

site information (tbc)

zoning: R20
 site area: 399m²
 allowed site cover: 199.5m²
 act. site cover: 205.86m²

develover app req: no
 planning app req: yes

DRAINAGE NOTES:

volume to be stored based on 0.013 of m² of impervious surface.

plumber to confirm run layout & location of soak wells. Drawings are indicative only.

Impervious Area: 230.85m². Volume to Store: 3.00m³.

number of s/wells req'd:
 1x 1500 x 900 = 1.59m³
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Total Soakwell Volume: 3.18m³

TANK VOLUME.

| DIAM. | DEPTH | VOL |
|-------|-------|------|
| 1500 | 900 | 1.59 |
| | 1200 | 2.12 |
| | 1500 | 2.65 |
| | 1800 | 3.18 |
| 1200 | 900 | 1.02 |
| | 1200 | 1.36 |
| | 1500 | 1.70 |
| | 1800 | 2.03 |
| 900 | 900 | 0.57 |
| | 1200 | 0.76 |
| | 1500 | 0.95 |
| | 1800 | 1.14 |

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LEGEND

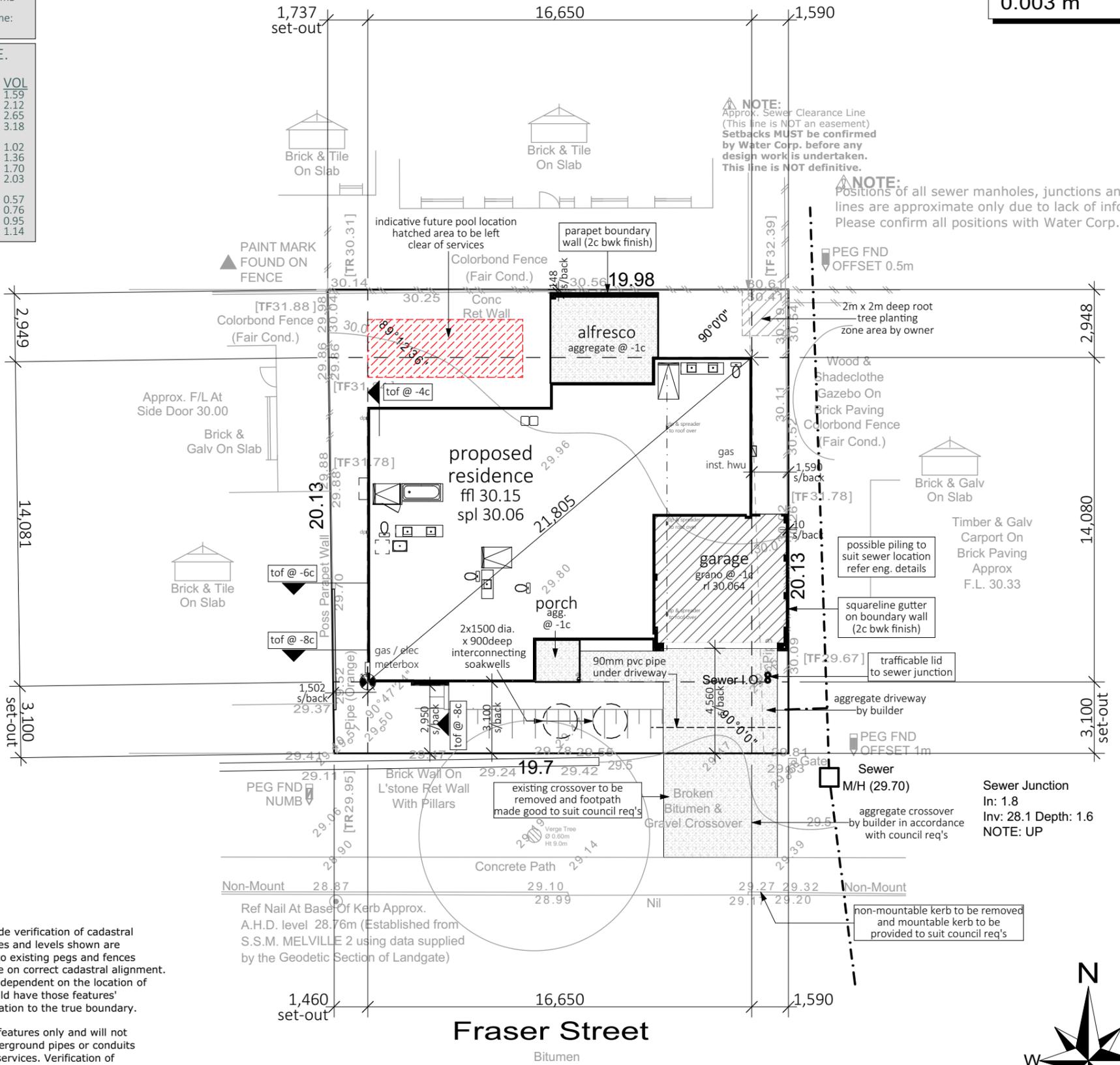
| | |
|--|-----------------|
| | Power Dome |
| | Power Pole |
| | Phone Pits |
| | Water Conn. |
| | Top Pillar/Post |
| | Top Wall |
| | Top Retaining |
| | Top Fence |

NOTE:
 TELSTRA/COMMS. PIT NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH TELSTRA.

NOTE:
 UNDERGROUND POWER NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY. VERIFY AVAILABILITY WITH WESTERN POWER.

SSL2 MISCLOSE
 0.003 m

SSL1 MISCLOSE
 0.003 m



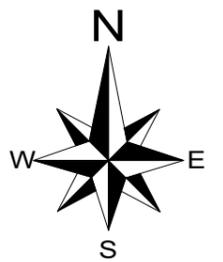
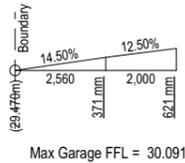
DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

WARNING:
 Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-pegged and line pegs placed.



Scale 1:200

| | | | | | |
|---|--|----------------------------|---|-----------------------------|-------------------------|
| | 87-89 Guthrie Street Osborne Park, WA 6017 | JOB # 531463 | GPS Lat: -32.034657 Long: 115.77536 | ROADS Bitumen | ELEC. U/Ground(Not Loc) |
| | PO Box 1611 Osborne Park Business Centre WA 6917 | ADDRESS #34 Clayton Street | LOT Survey Strata Lot 2 (SP 85373) | KERBS Mountable | COMMS. Not loc. |
| P: (08) 9446 7361 E: perth@cottage.com.au W: www.cottage.com.au | SUBURB East Fremantle | LGA TOWN OF EAST FREMANTLE | AREA 399m ² VOL. 4021 FOL. 628 | FOOTPATH Concrete | WATER Yes |
| | DRAWN J. Jee | DATE 11 Aug 22 | SSA No | SOIL Sand | GAS Check Alinta |
| | | | | DRAINAGE Good | SEWER Yes |
| | | | | VEGETATION High Grass Cover | COASTAL No |

| | | | | | |
|--|----------------|-------------------|----------|------|---------|
| client(s) K. & D. JACK | drawn: ARIA | REVISION | DATE | DRWN | client |
| | date: 17.07.23 | PLANNING DRAWINGS | 17.07.23 | ARIA | client |
| | model: CUSTOM | | | | builder |
| location LOT 2 (#89) FRASER STREET, EAST FREMANTLE | scale: 1:200 | | | | |
| | job no#: IP058 | | | | |
| | page: 1 OF 7 | | | | |

Into Place



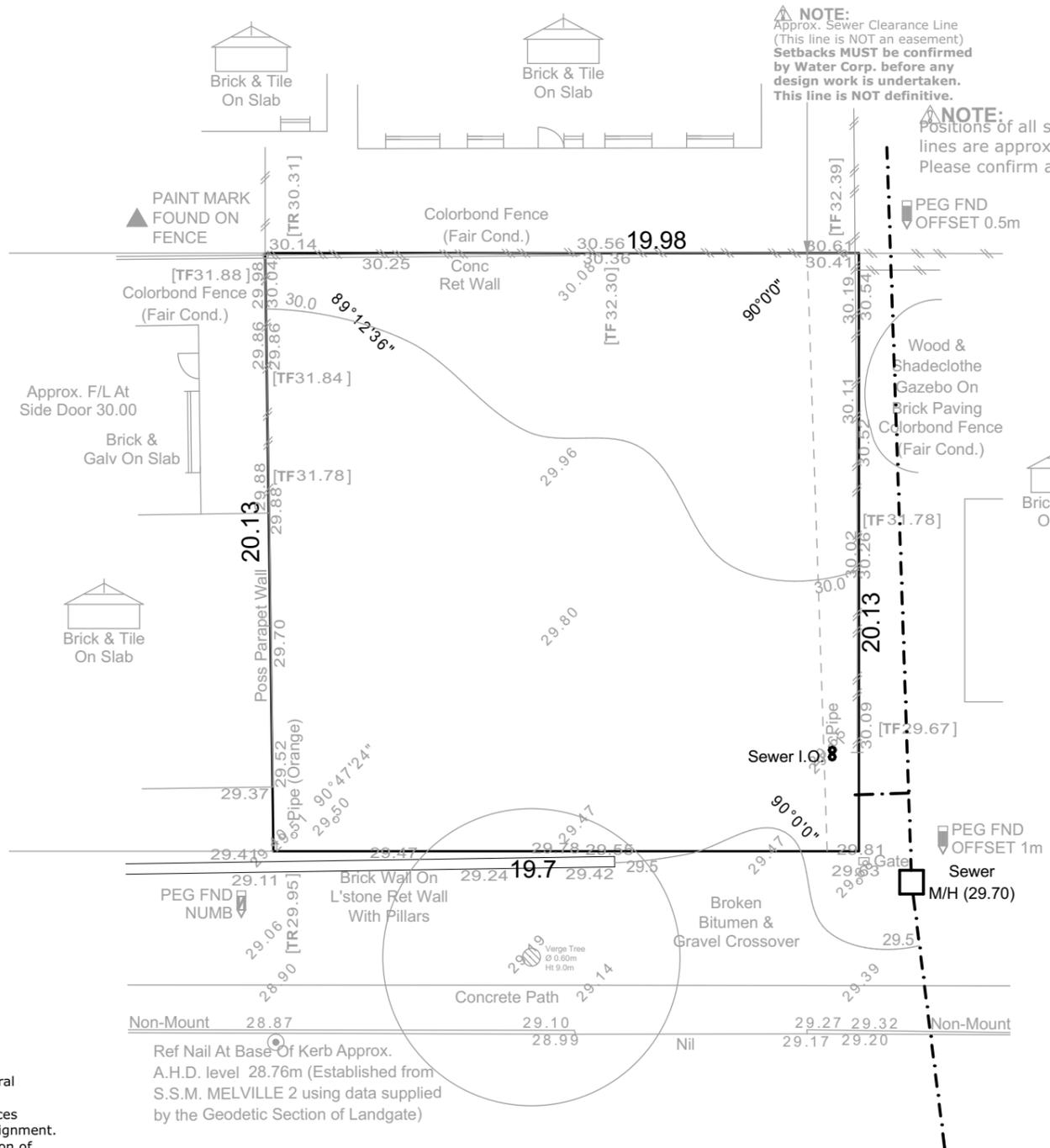
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| ⊞ | Water Conn. |
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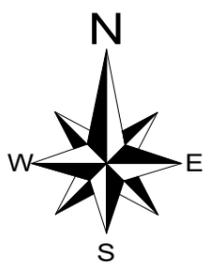
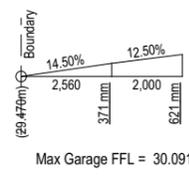
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Fraser Street

Bitumen



Scale 1:200
0 2 4 6 8



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| | page: 2 OF 7 | | | | |



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ROOF NOTE:

- ROOF PITCH @ 3° TO HOME UNLESS NOTED OTHERWISE
- STEEL ROOF FRAME TO NASH STANDARDS
- GROUND FLOOR CEILINGS @ 31c UNO

AIR-CONDITIONING NOTES:

- ALL AIR CONDITIONING FIXTURES LOCATIONS TO BE CONFIRMED BY SUPPLIER.

BRICKLAYER NOTES:

- 230W CAVITY BRICKWORK THROUGHOUT UNLESS NOTED OTHERWISE
- WEEPHOLES @ MINIMUM 1200CENTRS TO CAVITY BRICKWORK

FIXING CARPENTER NOTE:

- ALL LINENS / CLOAKS / WIP / PTY TO BE FITTED WITH 4x450d SHELVES UNLESS NOTED OTHERWISE
- ALL ROBES / WIR TO BE FITTED WITH 1x 450d SHELF & RAIL @ 1750 AFL UNLESS NOTED OTHERWISE

DOOR NOTE

- TOILET DOOR TO COMPLY W/- CLAUSE 3.8.3.3 OF B.C.A VOL. 2
- ALL DOOR & DOOR HARDWARE AS PER ADDENDUM

ROOF PLUMBER NOTES:

- DOWNPIPES AS PER PLANS, MAY BE RELOCATED AT PLUMBERS DISCRETION

GARAGE NOTE

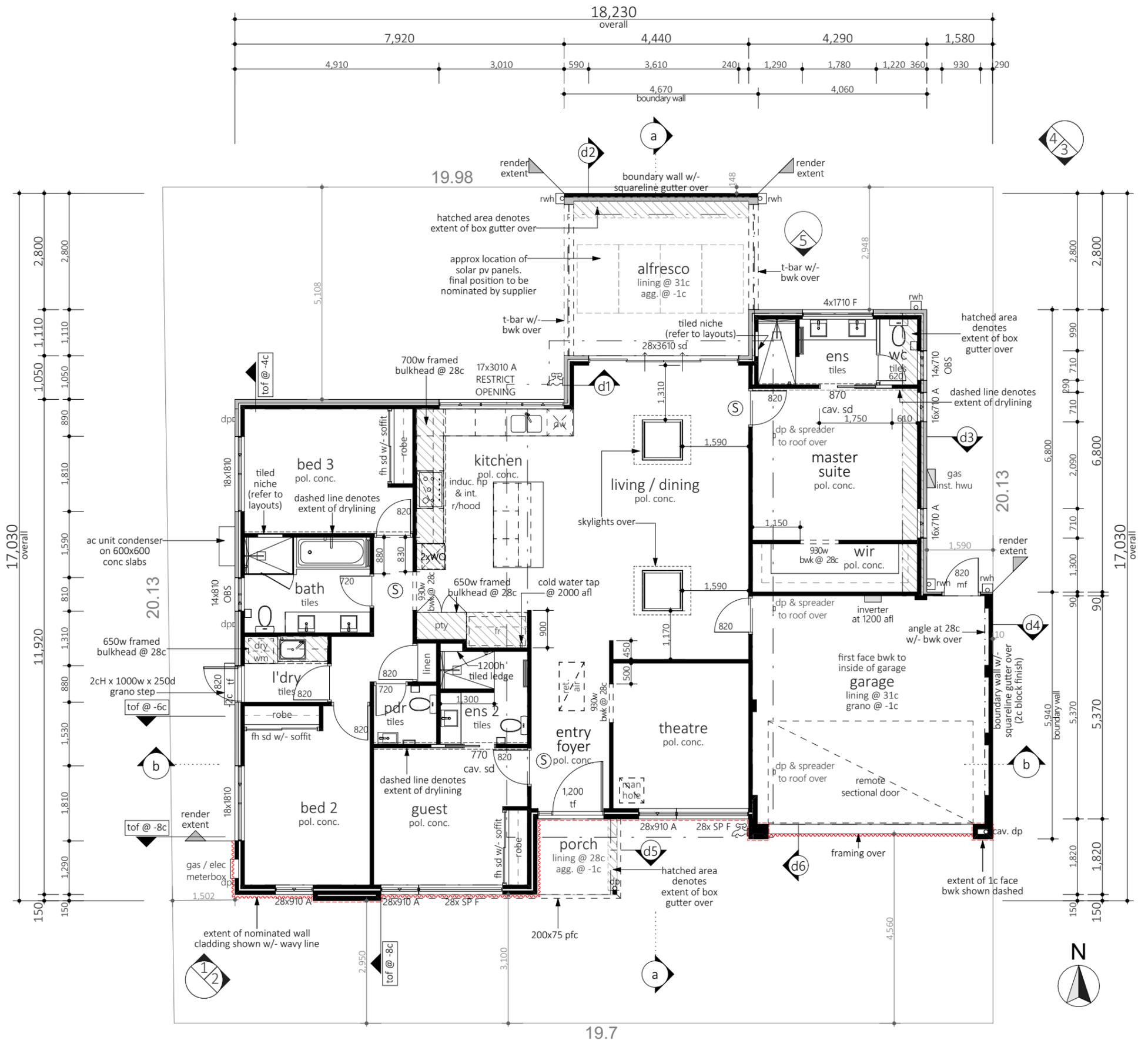
- SINGLE LEAF WALL TO GARAGE IS NOT WATERPROOF
- FALL GARAGE SLAB 20mm TOWARDS MAIN GARAGE OP'NG

INSULATION NOTES:

- R4.1 CEILING INSULATION AS PER ENERGY ASSESSMENT
- CAVITY WALL INSULATION TO HOUSE EXTERNAL CAVITY WALLS AS PER ENERGY ASSES.

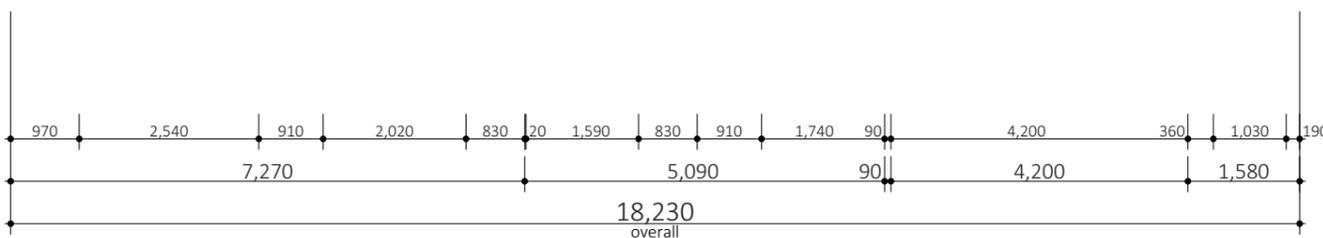
PLASTERER NOTES:

- ACRYLIC RENDER TO EXTERNAL WALLS SHOWN SHADED, REFER ELEVATIONS
- METAL ANGLE BEADS TO ALL INTERNAL WALL CORNERS
- DO NOT COVER WEEPHOLES WITH RENDER



| ground floor areas | | |
|--------------------|------------|------------------------|
| | perim. (m) | area (m ²) |
| house | 61.46 | 172.77 |
| garage | 23.38 | 33.29 |
| alfresco | 17.16 | 18.00 |
| porch | 7.48 | 3.49 |
| | | 227.55 m ² |

| overall roof cover quants | |
|---------------------------|------------|
| roof cover | Metal Deck |
| Surface [m2 on the rake] | 230.85 |
| Area [m2 on the flat] | 230.53 |



ALL DRAWINGS ARE SUBJECT TO CHANGE UPON RECEIPT OF STRUCTURAL ENGINEERS CERTIFICATION. DESIGN MAY VARY TO SUIT REQUIREMENTS

| site inspection info | |
|----------------------|-----|
| soil class.- | A |
| footing detail - | TBC |
| wind load - | N1 |
| corrosion class.- | R1 |

N.C.C NOTES:

- ALL BALUSTRADING & HANDRAILS TO BE IN ACCORDANCE WITH NCC (BCA VOL 2) CLAUSE 3.9.2
- STAIRWAY TREADS NON-SLIP TO TABLE 3.9.13 NCC VOL.2
- PROTECTION TO OPENABLE WINDOWS IN ACCORDANCE WITH 3.9.2.6 NCC VOL.2 (UPPER FLOOR ONLY)
- ALL SMOKE ALARMS TO BE HARD WIRED, INTERCONNECTING AS PER NCC (BCA VOL 2) CLAUSE 3.7.2 AND AS 3786
- SMOKE ALARMS DENOTED AS (S)

TERMITE TREATMENT NOTES:

- ALL PRIMARY BUILDING ELEMENTS USED FOR THE CONSTRUCTION OF THIS BUILDING WILL CONSIST ENTIRELY OF, OR A COMBINATION OF MATERIALS CONSIDERED NOT SUBJECT TO TERMITE ATTACK SPECIFICALLY ALL TIMBERS USED IN THIS DWELLING WILL BE PRESERVATIVE TREATED IN ACCORDANCE WITH PART 3.1.3.2 OF THE BUILDING CODE OF AUSTRALIA, VOL. 2, 2020

FLASHING NOTE:

- ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS FLASHED WITH ALCORE FLASHINGS

CONCRETOR NOTES:

- TOP OF FOOTINGS TO PIERS AND POSTS TO BE -2c FROM NOMINATED FLOOR FINISH RL

ground floor plan

| | | | | | |
|--|----------------|-------------------|----------|------|---------|
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| | page: 3 OF 7 | | | | |

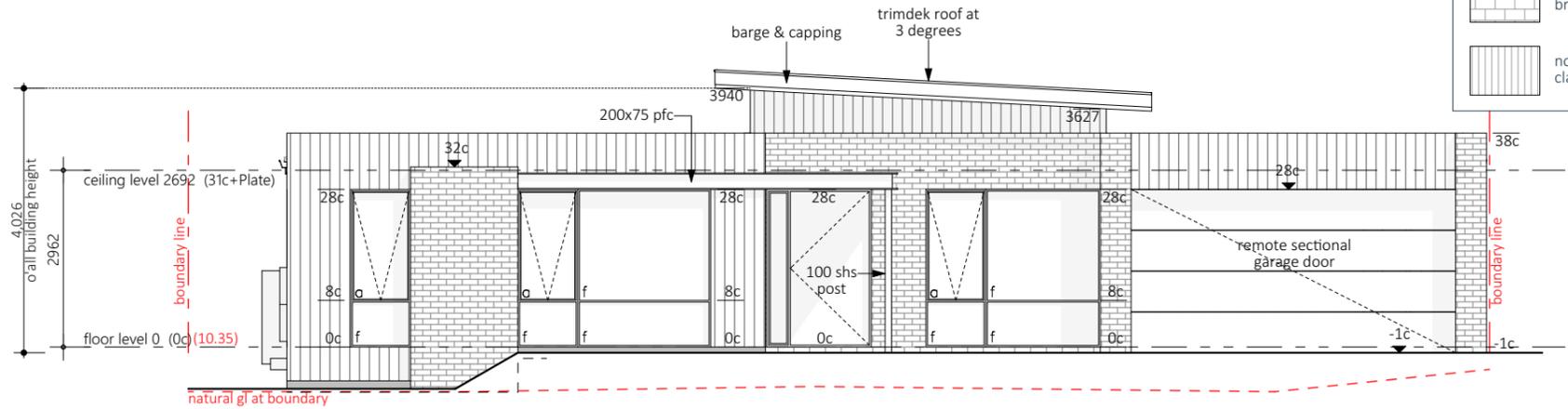
Into Place

PREMIUM DEVELOPMENTS

NOTES:
 - trimdek roof - pitch at 3° to ground floor roof u.n.o
 - shaded windows indicate obscured glazing

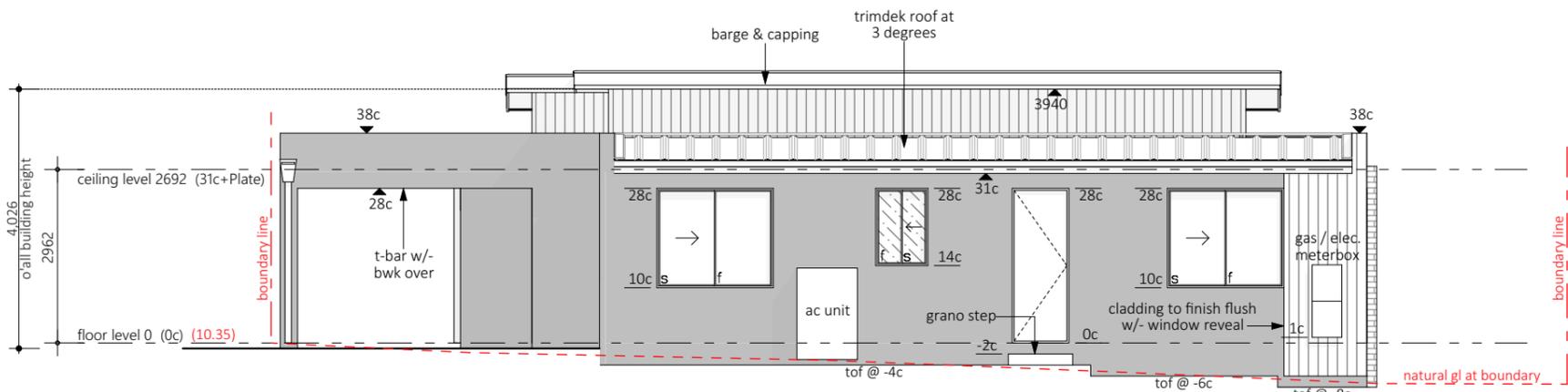
MATERIALS SCHEDULE:

-  render colour 1
-  1c face brickwork
-  2c face brickwork
-  nominated cladding



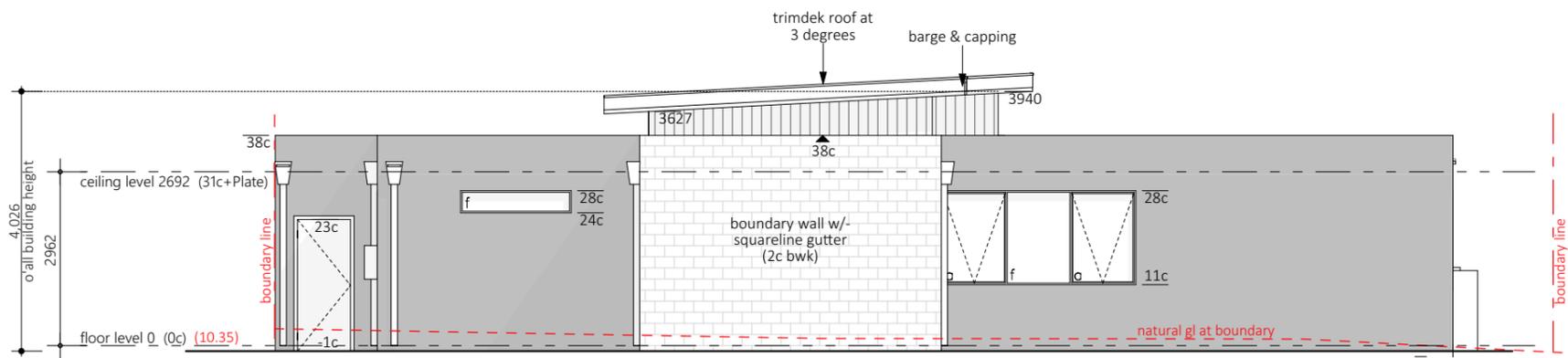
elevation 1

1:100



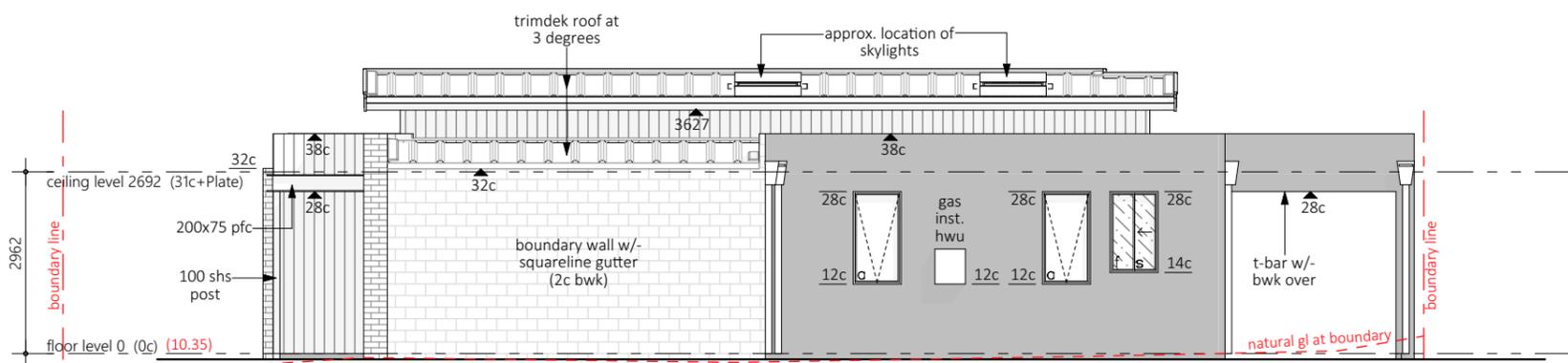
elevation 2

1:100



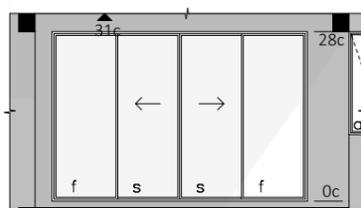
elevation 3

1:100



elevation 4

1:100



elevation 5

1:100

client(s)
K. & D. JACK

location
LOT 2 (#89) FRASER STREET,
EAST FREMANTLE

drawn: ARIA
 date: 17.07.23
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| REVISION | DATE | DRWN |
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