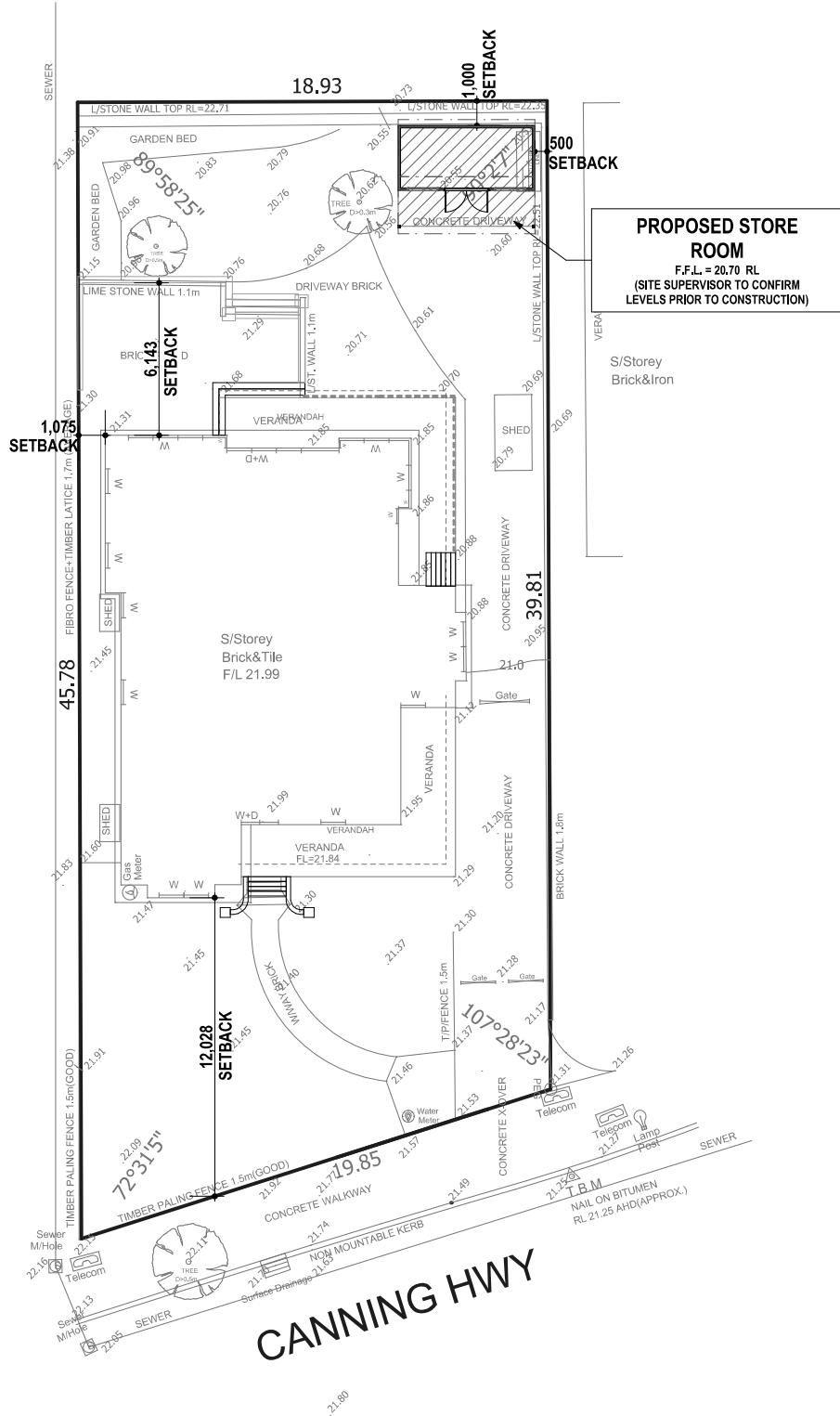


ZONED:	R20
SITE AREA:	810.00 m ²
EXISTING BUILDING AREA:	204.37m ²
EXISTING VERANDAH 1:	28.43m ²
EXISTING VERANDAH 2:	29.58m ²
PROPOSED STORE ROOM:	14.300m ²
PROPOSED CARPORT:	26.32m ²
TOTAL BUILDING AREA:	303.00m ²
OPEN SPACE ACHIEVED:	507.00m ²
OPEN SPACE REQUIRED:	159.76m ²

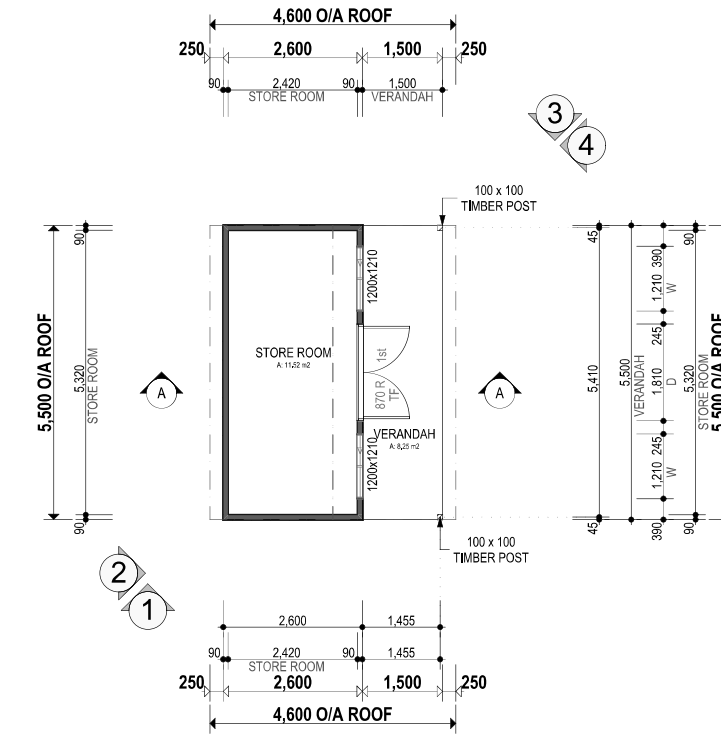


SITE PLAN - PROPOSED
1:200

NOTES:

- CLIENT SUPPLIED MATERIALS & LABOUR - REFER TO CONTRACT & ADDENDA.
- BUILDER TO VERIFY ALL DIMENSIONS, LEVELS & CONTOURS ON SITE BEFORE CONSTRUCTION.
- DIMENSIONS ARE TO FRAME STUDS ONLY & DO NOT INCLUDE LININGS OR CLADDINGS
- HEIGHTS ARE FROM TOP OF SLAB, NO ALLOWANCE MADE FOR FLOOR COVERINGS.
- THE BUILDING CODE OF AUSTRALIA FORMS PART OF THESE DRAWINGS, ALL THE BCA REQUIREMENTS ARE TO APPLY INCLUDING THOSE NOT SHOWN OR MENTIONED HERE IN.
- SMOKE DETECTOR TO BCA 3.7.2.
- BUILDER IS TO PROVIDE ALL FLASHINGS AS NECESSARY TO WATERPROOF THE BUILDING.
- WET AREA FLOORS TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 - 2010 "WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.
- TILING TO WET AREAS BY BUILDER, UNLESS NOTED OTHERWISE.
- ELECTRICAL & PLUMBING FINAL LOCATIONS AT DISCRETION OF TRADES TO MEET AS/NZS 3000:2007 & AS/NZS 3500.5
- COLORBOND/ZINCALUME GUTTERS AND DOWNPIPES TO DISPERSE WATER TO GROUND LEVEL.
- SOAKWELLS / STORMWATER IN ACCORDANCE WITH BCA REQUIREMENTS & BUILDING PERMIT CONDITIONS TO BE UNDERTAKEN **GFWA - (PC ITEM)**
- BW ——— DENOTES WALL BRACING 3kN CAPACITY TO 1684 - 2010.
- EXTERNAL DOORS & OPENABLE WINDOWS SERVING HABITABLE ROOMS TO BE FITTED WITH WEATHER SEALS IN ACCORDANCE WITH BCA 3.12.3.3. ALL WINDOWS TO BE IN ACCORDANCE WITH AS 2047 - 1999.
- ROOF INSULATION: **R2.0 ANTICON + R2 BLANKET BATT INSULATION**
- CEILING INSULATION: **R4.0 BATTS**
- EXT WALL INSULATION: **6.5mm AIRCELL + R2.5 BATT INSULATION**

AREA CALCULATIONS	
	Area m ²
STORE ROOM	14,300
STORE ROOM ROOF	25,300
VERANDAH	8,250



STORE ROOM PLAN
1:100



PO BOX 4459
MYAREE BC WA 6960
PHONE: 9329 6888
BUILDERS REGISTRATION #11156
EMAIL: admin@grannyflatswa.com

SIGNATURES

CLIENT:

CLIENT:

BUILDER:

These plans and attached specifications are and shall always remain the sole property of Granny Flats WA and must not be given, lent, resold, hired out, copied, or otherwise disposed of without the written permission of the company.

VARIATIONS

DATE: INT:

DS NV

WDWG 01/09/21 NV

CLIENT NAME:

PETER HILL &
REBECCA THOMSON

SITE ADDRESS:

201 CANNING HIGHWAY
EAST FREMANTLE 6158

DRAWN: NV

DATE: 15/12/21

SALES:

COASTAL: NO

CLIMATE ZONE:

WIND REGION:

Page No:
2 OF 11

Drawing No. A02



ADVANCED BUILDING ENGINEERS PTY LTD

UNIT 2/50 OXFORD CLOSE, WEST LEEDERVILLE, WA 6007.

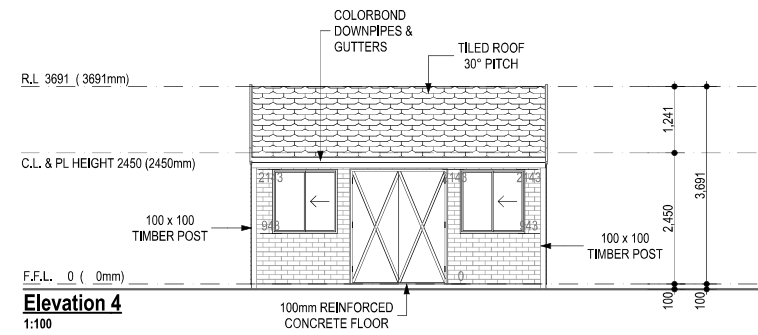
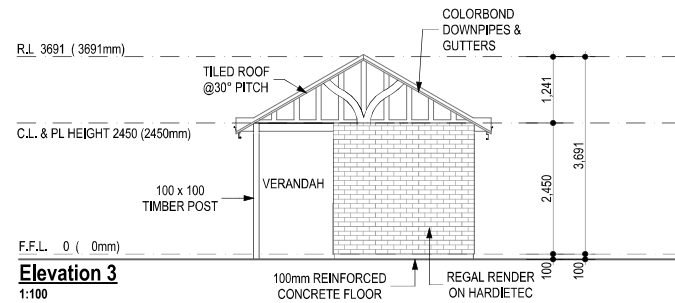
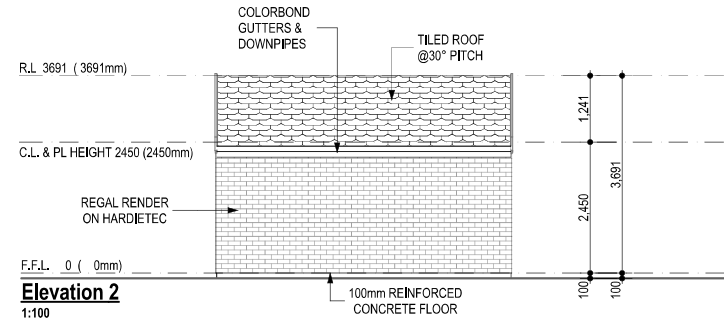
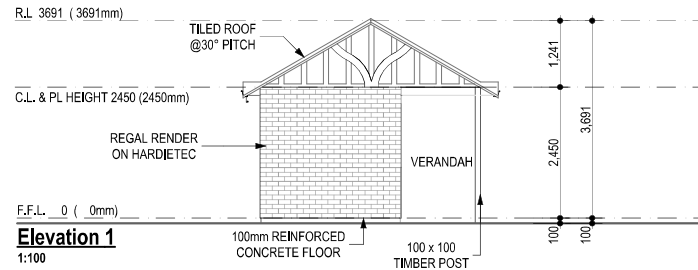
T. 08 9362 8888, F. 08 9381 9999 www.abewd.com.au



Robert David
Chartered Professional Engineer
Membership No. 259960
The Institution of Engineers, Australia

APPROVED

	MATERIAL	COLOUR
EXTERNAL WALLS	HARDITEC	REGAL RENDER TO MATCH RED HOUSE BRICKS COLOUR
ROOF	TILES	MATCH EXISTING ORANGE COLOUR
GUTTERS	COLORBOND	MATCH EXISTING WHITE COLOUR
DOWNPIPES	COLORBOND	MATCH EXISTING HOUSE RED COLOUR
WINDOW FRAMES	ALUMINIUM	PEARL WHITE
CORBELLING	HARDIES 90 x 45	WHITE
POST & BEAMS	100 x 100 TIMBER POST	MATCH EXISTING HOUSE RED COLOUR



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VARIATIONS		
DS	DATE:	INT:
WDWG	11/08/21	NV
	01/09/21	NV

CLIENT NAME:
PETER HILL &
REBECCA THOMSON
SITE ADDRESS:
201 CANNING HIGHWAY
EAST FREMANTLE 6158

DRAWN: NV	DATE: 15/12/21
SALES:	COASTAL: NO
CLIMATE ZONE:	WIND REGION:
Page No: 3 OF 11	Drawing No. A03

ADVANCED BUILDING ENGINEERS PTY LTD
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APPROVED