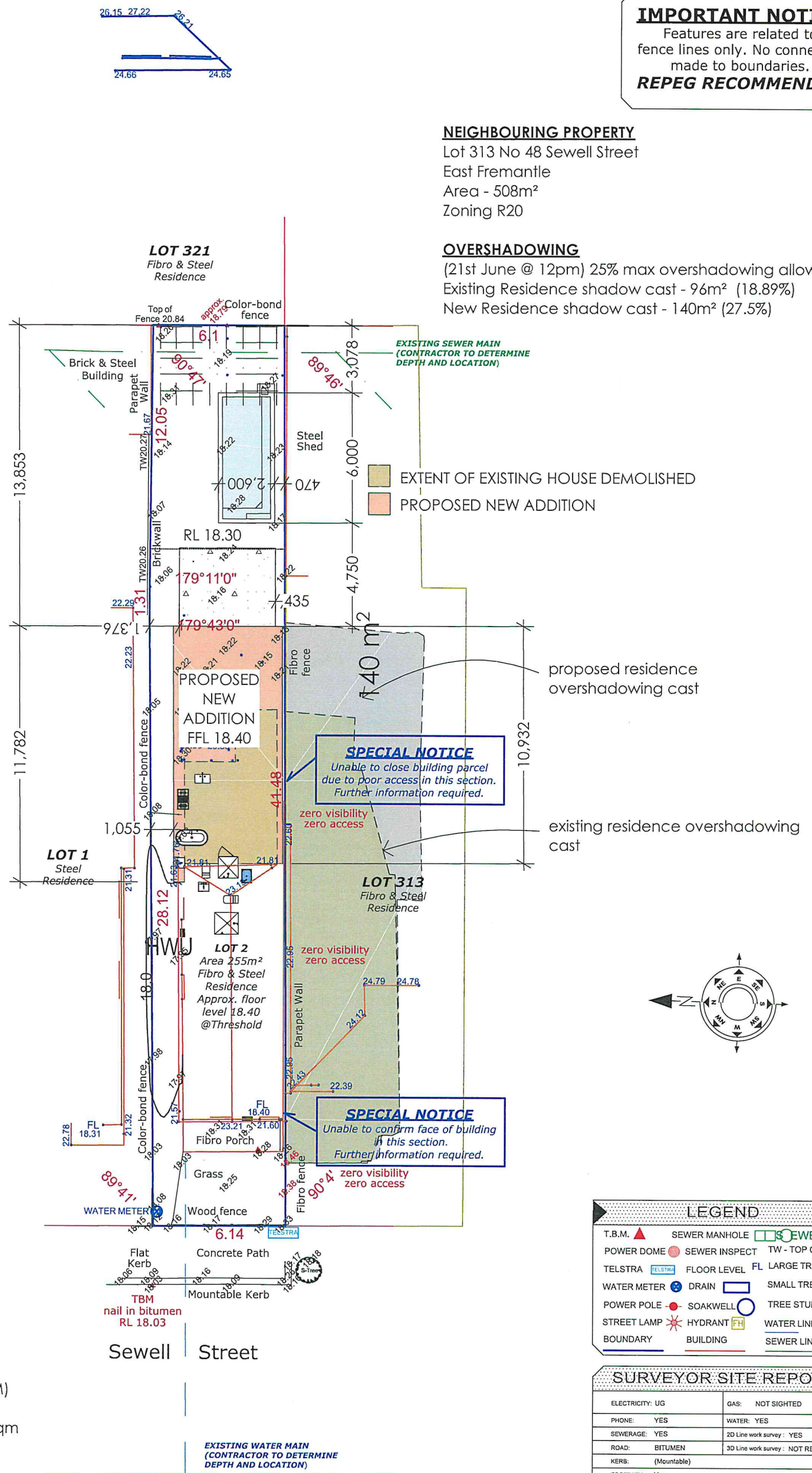
RECEIVED

NEIGHBOURING PROPERTY

Lot 313 No 48 Sewell Street
East Fremantle
Area - 508m²
Zoning R20

OVERSHADOWING

(21st June @ 12pm) 25% max overshadowing allowed
Existing Residence shadow cast - 96m² (18.89%)
New Residence shadow cast - 140m² (27.5%)



R20 ZONING

SITE AREA - 255SQM
ALLOWABLE OPENSACE = min 50% (127.5SQM)

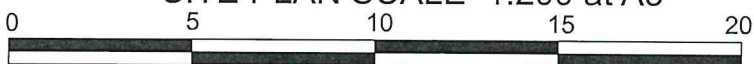
EXISTING & PROPOSED FLOOR AREA = 120.19sqm
52.86% open space

LEGEND		
T.B.M. ▲	SEWER MANHOLE	SEWER CON.
POWER DOME	SEWER INSPECT	TW - TOP OF WALL
TELSTRA	FLOOR LEVEL	FL LARGE TREE
WATER METER	DRAIN	SMALL TREE
POWER POLE	SOAKWELL	TREE STUMP
STREET LAMP	HYDRANT	WATER LINE
BOUNDARY	BUILDING	SEWER LINE

SURVEYOR SITE REPORT

ELECTRICITY: UG	GAS: NOT SIGHTED
PHONE: YES	WATER: YES
SEWERAGE: YES	2D Line work survey: YES
ROAD: BITUMEN	3D Line work survey: NOT REQUIRED
KERB: (Mountable)	
FOOTPATH: Yes	
VEGETATION: -	
SOIL: SAND/GRASS	
VIEWS: ELEVATED	
REPEG: REQUIRED	
AREA: OLD SURVEY AREA	

SITE PLAN SCALE 1:200 at A3



NOTE: IF HOUSE REMAINING, SURVEY OF BOUNDARIES
FOR HOUSE POSITION REQUIRED.

IMPORTANT NOTES:
CHECK CERTIFICATE OF TITLE FOR EASEMENTS, CAVEATS & COVENANTS
PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE WORKS
LOCATION OF BOUNDARY PEGS & IMPROVEMENTS NOT GUARANTEED
UNLESS BOUNDARIES ARE REPEGGED AT TIME OF SURVEY.

IMPORTANT NOTES:
All SEWER and WATER details plotted from information
supplied by by Water Corporation. This information is
approximate only and a Cadastral Connection will be required
if true sewer location points are required for service works.

SURVEY ADDRESS :

LOT 2 (#46) Sewell Street, East Fremantle

AUSTRALIAN HEIGHT DATUM (AHD)
DERIVED FROM SEWER MANHOLE - 0427A R.L. - 17.50

CLIENT / S:	TBM HEIGHT
GRENNER	18.03 AHD
PLAN / DIAGRAM No	Job No:
D 9057	ZS2100