

TOWN OF EAST FREMANTLE
PLANNING APPLICATION

DATE

23 NOV 2020

No.

P 139 - 20

RECEIVED

1.1 General :

- All work will be done in accordance with The National Building Code (NBC), relevant Australian Standards (AS), Local Council By-Laws and as per good trade practice
- DO NOT SCALE OFF DRAWINGS - When in doubt refer to the designer for clarification. Contact information on drawings
- Dimensions shown on plans may be amended to facilitate construction. Any change over 50mm to be referred to Designer.
- Ensure that relevant larger section details are considered prior to attempting construction as these details may resolve some minor differences on plans
- All proprietary products are to be installed as per Manufacturer's Recommendations (MR)
- The Contractor is to ensure all underground investigation is completed prior to starting construction
- The Contractor is responsible for building set out

1.2 Demolition:

1.2.1 Master Bedroom Renovations - Stage 1

- Roof Sheet, Gutters, Downpipes, etc. will be carefully removed and stored on site for possible later re-use if required
- All framing materials, roof, floor & ceilings will be carefully removed, de-nailed and stored on site for later possible re-use.
- Where noted - doors removed will be stored on site to prevent damage and distortion for possible later re-use.
- Pressed Metal door frames will not be re-used. Remove from site and dump.
- Aluminum Frames, doors & windows will be carefully removed and stored on site - for possible later re-use.
- Floor coverings (Carpet) will be pulled up and removed from site
- Brickwork & debris will be removed from site
- Existing timber handrail on front Balcony will be carefully removed, de-nailed and stored on site for possible later re-use.

1.2.2 Extensions & Alterations over Bedroom 2 & 3 - Stage 2

- Ground floor plasterboard ceilings will be supported during works to ensure their integrity. Any damage to lower floor plasterboard ceilings / walls will be made good:
 - replaced where damage is too great
 - patched where possible and
 - repainted to match adjacent areas prior to completion of the works
- As per items 1 - 8 in section 1.2.1 where applicable

1.3 BUILDING WORKS:

1.3.1 Floor Framing

- Floor framing will be Hyne "I" beam style or equivalent, sized and spaced as per the Structural Engineer's specifications
- Spans over 3000mm will be herringbone braced
- Wet Areas will be set down 30mm to allow membrane and sub-floor grading for falls
- Floor framing will be appropriately fixed to lower floor structure as per NBC

1.3.2 Flooring

- Flooring will be yellow tongue, water resistant sheet flooring 19mm thick, glued and nailed to floor joists
 - Wet Area Floors are to be clad over sheet flooring with Fibre Cement sheeting
 - Wet Area floors are to be fitted with waterproof polyurethane membrane to prevent water egress
 - Wet Area Membrane is to be taken a minimum of 200mm up all walls with reinforced corners
- Sheet flooring is to be protected to minimize water egress during construction
- Prior to laying floor sheeting, the floor / ceiling space is to be fitted with Rock-wool acoustic bats cut and fitted neatly between framing. No air gaps allowed.

1.3.3 Wall Framing

- All studs & plates will be M12 treated pine 90 x 45mm
- Stud spacing will be @ 400mm centres
- All walls will have a noggin row at midpoint floor to ceiling
- 170 x 45mm treated pine will be used as noggins and placed at midpoint for all wall mounted fixtures and fitting at the height denoted on plans
- Window & door head sizing will be as per the Engineer's specifications / NBC
- Walls will be braced with either hoop iron strap bracing or sheet bracing as denoted on Engineering Drawings as per NBC

1.3.4 External Cladding

- All new upper floor walls will be fitted with appropriate vapour barrier over framing
- All upper floor cladding will be 7.5mm Hardies Blue Board as per MR
- The Fibre Cement Cladding will receive Granosite type Acrylic Render (colour to be selected)
- The bottom edge of F/C cladding will be fitted with Hardies 9mm Aluminum Horizontal Step Flashing with rounded bottom scroll in selected powder-coated colour.
- The existing brickwork above the trim line (this line will be taken around the dwelling at a consistent level) of the new cladding will be coated with the same coloured and finish acrylic render as with the F/C sheeting
- Soffit width is to be consistent with the existing dwelling (approx. 400mm)
- Soffit sheeting will be 4.5mm F/C sheeting
- All new external walls will be fitted with R2.5 thermal bats neatly cut and fitted between framing

BUILDING NOTES

1.3.5 Roof Framing

- Where possible, re-use existing saved roof framing
- All new timbers will be at a minimum grade of M12
- Roof framing will be fixed to with appropriate trip-I-grips and strapping as per NBC

1.3.6 Roof Cladding

- Where possible, re-use existing saved roof sheeting. New sheeting will match existing.
- Roof framing will be fitted with R1.5 "Anticon" immediately under roof sheeting.
- Skylight is to be fitted & ducted through roof sheet over the new WC. It will be also be fitted with automatic Exhaust system.
- Ducted exhaust fan is to be fitted in new bathrooms vented through roof cladding

1.3.7 Doors

- Re-use existing, recovered doors where possible
- All internal doors will be flush panel, hollow core 35mm thick
- All locks will be matched to and at similar heights to existing

1.3.8 Door Frames

- No old door frames are to be re-used
- All door frames will be pressed metal to designated sizes or to accommodate re-used doors and as per Schedule supplied

1.3.9 Internal Cladding

- All internal walls will be clad with 10mm plasterboard glued and screwed to framing
- All Wet Areas will be clad with water resistant plasterboard (MR)
- The bottom edge of all sheeting is to be kept clear of floor (as per MR) and only square edge - no recessed edge to bottom of sheeting
- All upper ceilings will be fitted with R3.5 thermal bats cut and fitted neatly between framing.
- Cornice will be 75mm plaster cove.

- External corners / reveals will be reinforced with perforated metal corners with angles set as close to square as possible.

- Where plasterboard abuts aluminum frames the sheeting will be either:
 - fitted with PVC casing bead or
 - the process square edge of sheeting will be used

- Wall sheeting will penetrate back throat of pressed metal door frame to ensure solid fitting frames.

- Any minor fluctuations in framing will be addressed by cladding tradesmen to minimize deflection in sheeting

- Proprietary Roof Access Ladder will be fitted as denoted on plans. approx. opening 57 x 137mm

- Ceiling space around / adjacent to Roof Access Ladder will be fitted with 17mm Structural ply fixed to the top of ceiling joists to achieve a general area of 10m² storage space

1.3.9 Finishes

1.3.10.1 Ceramic Tiling


- Bathroom will have Ceramic tiles (to be selected by Owner) on all walls to height of window head.
- External corners of tiling at reveals and elsewhere will be formed using proprietary powder coated aluminum angles to match tile colour
- Floor tiles will have falls to floor wastes and will not allow ponding on floor
- Tile junction Wall / floor and internal vertical corners will be neatly sealed with appropriate colour sealant
- Taps & Hardware are to be sealed to adjacent tiles to prevent water leakage.
- Floor wastes are to be sealed to tiles with appropriate coloured sealant as per wall floor junction.

1.3.10.2 Painting

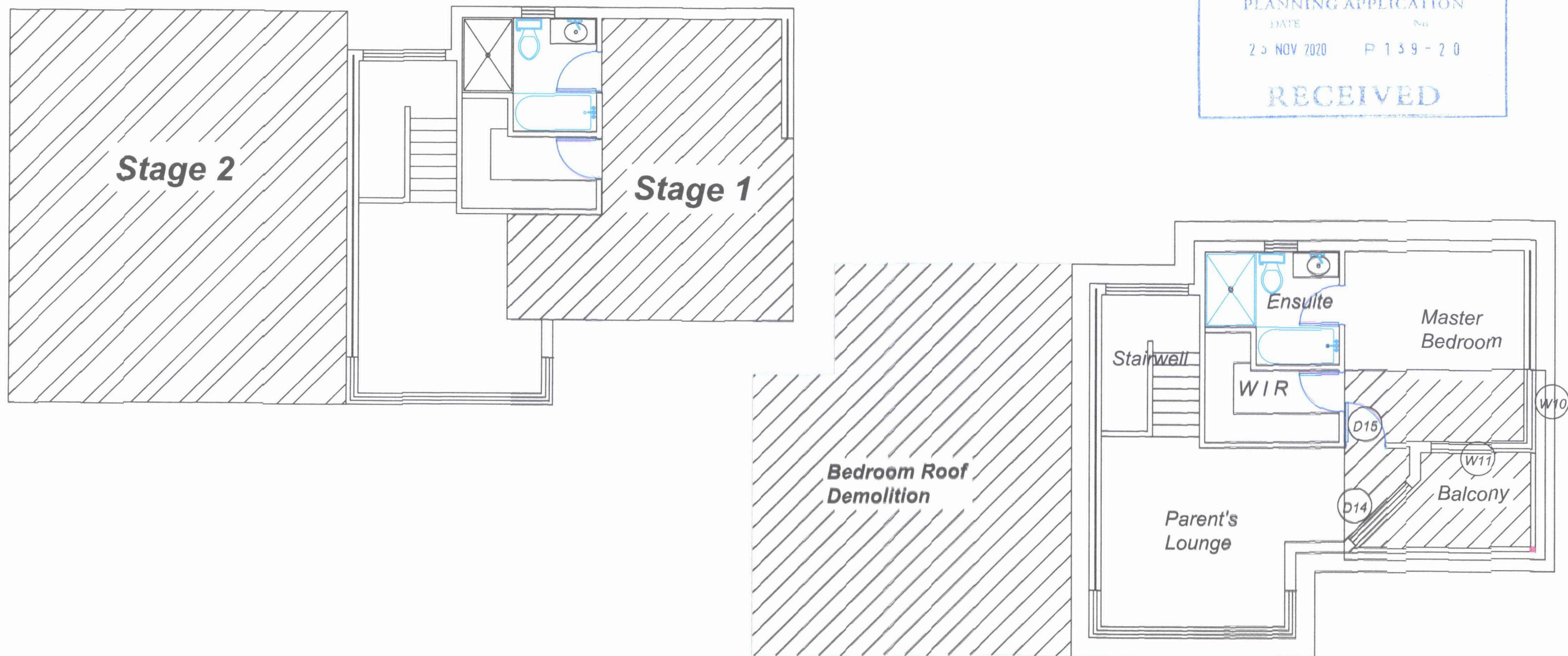
- All new surfaces which are to be painted will be cleaned down to remove all dirt, dust and loose particles prior to applying sealers / undercoats.
- Appropriate primer / sealer / undercoat is to be applied to all new surface
- Ceilings are to be painted with a minimum of 2 x finish coats of "Ceiling White" water based paint
- Walls are to be painted with a minimum of 2 x finish coats of water based "wash & wear" paint to the selected colour.
- Doors & Frames are to be painted with a minimum of 2 x coats of Full Gloss enamel paint to match wall colour
- Painter is to ensure full coverage with no under colour showing through new work. Additional coats to be applied if necessary

1.3.11 Windows & Glazing

- Western & Eastern facing windows are to be glazed with Comfort Plus glass
- Window framing is to match existing dwelling windows as near as possible
- New Bathroom windows are to match lower floor obscure style of glass

 Paul L. White 4 / 29 McNicholl St. Rockingham WA 6168 Phone :0418 151 666 Email : singersaw44@bigpond.com	REVISIONS		CLIENT Lacey & Adam Filipich 2 Easton Street East Fremantle	PROJECT PROPOSED ALTERATIONS 2 Easton Street East Fremantle	DATE 15th November 2020	
	A	22nd October 2020				Initial Drawing
	B	2nd November 2020				Building Authority approval
	C	15th November 2020				Further building information added to plan plus boundary dimensions & RL's
	D					
	E					
	F					
SITE PLAN						
Drawing By		Drawing Scale		Drawing Date		
PLW		1 : 100		15th November 2020		
Drawing Number:						
708.01 - 00 C						

TOWN OF EAST FREMANTLE
PLANNING APPLICATION
DATE 23 NOV 2020 P 139 - 20
RECEIVED

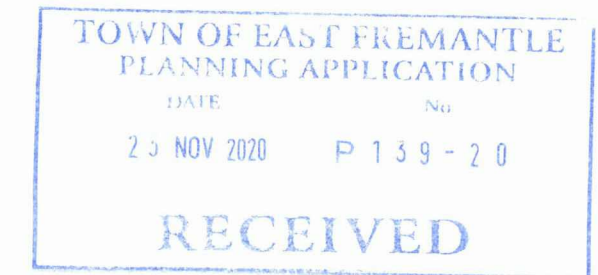
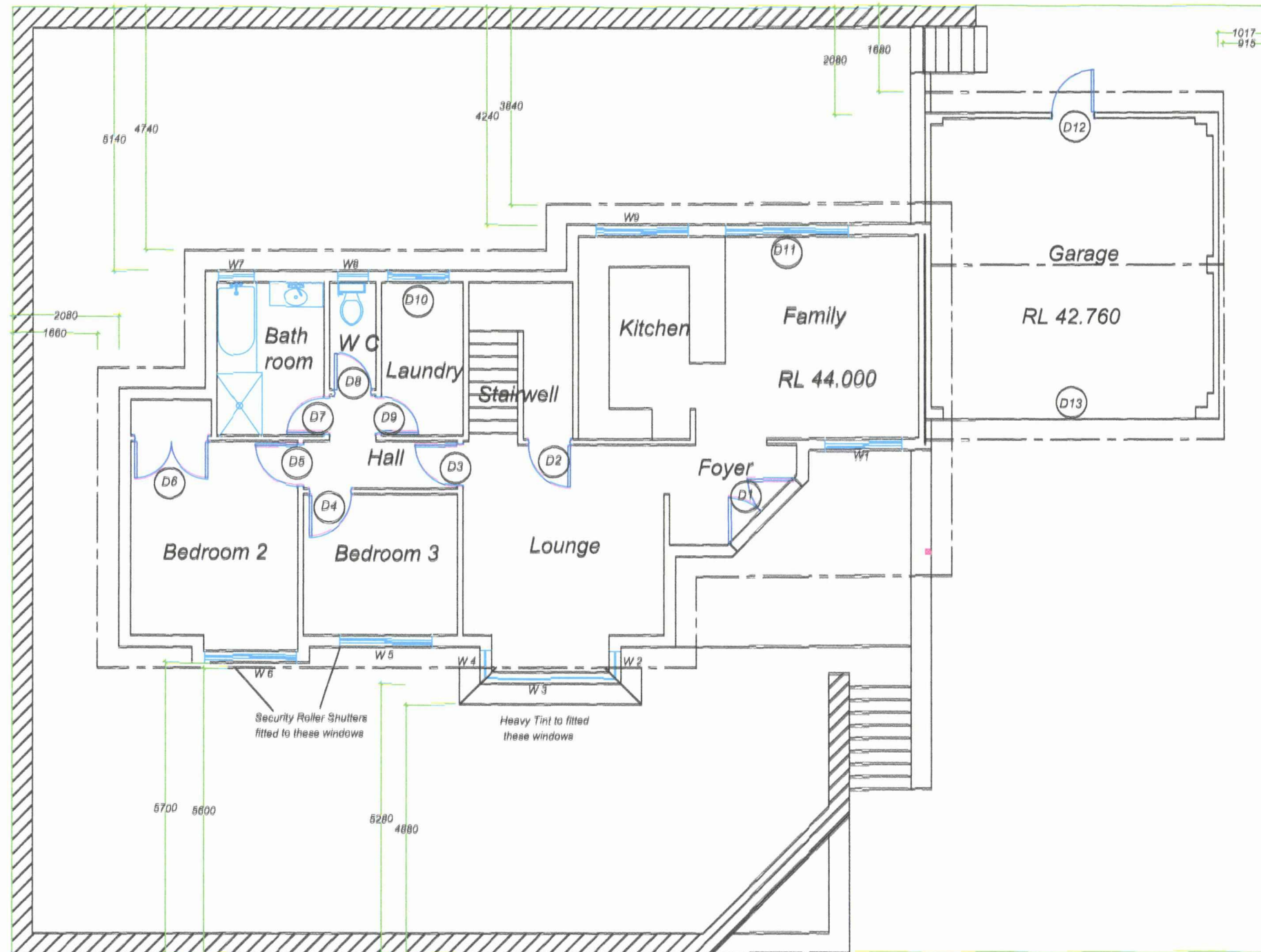


Bedroom Roof Demolition Notes

1. Total removal of roof sheet, gutters and metal fascias over Bedroom 2 & 3
2. Remove Roof framing - de-nail and store on site
3. Structural Ply Sheet under all ceilings and install stable supports
4. Remove hanging beams supporting Ceiling Joists
5. Concrete Saw cut new doorway through from Parent's Lounge

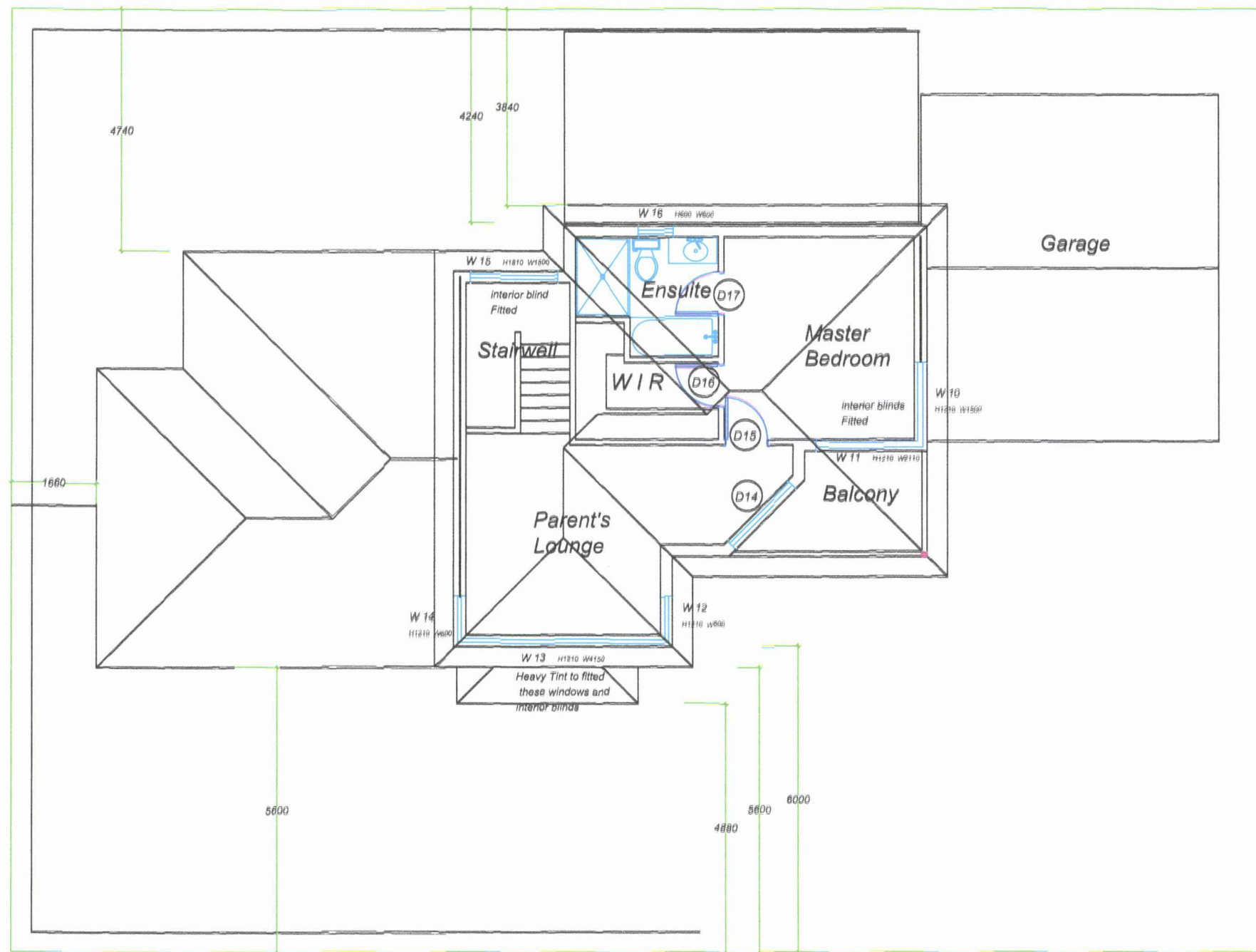
Master Bedroom Demolition Notes

1. Partial removal of roof over W11
2. Install new Hanging Beam over wall line
3. Demolish brick wall, W11 and D 15
4. Demolish Brick wall containing D14
5. Demolish ceiling to Balcony & partially to M / Bedroom
6. Remove W10 and brick wall under
7. Demolish Handrail to both sides of Balcony



WINDOW SCHEDULE

No.	Location	Height	Width	Config.
Ground Floor				
W1	Family Room	2110	1510	OX
W2	Lounge	1210	610	Fixed
W3	Lounge	1210	2550	OXXO
W4	Lounge	1210	610	Fixed
W5	Bedroom 3	1210	1510	OX
W6	Bedroom 4	1210	1510	OX
W7	Bathroom	1210	910	Vented
W8	Toilet	910	610	Vented
W9	Kitchen	910	1510	OX
Upper Floor				
W10	Master Bedroom	1210	1510	OX
W11	Master Bedroom	1210	1510	OX
W12	Parent's Lounge	1210	910	Fixed
W13	Parent's Lounge	1210	4150	OXXO
W14	Parent's Lounge	1210	910	Fixed
W15	Stairwell	1210	1210	OX
W16	Master Bedroom	910	610	Vented





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REVISION

Rev	Date	Changes
A	23rd October 2020	Initial Drawing
B	8th November 2020	Drawing moved to show ground floor and to show level in Bedrooms
C	11th November 2020	Window information added, notes, door numbering added
D	15th November 2020	Drawing brought to Scale 1 : 100
E		
F		

CLIENT

Lacey & Adam Filipich
2 Easton Street
East Fremantle

PROJECT

PROPOSED ALTERATIONS
2 Easton Street
East Fremantle

Drawn By

PLW

Drawing Scale

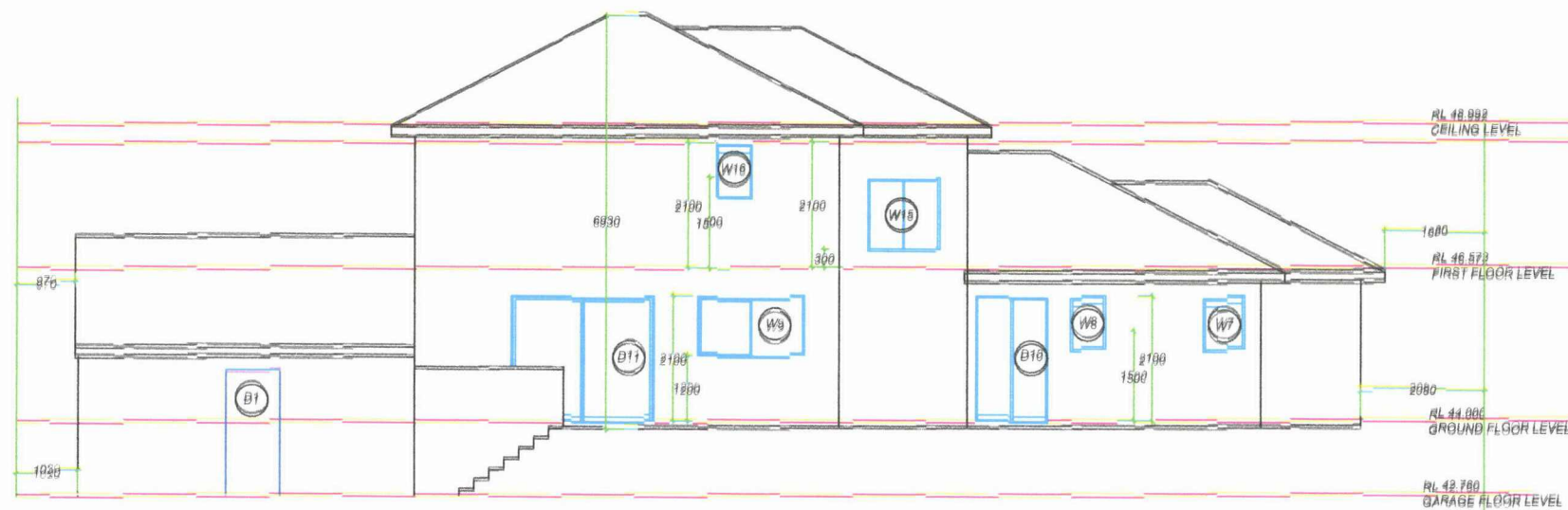
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Drawing Date

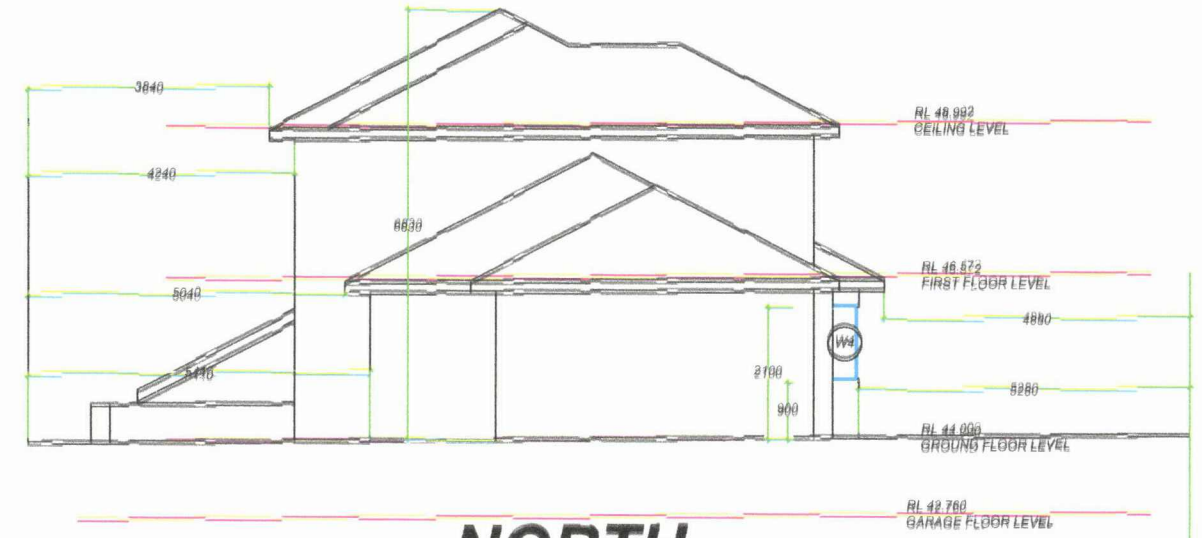
15th November 2020

Drawing Number

708 . 01 - 03 D



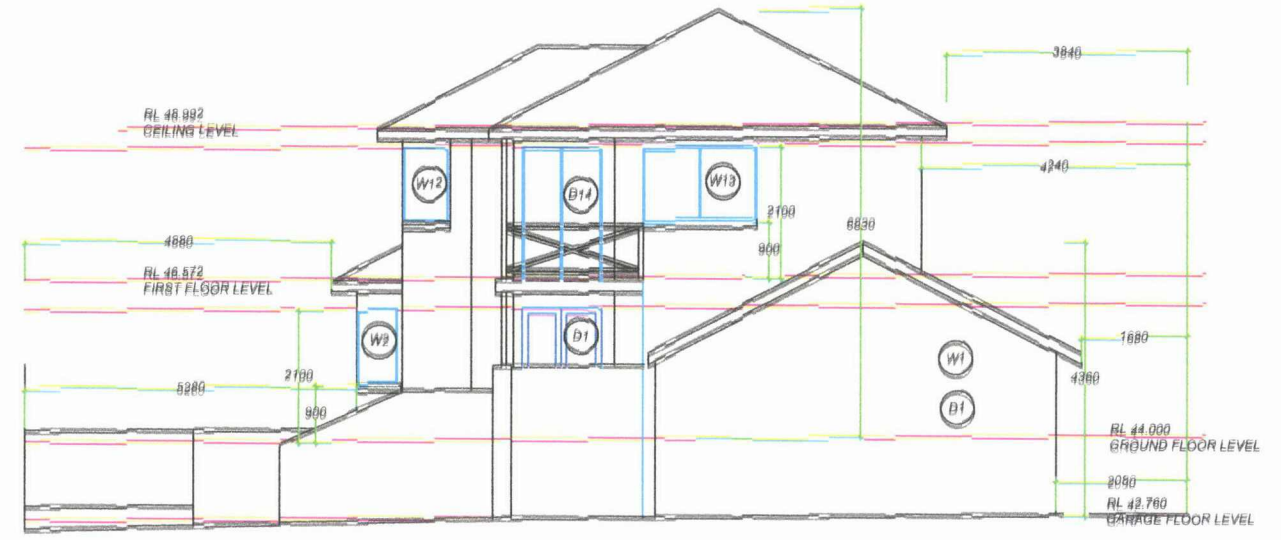
EAST



NORTH




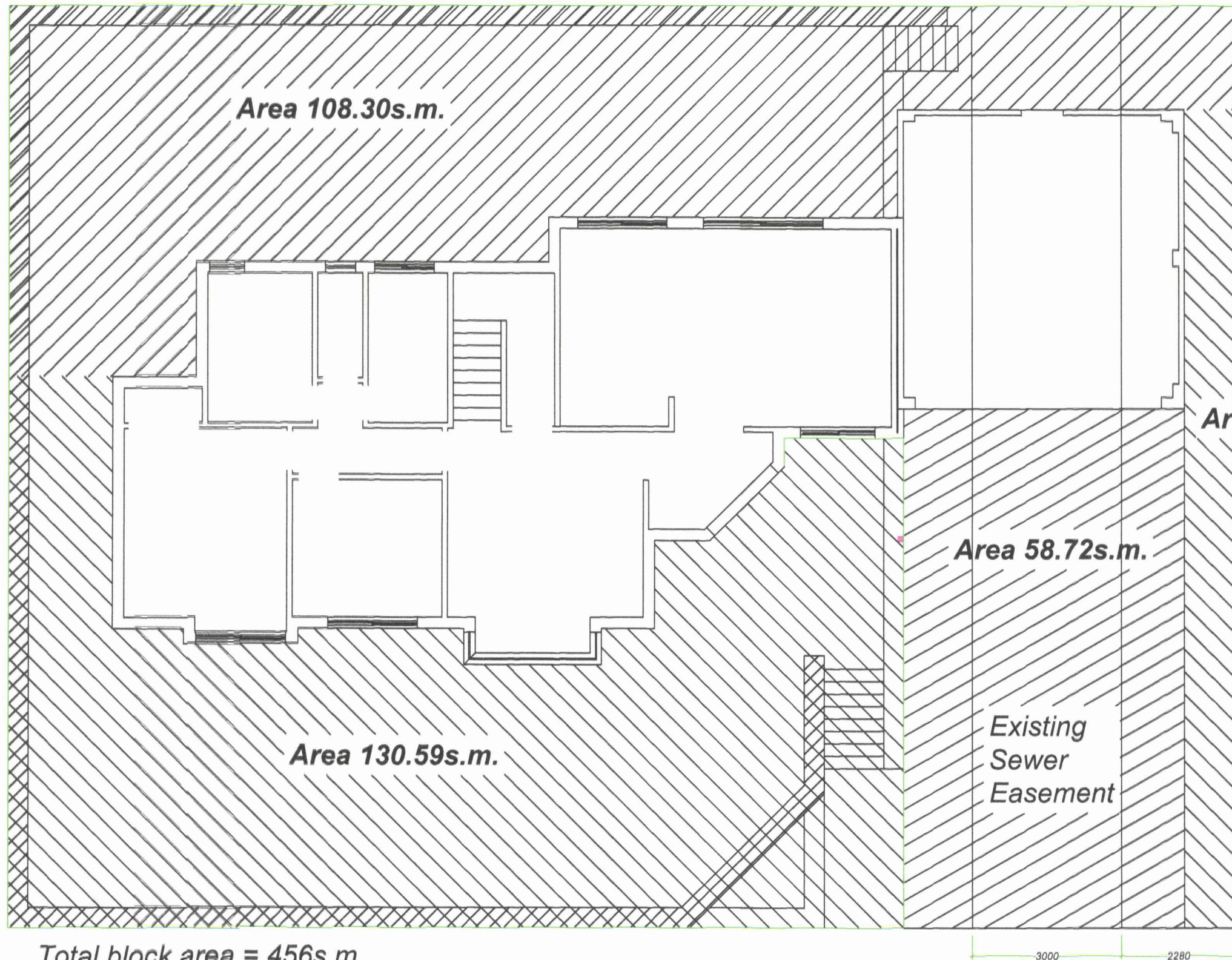
WEST



SOUTH



	Design	Changes to Drawings			CLIENT Lacey & Adam Fillpich 2 Easton Street East Fremantle	PROJECT PROPOSED ALTERATIONS 2 Easton Street East Fremantle	EXISTING ELEVATIONS <table><tr><td>Drawing No.</td><td>Drawing Name</td><td>Drawing Date</td></tr><tr><td>PLW</td><td>NOT TO SCALE</td><td>11th November 2020</td></tr><tr><td colspan="3">708.01 - 04 C</td></tr></table>	Drawing No.	Drawing Name	Drawing Date	PLW	NOT TO SCALE	11th November 2020	708.01 - 04 C												
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	PLW	NOT TO SCALE	11th November 2020																							
	708.01 - 04 C																									
	Paul L. White 4 / 29 McNicholl St. Rockingham WA 6108 Phone :0418 151 000 Email : slingsaw94@bigpond.com	<table><tr><th>Date</th><th>Rev</th><th>Description of Changes</th></tr><tr><td>A</td><td>22nd October 2020</td><td>Initial Drawing</td></tr><tr><td>B</td><td>18th November 2020</td><td>Revisions added: Boundary change and height</td></tr><tr><td>C</td><td>11th November 2020</td><td>Windows & door scheduling & dimensioning added</td></tr><tr><td>D</td><td></td><td></td></tr><tr><td>E</td><td></td><td></td></tr><tr><td>F</td><td></td><td></td></tr></table>	Date	Rev				Description of Changes	A	22nd October 2020	Initial Drawing	B	18th November 2020	Revisions added: Boundary change and height	C	11th November 2020	Windows & door scheduling & dimensioning added	D			E			F		
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E																										
F																										



Total block area = 456s.m.
 Free Space = 314.38s.m.incl. Driveway
 % Free Space = 68.94% incl. Driveway

EASTON STREET

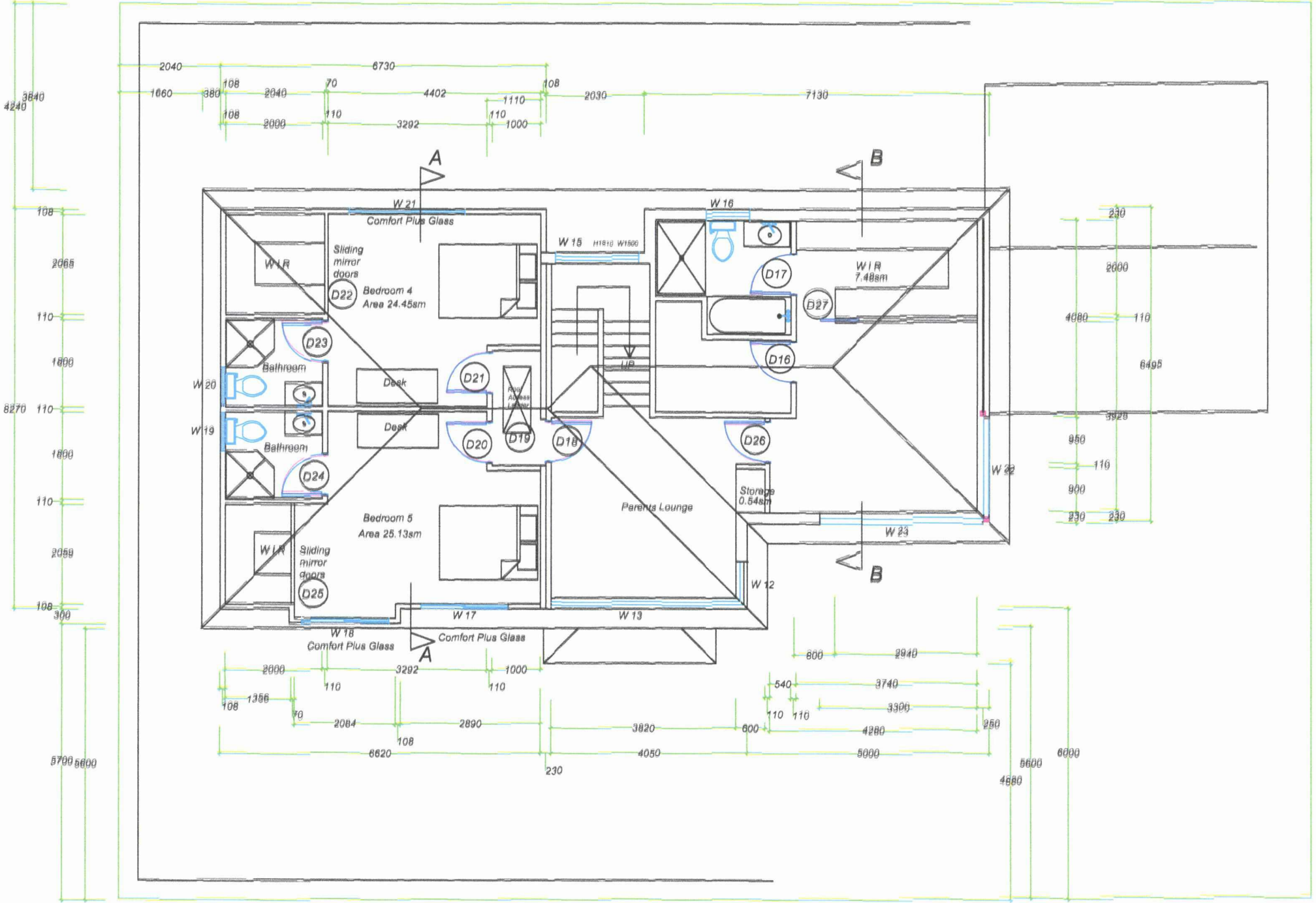


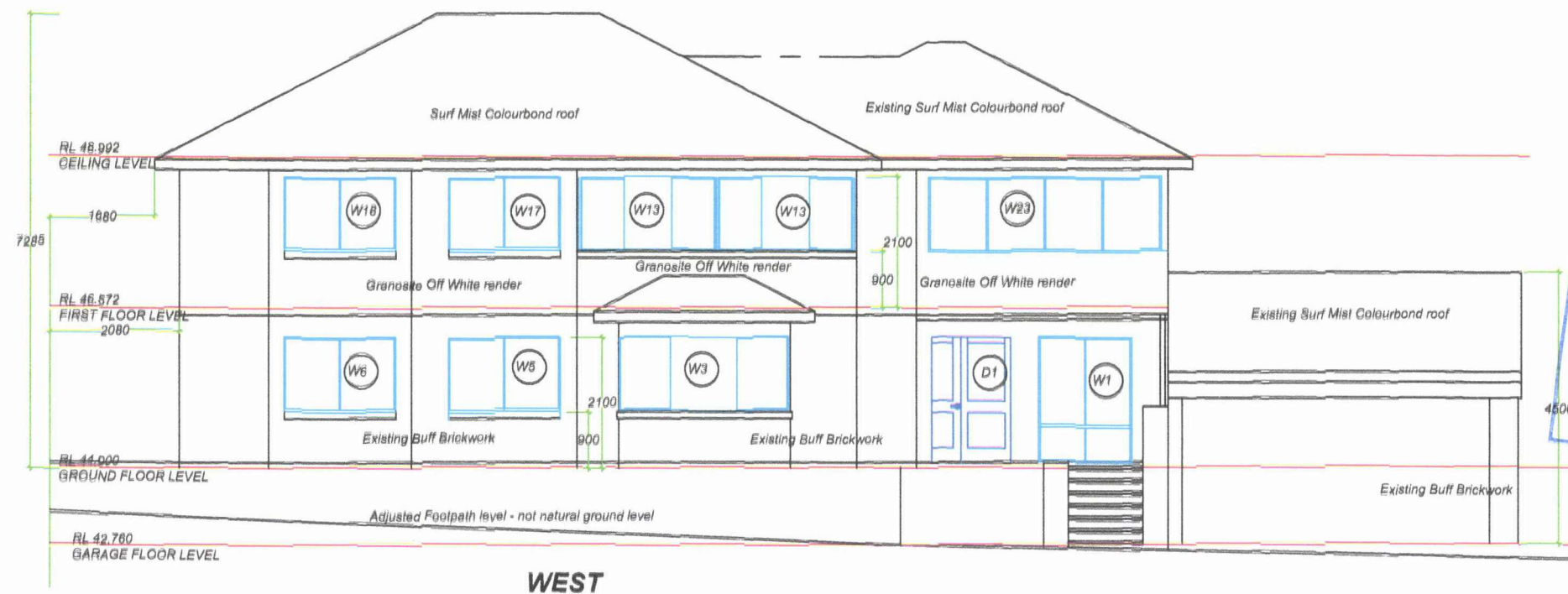
 <div>THE SINGING SAW</div>	<div>DESIGN</div> <div>Paul L. White</div> <div>4 / 29 McNicholl St.</div> <div>Rockingham WA 6168</div> <div>Phone :0418 151 886</div> <div>Email : singsaw94@bigpond.com</div>	<table><tr><th colspan="3">CURRENCY</th></tr><tr><th>Issue</th><th>Date</th><th>Revised</th></tr><tr><td>A</td><td>23rd October 2020</td><td>Initial Drawing</td></tr><tr><td>B</td><td></td><td></td></tr><tr><td>C</td><td></td><td></td></tr><tr><td>D</td><td></td><td></td></tr><tr><td>E</td><td></td><td></td></tr><tr><td>F</td><td></td><td></td></tr></table>	CURRENCY			Issue	Date	Revised	A	23rd October 2020	Initial Drawing	B			C			D			E			F				<div>CLIENT</div> <div>Lacey & Adam Filipich</div> <div>2 Easton Street</div> <div>East Fremantle</div>	<div>PROJECT</div> <div>PROPOSED ALTERATIONS</div> <div>2 Easton Street</div> <div>East Fremantle</div>	<table><tr><th colspan="3">FREE SPACE ANALYSIS</th></tr><tr><th>Drawn By</th><th>Drawn Scale</th><th>Drawn Date</th></tr><tr><td>PLW</td><td>NOT TO SCALE</td><td>23rd October 2020</td></tr><tr><td colspan="3">708 . 01 - 05 A</td></tr></table>	FREE SPACE ANALYSIS			Drawn By	Drawn Scale	Drawn Date	PLW	NOT TO SCALE	23rd October 2020	708 . 01 - 05 A		
	CURRENCY																																									
	Issue	Date	Revised																																							
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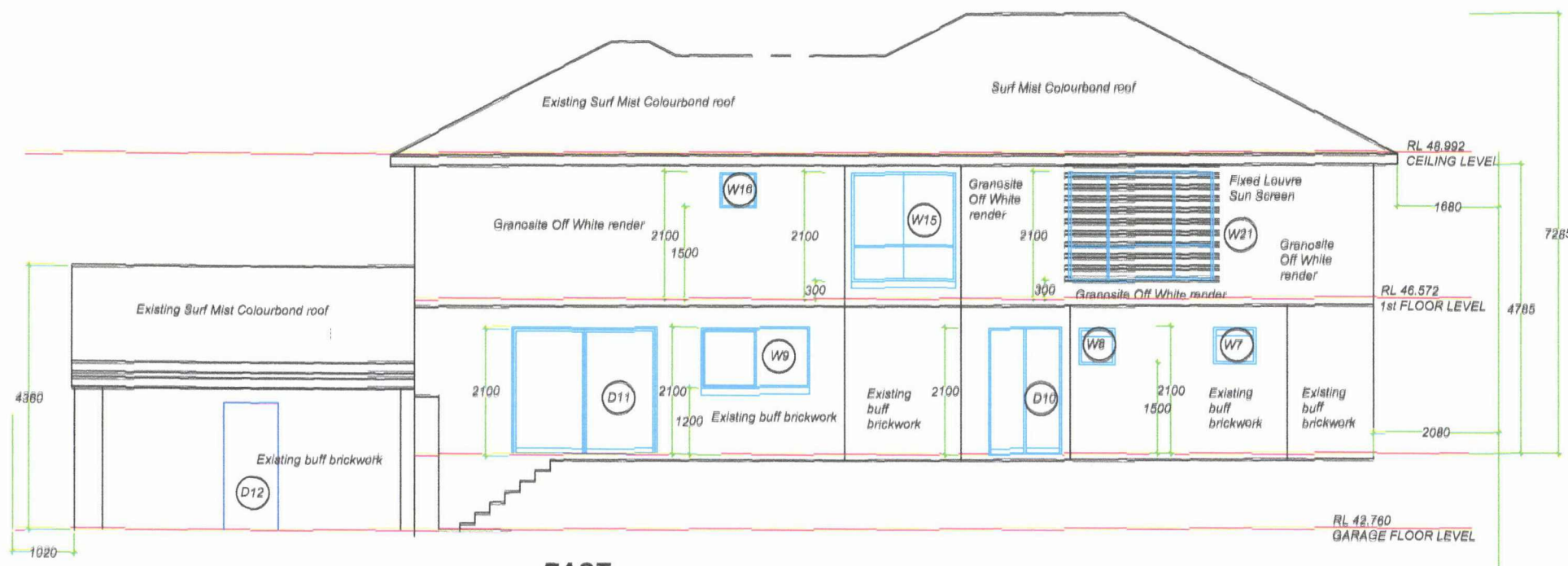
WINDOW SCHEDULE

No.	Location	Height	Width	Config.
Ground Floor				
W1	Family Room	2110	1510	OX
W2	Lounge	1210	610	Fixed
W3	Lounge	1210	2550	OXXO
W4	Lounge	1210	610	Fixed
W5	Bedroom 3	1210	1510	OX
W6	Bedroom 4	1210	1510	OX
W7	Bathroom	1210	910	Vented
W8	Toilet	910	610	Vented
W9	Kitchen	910	1510	OX
Upper Floor				
W10	Master Bedroom	1210	1510	OX
W11	Master Bedroom	1210	1510	OX
W12	Parent's Lounge	1210	910	Fixed
W13	Parent's Lounge	1210	4150	OXXO
W14	DELETED			
W15	Stairwell	1210	1210	OX
W16	Master Bedroom	910	610	Vented
W17	Bedroom 5	1210	1510	OX
W18	Bedroom 5	1210	1510	OX
W19	Bathroom	610	910	Vented
W20	Bathroom	610	910	Vented
W21	Bedroom 4	1810	2410	OXXO
W22	Master Bedroom	1210	2000	OX
W23	Master Bedroom	1210	3300	OXXO





WEST



EAST



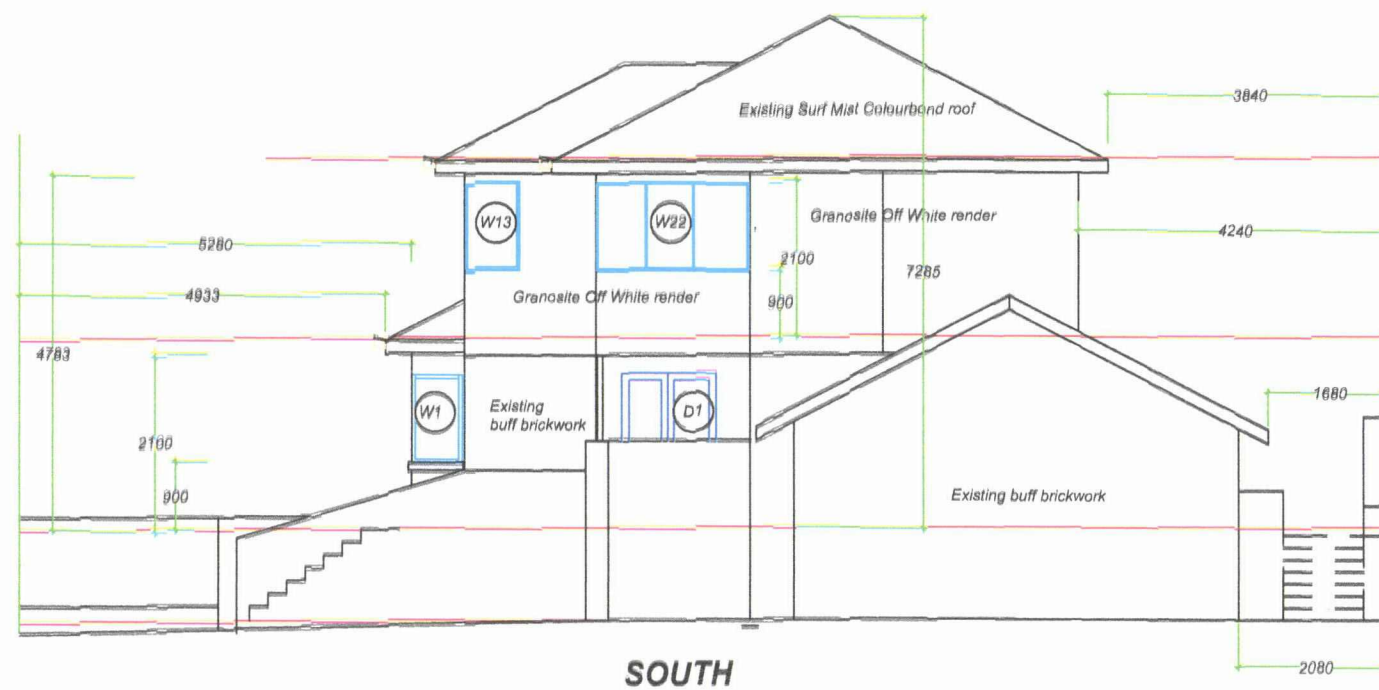
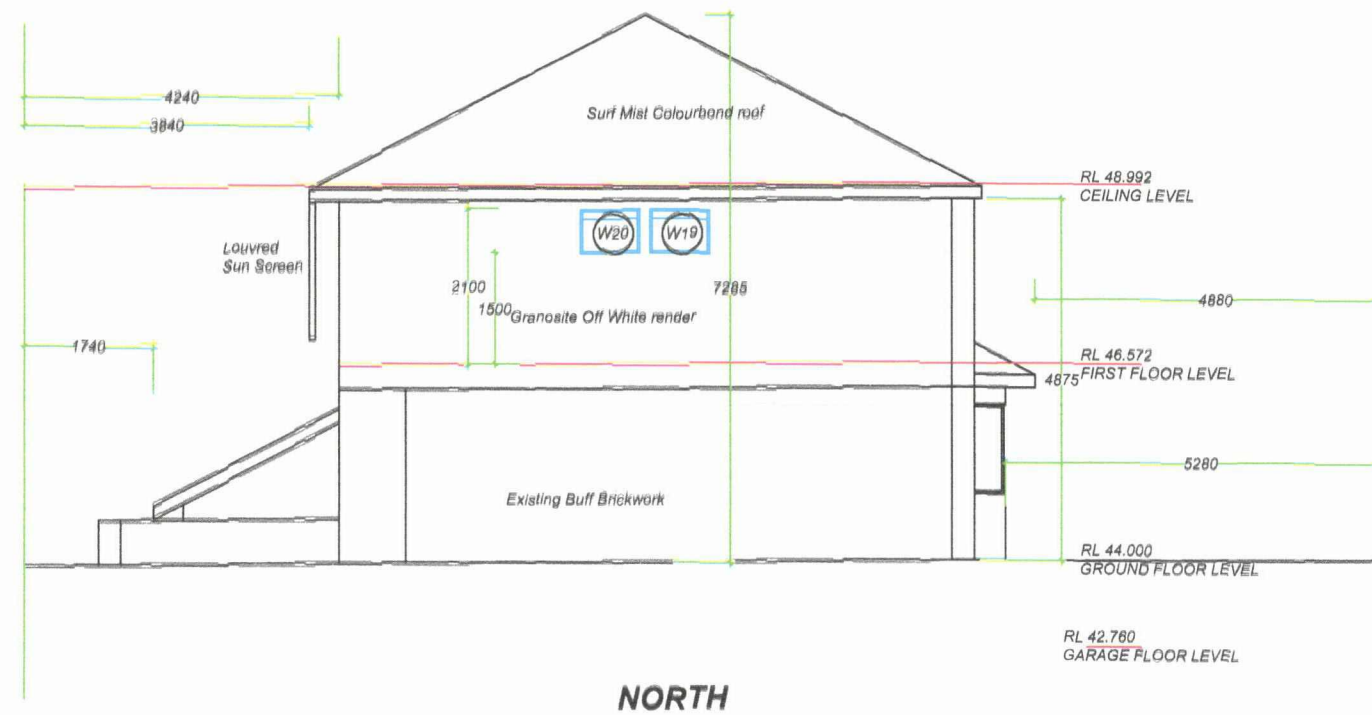
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Phone :0418 151 666
Email : slingsaw94@bigpond.com

Issue	Date	Changes
A	23rd October 2020	Initial Drawing
B	3rd November 2020	Alternative layout over Bed 2 & 3 highlighted, acrylic render to top floor
C	9th November 2020	Alternative layout over Bed 2 & 3 highlighted, acrylic render to top floor, lighting removed
D	12th November 2020	Window numbering, dimensions and door into adding
E	15th November 2020	East & West Elevations brought to same plan, Drawing brought to scale 1:100
F		

Lacey & Adam Filipich
2 Easton Street
East Fremantle

PROPOSED ALTERATIONS
2 Easton Street
East Fremantle

Project Title	Proposed Scale	Drawing Date
PROPOSED EAST & WEST ELEVATION	1 : 100	15th November 2020
Author: PLW		
Project Number:	708.01 - 07 E	





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CURRENCY

Issue	Date	Changes
A	23rd October 2020	Initial Drawing
B	3rd November 2020	Alternative layout over Bed 2 & 3 adopted, acrylic render to top floor
C	9th November 2020	Alternative layout over Bed 2 & 3 adopted, acrylic render to top floor, matching removed - dimensions added
D	12th November 2020	Window & Door numbering and dimensioning added
E	15th November 2020	North & South Elevations brought to one Drawing, Drawing brought to scale 1 : 100

CLIENT

Lacey & Adam Filipich
2 Easton Street
East Fremantle

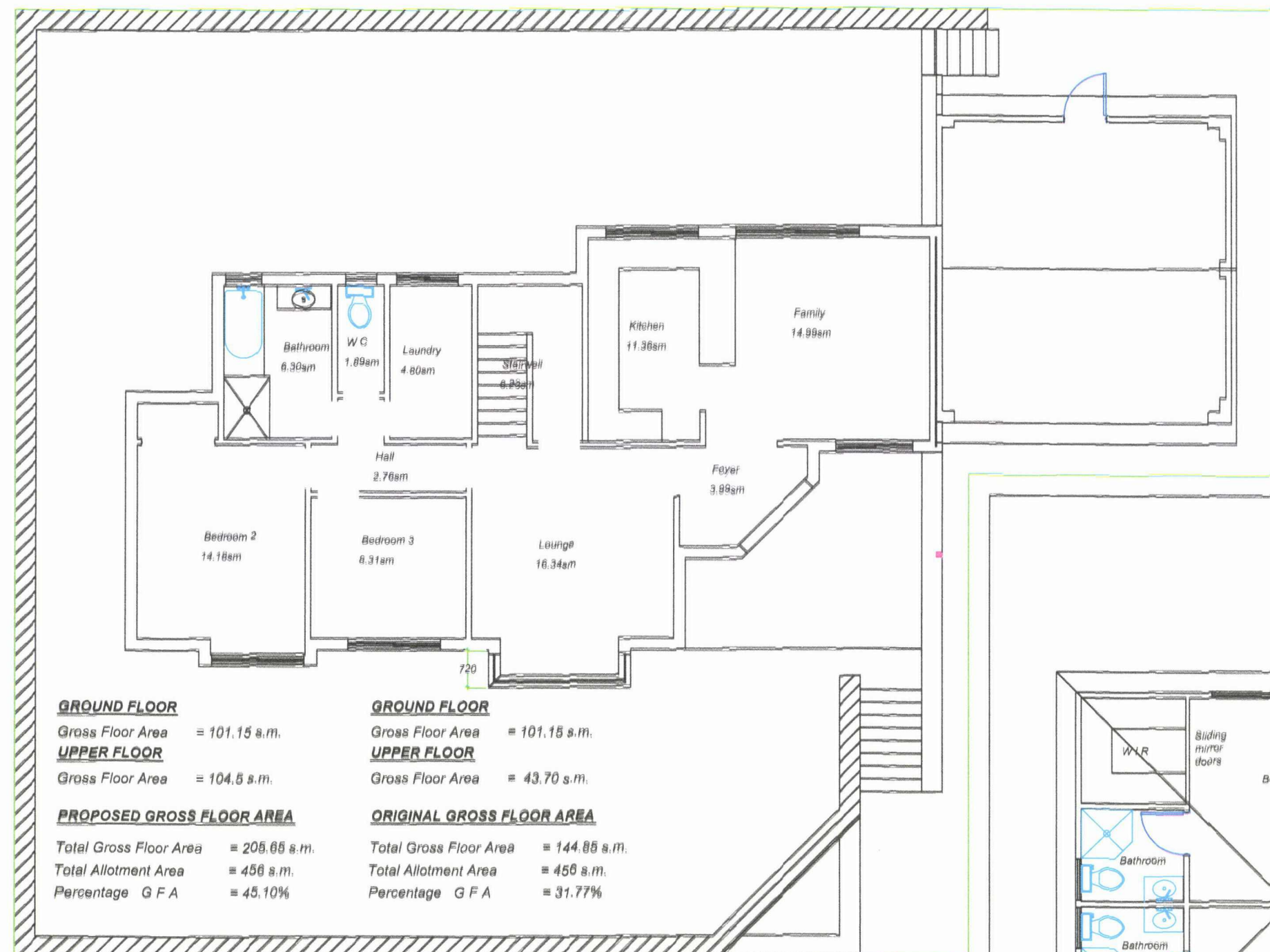
PROJECT

PROPOSED ALTERATIONS
2 Easton Street
East Fremantle

Drawn Title

PROPOSED NORTH & SOUTH ELEVATION

Drawn By	Drawing Scale	Drawn Date
PLW	1 : 100	15th November 2020
Revision Number	708.01 - 08 E	



GROUND FLOOR

Gross Floor Area = 101.15 s.m.

UPPER FLOOR

Gross Floor Area = 104.5 s.m.

PROPOSED GROSS FLOOR AREA

Total Gross Floor Area = 205.65 s.m.

Total Allotment Area = 456 s.m.

Percentage G F A = 45.10%

GROUND FLOOR

Gross Floor Area = 101.15 s.m.

UPPER FLOOR

Gross Floor Area = 43.70 s.m.

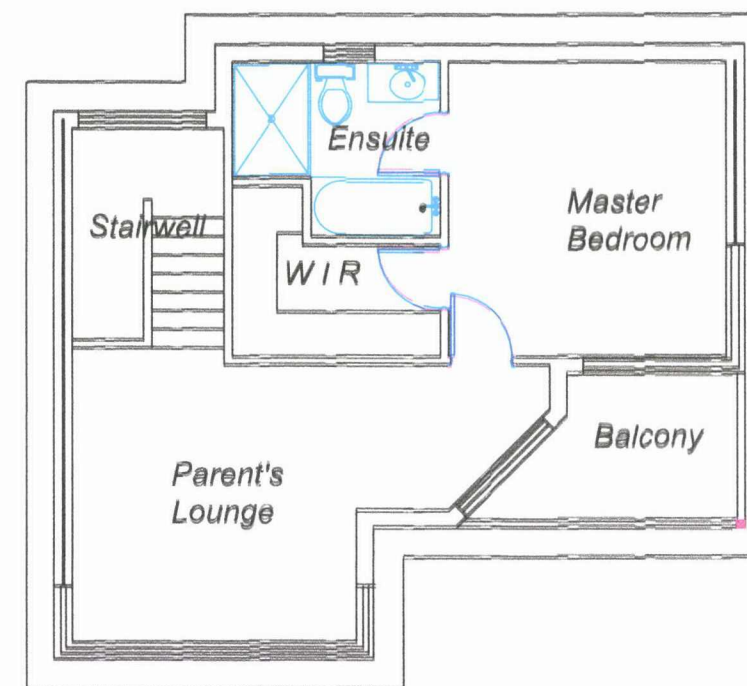
ORIGINAL GROSS FLOOR AREA

Total Gross Floor Area = 144.85 s.m.

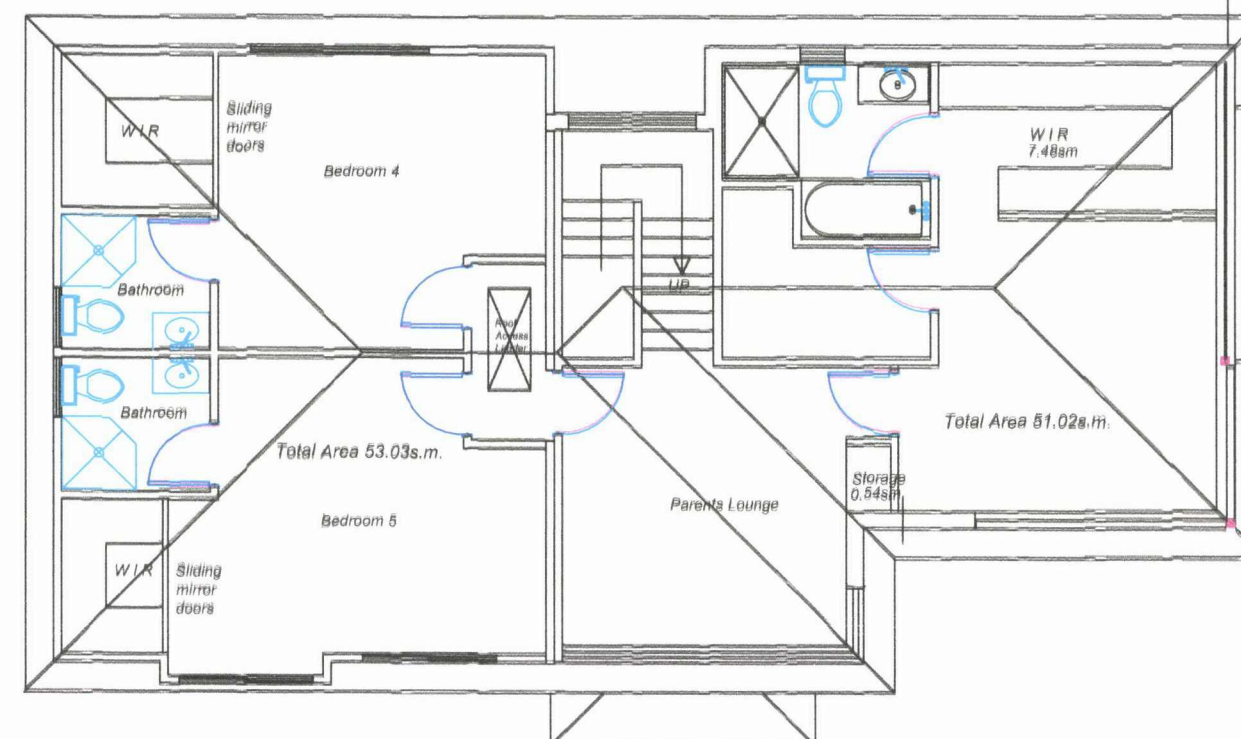
Total Allotment Area = 456 s.m.

Percentage G F A = 31.77%

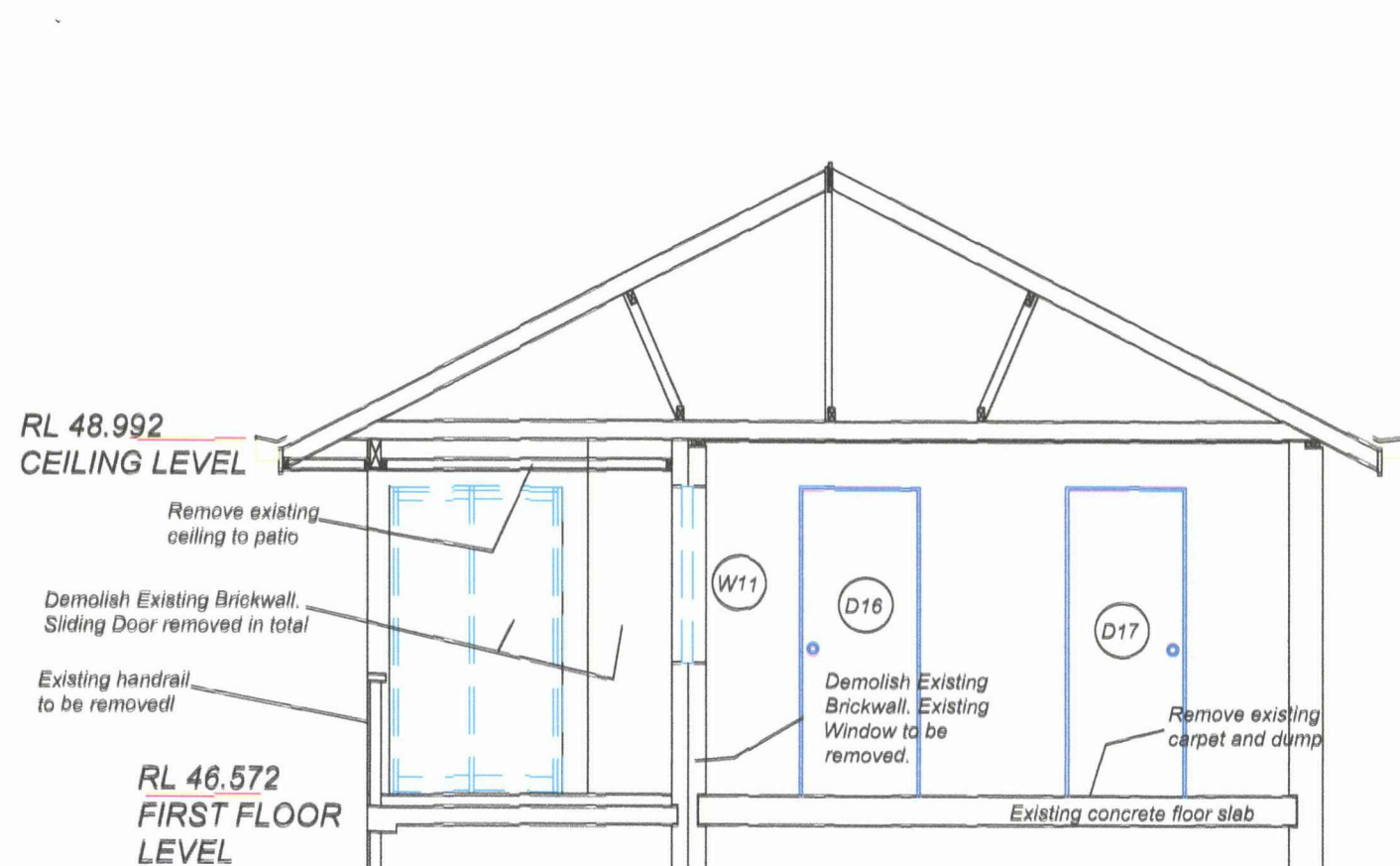
EXISTING GROUND FLOOR



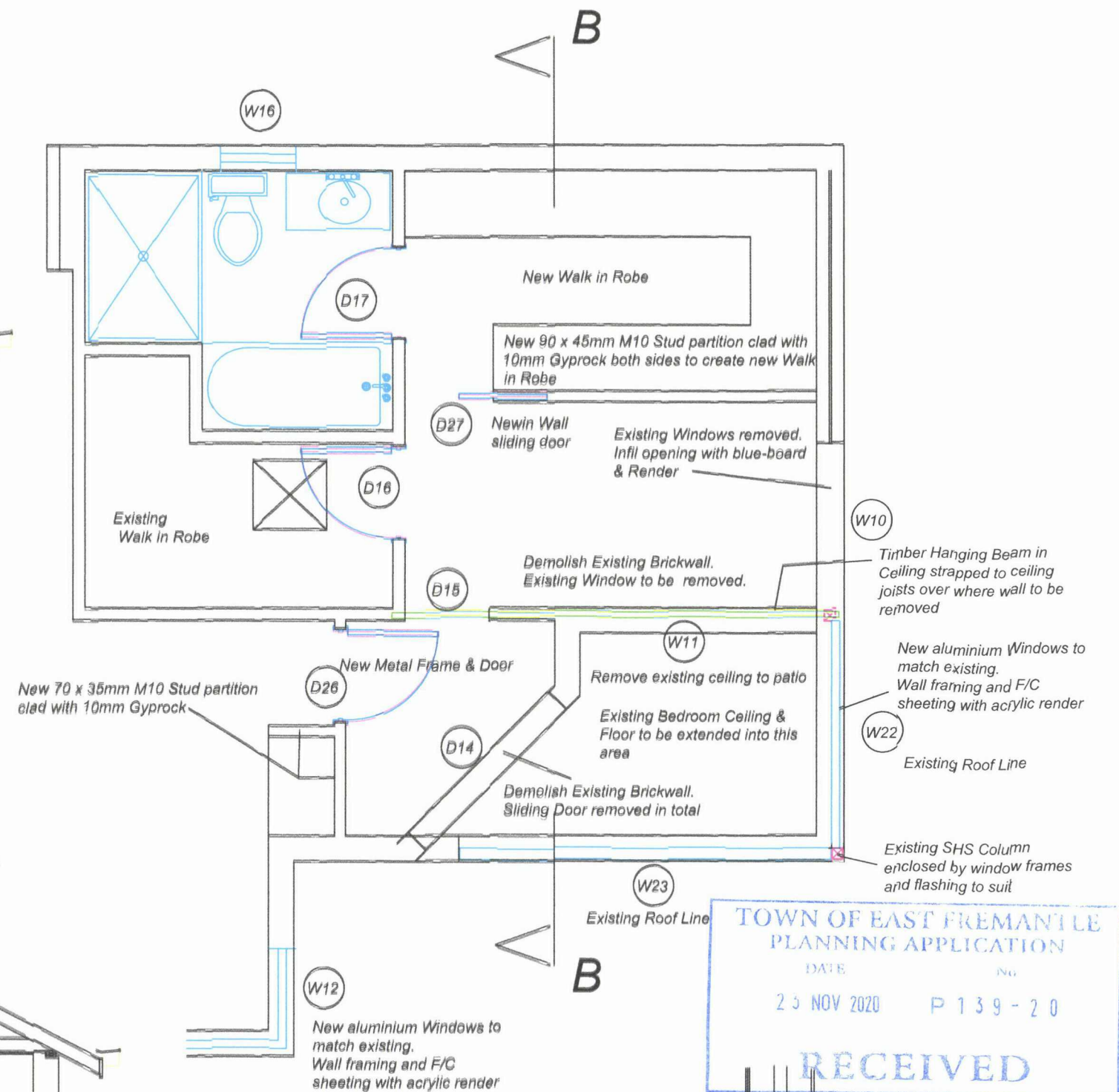
EXISTING UPPER FLOOR



PROPOSED UPPER FLOOR



EXISTING SECTION B - B



PROPOSED SECTION B - B

DETAIL 1

DETAIL 1



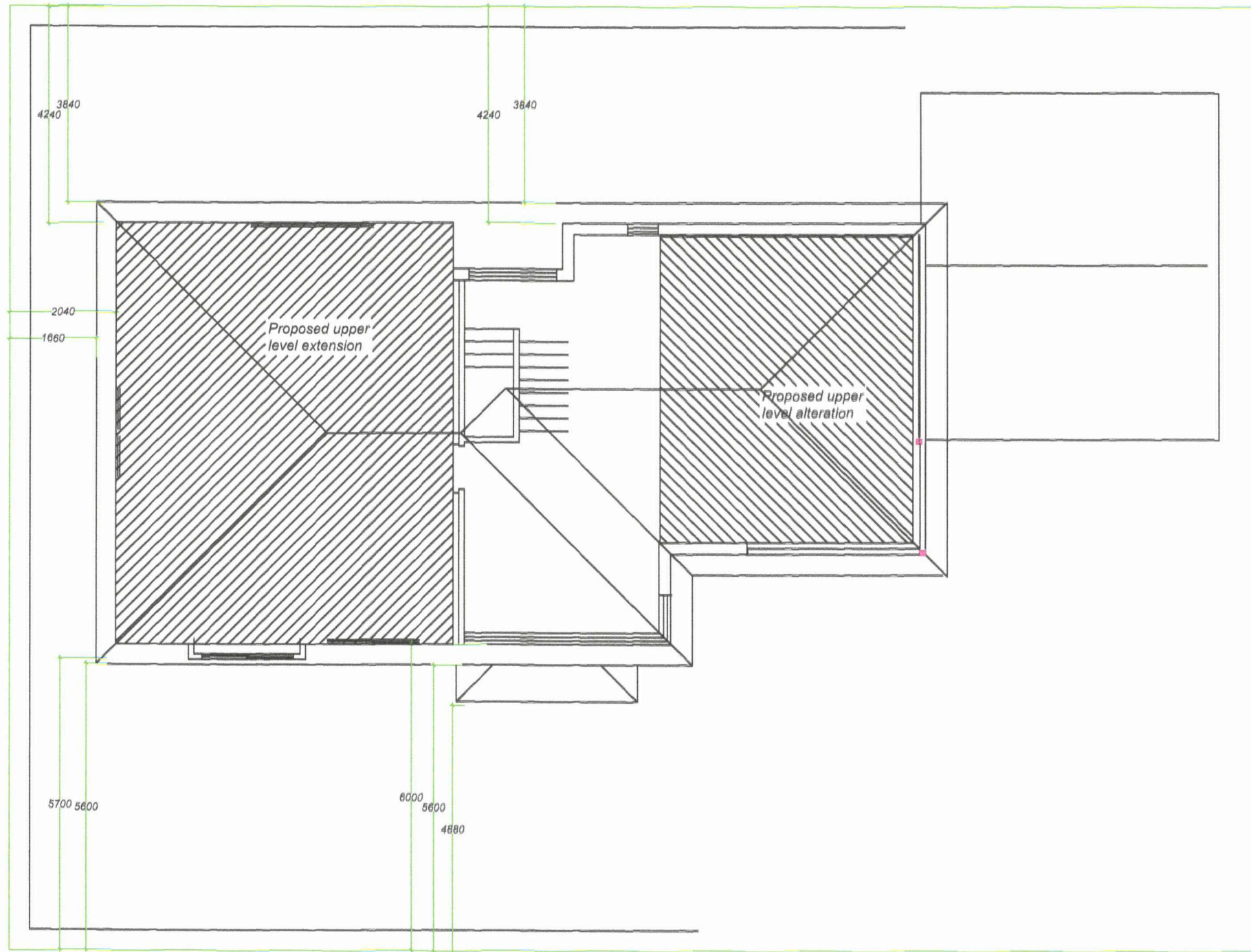
DESIGN
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4 / 29 McNicholl St.
Rockingham WA 6168
Phone :0418 151 666
Email : singasaw4@bigpond.com

Rev	Date	Changes
A	20th October 2020	Initial Drawing
B	3rd November 2020	Detail 1 added
C	18th November 2020	Window & Door numbering added - Same detail and accompanying notes
D	18th November 2020	Drawing re-arranged to allow larger scale, brought to scale at 1:50
E		
F		

CLIENT
Lacey & Adam Filipich
2 Easton Street
East Fremantle

PROJ. DESC.
PROPOSED ALTERATIONS
2 Easton Street
East Fremantle

PROPOSED MASTER BED CHANGES		
Drawn By	PLW	1:50
Drawn Date	15th November 2020	
708.01 - 16 D		



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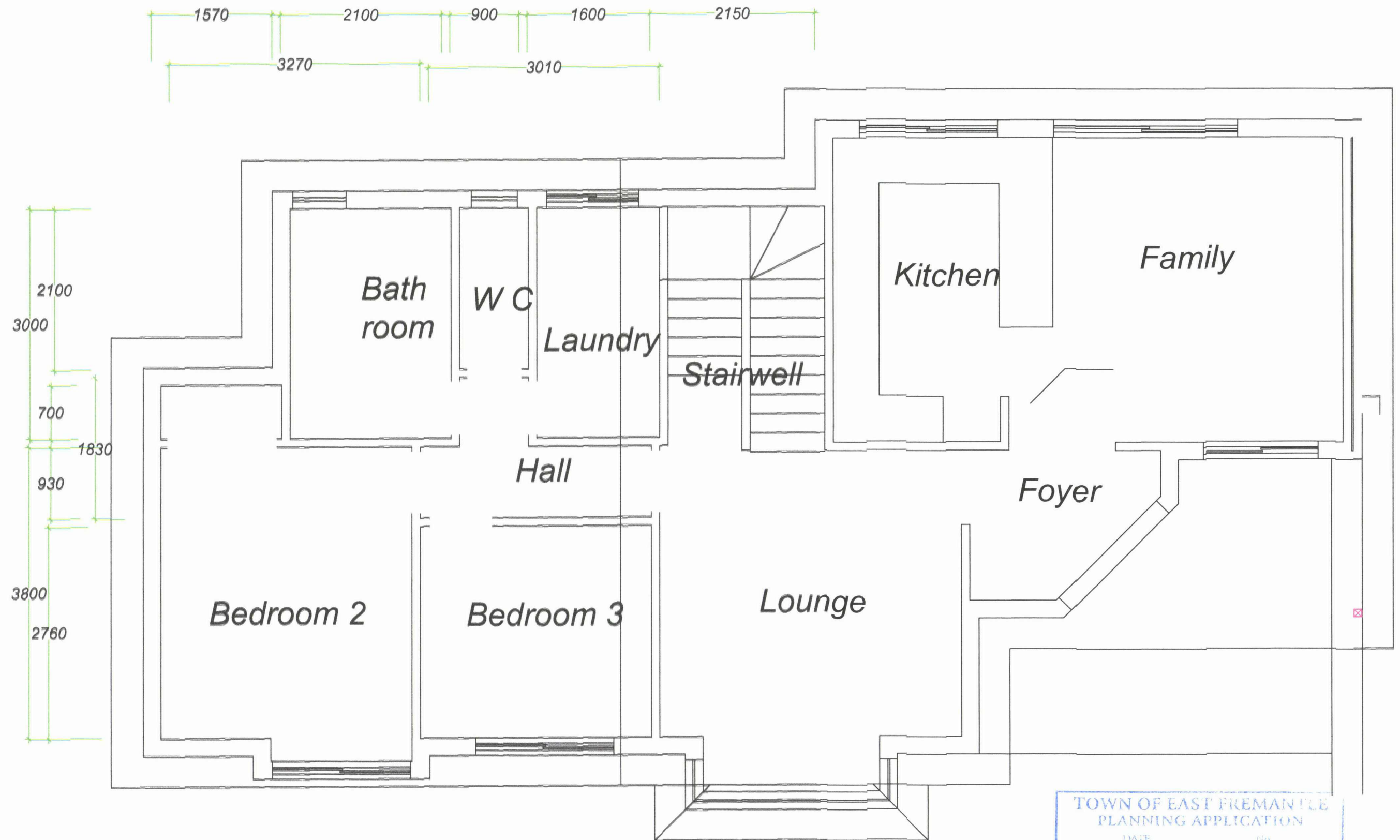
DESIGN
Paul L. White
4 / 29 McNicholl St.
Rockingham WA 6168
Phone :0418 151 686
Email : slingsaw94@bigpond.com

CLIENT		
Item	Date	Comments
A	29th November 2020	Initial Enquiry
B	15th November 2020	Drawing brought in Scale 1:100
C		
D		
E		
F		


CLIENT
Lacey & Adam Fillpich
2 Easton Street
East Fremantle

PROJECT
PROPOSED ALTERATIONS
2 Easton Street
East Fremantle

Drawing Title		
PROPOSED WORK AREAS		
Drawn By	Drawing Scale	Drawing Date
PLW	1 : 100	15th November 2020
Drawing Number		
708 . 01 - 18 B		



TOWN OF EAST FREMANTLE
PLANNING APPLICATION
DATE 25 NOV 2020 No P 139 - 20
RECEIVED

 <p>THE SINGING SAW Paul L. White 4 / 29 McNicholl St. Rockingham WA 6168 Phone :0418 151 606 Email : singzaw94@bigpond.com</p>	DESIGN			CLIENT	PROJECT	Approval Path	
	Submittal	Rev	Date	Description	Lacey & Adam Filipich 2 Easton Street East Fremantle	PROPOSED ALTERATIONS 2 Easton Street East Fremantle	Ground Floor Dimension
		A	09 November 2020	Initial Drawing			Drawn By
		B	18th November 2020	Drawing brought to scale, 1 : 50			Checked By
		C					Approval Path
		D					PLW
		E					1 : 50
						18th November 2020	
						Drawing Number	
						708 . 01 - 20 B	