

PROPOSED FOUR STOREY MIXED USE

FINAL DESIGN - ISSUED FOR DA

for
LUKE BEUMONT BARRETT

at
Lot 595 (#14) SILAS, STREET

- A00 - COVER SHEET & GENERAL NOTES
- A01 - EXISTING SURVEY PLAN - 1:200
- A02 - PROPOSED SITE PLAN - 1:100
- A03 - PROPOSED TRAFFIC MOVEMENT PLAN - 1:100
- A04 - BASEMENT FLOOR PLAN - 1:100
- A05 - GROUND FLOOR PLAN - 1:100
- A06 - FIRST FLOOR PLAN - 1:100
- A07 - SECOND FLOOR PLAN - 1:100
- A08 - ROOF TOP TERRACE PLAN - 1:100
- A09 - ELEVATIONS - 1:100
- A10 - ELEVATIONS CONT. - 1:100
- A11 - SECTION A-A - 1:50
- A12 - 3Ds

NOTES

- 1 GENERAL STANDARDS**
 - 1.01.01 ALL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE. USE REFERENCED AUSTRALIAN OR OTHER STANDARDS (INCLUDING AMENDMENTS) WHICH ARE CURRENT ONE MONTH BEFORE THE DATE OF THE CONTRACT EXCEPT WHERE OTHER EDITIONS OR AMENDMENTS ARE REQUIRED.
 - 1.01.02 THE OWNER/BUILDER SUBCONTRACTOR SHALL: VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCING WORKS OR ORDERING MATERIALS. THE OWNER/BUILDER SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS. RESPONSIBILITY THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE STRUCTURE DURING ERECTION AND SHALL PROVIDE ADEQUATE PROPPING AND SUPPORT. KEEP THE SITE IN A CLEAN AND TIDY CONDITION THROUGHOUT CONSTRUCTION & AT THE COMPLETION OF WORK REMOVE ALL LITTER & DEBRIS TO THE SATISFACTION OF THE PRINCIPAL.
 - 1.01.04 READING THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY OTHER CONSULTANTS REFERED TO WITHIN INCLUDING STRUCTURAL AND CIVIL ENGINEERING SPECIFICATIONS AND DRAWINGS CONSULTANTS ENGINEERS OR RELEVANT SUB-CONSULTANT DRAWINGS AND SPECIFICATIONS SHALL PRECEED THESE DRAWINGS. REPORT ANY DISCREPANCIES TO THIS OFFICE.
 - 1.02.01 TERMITE MANAGEMENT SYSTEM A TERMITE MANAGEMENT SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH AS3660.1
 - 1.02.04 CERTIFICATION PROVIDE CERTIFICATION ON COMPLETION AND INSTALL A DURABLE SIGN IN THE METER BOX.
- 2 SITE PREPARATION COMPLIANCE**
 - 2.01.01 ALL GROUNDWORKS FOR SLABS AND FOOTINGS SHALL COMPLY WITH AS 3798 & AS 2870.
 - 2.04.01 ENVIRONMENTAL PROTECTION PROVIDE EROSION, CONTAMINATION, AND SEDIMENTATION PROTECTION OF THE SITE, SURROUNDING AREAS, AND DRAINAGE SYSTEMS. KEEP THE SITE FREE OF WATER AND PREVENT WATER FLOWOVER NEW WORK.
 - 2.07.01 SURFACE PREPARATION BEFORE PLACING FILL, COMPACT THE GROUND TO ACHIEVE THE REQUIRED DENSITY.
- 3 CONCRETE CONSTRUCTION STANDARDS**
 - 3.01.01 ALL SLABS AND FOOTINGS SHALL BE CONSTRUCTED TO COMPLY WITH THE REQUIREMENTS OF AS 2870 - 2011
 - 3.01.02 CONCRETE SHALL BE IN ACCORDANCE WITH AS 3600. GRADE N25/20. MAINTAIN SLAB THICKNESS & FOOTING DEPTH AT SETDOWNS-REFER ENGINEERS DETAILS
 - 3.01.06 COMPACTED FILL SHALL NOT EXCEED 400MM IN DEPTH UNLESS IT IS CERTIFIED.
 - 3.01.07 SLAB CONCRETE COVER INTERNAL - 30MM. EXTERNAL - 40MM
- 4 TIMBER & STEEL CONSTRUCTION STANDARDS**
 - 4.01.01 ALL STRUCTURAL STEELWORK SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 4100 - SSA STEEL STRUCTURAL CODE AND ASSOCIATED AUSTRALIAN STANDARDS. TIMBER FRAMING TO BE IN ACCORDANCE WITH AS1684 TIMBER FRAMING CONSTRUCTION.
 - 4.01.04 TIMBER STRUCTURAL TIMBER SHALL BE MINIMUM MPG10 (UNO) IN ACCORDANCE WITH AS 1720. CORROSION PROTECTION OF STEEL MEMBERS CORROSION PROTECTION OF STEEL IN CONTACT WITH CONCRETE TO BE IN ACCORDANCE WITH AS4100, AS4600 & NASH.
 - 4.07.01 TIMBER ROOF TRUSSES INSTALLED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND AS 1720.5
 - 4.08.01 LINTEL BEAM PROVIDE SUITABLE LINTELS OVER OPENINGS AS PER ENGINEERS DOCUMENTATION. ALL EXTERNAL STEEL LINTELS TO BE HOT DIPPED GALVANISED.
- 5 BRICK CONSTRUCTION MASONRY & ACCESSORIES**
 - 5.01.01 WORKS TO COMPLY WITH AS3700 MASONRY STRUCTURES OR AS4773 MASONRY FOR SMALL BUILDINGS PARTS 1 & 2.
 - 5.02.01 MASONRY USE GP GRADE BRICKS WHERE SURF COAST IS MORE THAN 1KM AND EXP GRADE WHERE SURF COAST IS WITHIN 1KM OR SITE IS SUSCEPTIBLE TO HIGH SALT CONDITIONS.
- 8 DOORS & WINDOWS STANDARDS**
 - 8.01.01 ALL WINDOW AND SLIDING DOOR FRAMES, GLAZING, FIXINGS AND INSTALLATION TO BE DESIGNED AND

2.08.01 SAND BED LAYER UNDER SLABS. NOMINALLY 50MM THICK ONCE COMPACTED. WET DOWN BEFORE LAYING VAPOUR BARRIER.

8.01.02 CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH AS 1288 & AS2047 DIMENSIONING DIMENSIONS SHOWN NOMINAL SIZE. THE FABRICATOR SHALL ALLOW FOR TOLERANCES TO THE DOOR AND WINDOW FRAMES.

8.01.03 DOORS AND WINDOWS AS SCHEDULED COMPONENTS AND FINISHES AS LISTED

16 PLUMBING & DRAINAGE STANDARDS

16.01.01 ALL SERVICES TO BE INSTALLED IN ACCORDANCE WITH THE NATIONAL PLUMBING AND DRAINAGE CODE AS/ NZS 3500, THE CONTRACT DOCUMENTS, THE SPECIFICATION, SAA MP52 AND THE STANDARD DRAWINGS OF THE WATER CORPORATION.

16.01.03 CONNECTION POINT CONTRACTOR SHALL LIAISE WITH THE WATER CORPORATION FOR CONNECTIONS TO MAINS SERVICES PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING SERVICE & ESTABLISH DEPTH OF DRAINAGE CONNECTION POINT TO ENSURE ADEQUATE DEPTH IS AVAILABLE PRIOR TO ANY EXCAVATION OR INSTALLATION OF PIPES.

16.01.06 SITE DRAINAGE GROUND ADJACENT TO BUILDING SHALL BE GRADED AWAY TO FALL AT LEAST 50MM OVER 1 METRE WIDTH TO SATISFY BCA CLAUSE 3.1.2.3 - SURFACE WATER DRAINAGE. NOTE HEIGHT REQUIREMENTS FOR ORG AND LOWEST PLUMBING FIXTURE, I.E SHOWER OR FLOORWASTE.

16.04.01 MAINS CONNECTION SHALL NOT BE MADE TO EXISTING SEWER UNTIL THE WHOLE OF THE NEW WORKS HAS BEEN INSPECTED, TESTED TO WATER CORPORATIONS REQUIREMENTS

CLIENT APPROVAL FORM

PLEASE COMPLETE AND RETURN SIGNED COPY TO ADMIN@CBDARCHITECTS.COM.AU OR IN PERSON, WITHIN A TIMELY MANNER.

ONCE COMPLETED, THIS FORM CERTIFIES THE PERSON/ PERSONS BELOW HAVE REVIEWED THIS SET OF ARCHITECTURAL PLANS IN FULL, AND AGREE TO PROGRESS TO THE NEXT STAGE.

CBD ARCHITECTS PTY LTD REQUEST THAT ALL PAGES ARE CAREFULLY REVIEWED, AS RE-WORK MAY INCUR ADDITIONAL FEES.

CLIENT CONSENT:

I HEREBY AGREE TO THE NEXT STAGE REQUEST AND ACKNOWLEDGE ANY ADDITIONAL FEES THAT MAY OCCUR DUE TO RE-WORK REQUIREMENTS:

NAME: _____

DATE: _____

SIGNATURE: _____



NOTE: ANY AND ALL 3D IMAGES ARE NOT TO INFORM CONSTRUCTION. FOR ILLUSTRATION PURPOSES ONLY.

CBD
Architects

**CBD ARCHITECTS
PTY LTD**

1/338 Middleton Loop, ALBANY WA, 6330 & Suite 6, 1/310 Lord St, HIGHGATE WA, 6003
T: (08) 9842 1157 | E: admin@cbdarchitects.com.au | Registration #3378



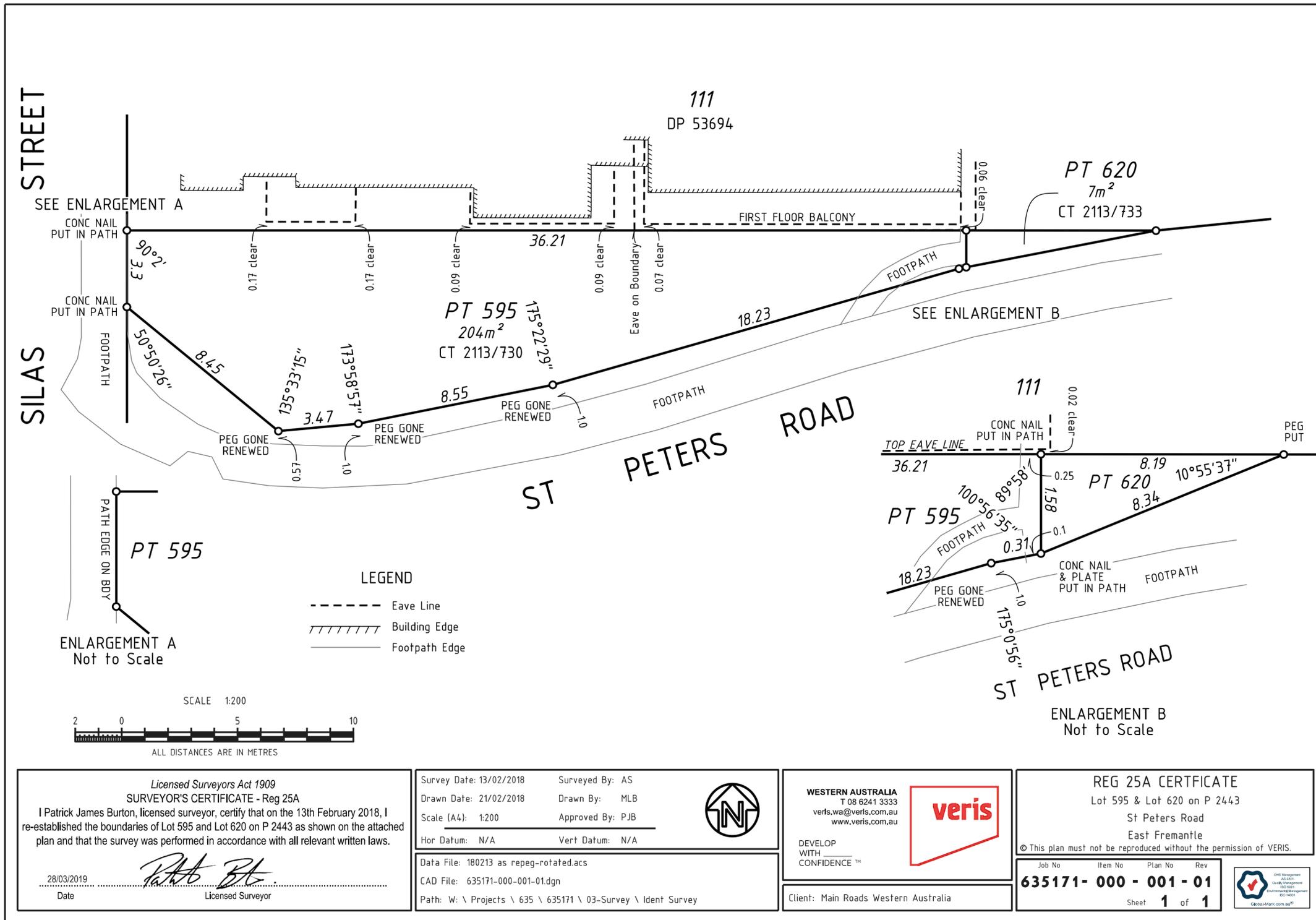
Project:
**PROPOSED FOUR STOREY
MIXED USE**
Client:
**LUKE BEUMONT
BARRETT**

Address:
**Lot 595 (#14) SILAS,
STREET**

FD-B	15/02/23	ISSUED FOR DA	CLIENT	Drawn: N	Date: 15/2/2023	Drawing Number: A00 of A 12	Job No.: ACP-121-22
FD-A	08/02/23	ISSUED FOR COMMENT	CLIENT	Checked: XX	Scale: AS SHOWN	PAGE SIZE: A2	Stage / Revision: FD-B
Rev.	Date	Description	Issued To				

CLIENT INITIALS:

INITIALS:



Licensed Surveyors Act 1909
 SURVEYOR'S CERTIFICATE - Reg 25A
 I Patrick James Burton, licensed surveyor, certify that on the 13th February 2018, I re-established the boundaries of Lot 595 and Lot 620 on P 2443 as shown on the attached plan and that the survey was performed in accordance with all relevant written laws.

28/03/2019
 Date

Patrick James Burton
 Licensed Surveyor

Survey Date: 13/02/2018 Surveyed By: AS
 Drawn Date: 21/02/2018 Drawn By: MLB
 Scale (A4): 1:200 Approved By: PJB

Hor Datum: N/A Vert Datum: N/A

Data File: 180213 as repeg-rotated.acs
 CAD File: 635171-000-001-01.dgn
 Path: W:\Projects\635\635171\03-Survey\Ident Survey

WESTERN AUSTRALIA
 T 08 6241 3333
 veris.wa@veris.com.au
 www.veris.com.au

DEVELOP WITH CONFIDENCE™

Client: Main Roads Western Australia

REG 25A CERTIFICATE
 Lot 595 & Lot 620 on P 2443
 St Peters Road
 East Fremantle

© This plan must not be reproduced without the permission of VERIS.

Job No	Item No	Plan No	Rev
635171-000	001	01	01

Sheet 1 of 1

Path: W:\Projects\635\635171\03-Survey\Ident Survey\PLAN\635171-000-001-00.dgn

EXISTING FEATURE SURVEY BY OTHERS (NOT TO SCALE)

© CBD Architects Pty Ltd 2021-2023 | www.cbdarchitects.com.au



CBD ARCHITECTS PTY LTD

1/338 Middleton Loop, ALBANY WA, 6330 & Suite 6, 1/310 Lord St, HIGHGATE WA, 6003
T: (08) 9842 1157 | E: admin@cbdarchitects.com.au | Registration #3378



Project: PROPOSED FOUR STOREY MIXED USE
Client: LUKE BEUMONT BARRETT

Address: Lot 595 (#14) SILAS STREET

FD-B	15/02/23	ISSUED FOR DA	CLIENT	Drawn: N	Date: 15/2/2023	Drawing Number: A01 of A12	Job No.: ACP-121-22
FD-A	08/02/23	ISSUED FOR COMMENT	CLIENT	Checked: XX	Scale: AS SHOWN	PAGE SIZE: A2	Stage / Revision: FD-B
Rev.	Date	Description	Issued To				

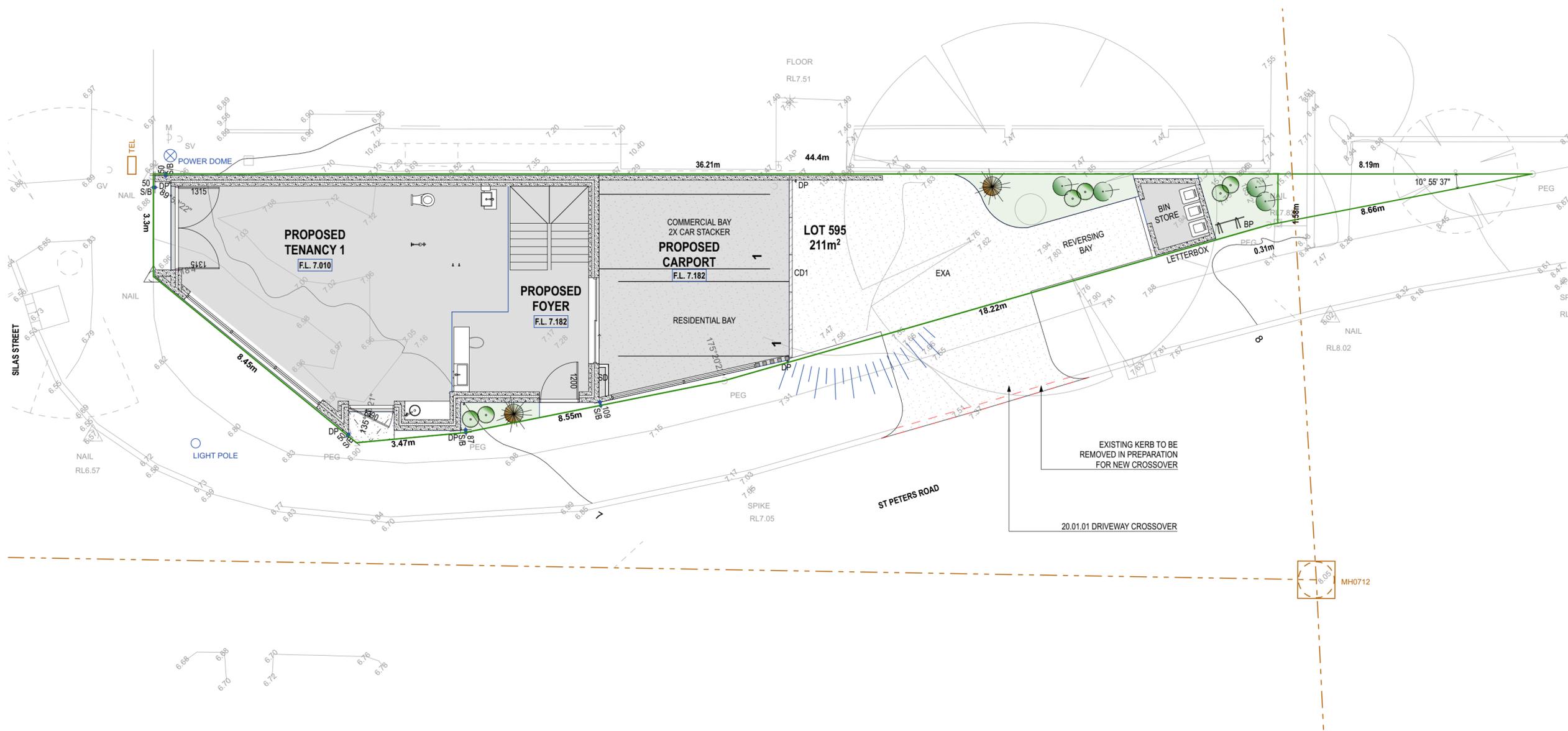
CLIENT INITIALS:

INITIALS:

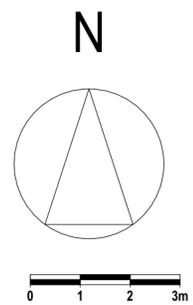
SITE AREAS :		
TOTAL LOT AREA	211.00m ²	
BUILDING AREA (SITE COVER)	136.36m ²	64.63%
OPEN SPACE	74.64m ²	35.37%
LOCAL GOVERNMENT AUTHORITY	TOWN OF EAST FREEMANTLE	
ZONING/DENSITY	TOWN CENTRE	
SITE AREA	211m ²	
LOCAL PLANNING SCHEMES	LOCAL PLANNING SCHEME NO.3	
SUB-DIVISION GUIDELINES	TOWN CENTRE REDEVELOPMENT GUIDELINES	

BUILDING AREAS	
BASEMENT FLOOR AREAS	
BASEMENT	138.63
	138.63 m²
GROUND FLOOR AREAS	
BIN STORE	4.57
CARPORT	40.52
FOYER	26.97
LANDSCAPING	12.96
TENANCY 1	68.87
	153.89 m²
FIRST FLOOR AREAS	
U1 FIRST LIVING	136.11
	136.11 m²
SECOND FLOOR AREAS	
U1 SECOND BALCONY	8.42
U1 SECOND LIVING	129.61
	138.03 m²
TOTAL LIVING AREAS	292.69 m²
TOTAL BUILDING AREAS	622.40 m²

- NOTES**
- SITE PREPARATION**
 - DEMOLITION WORKS AS SHOWN PROVIDE ADEQUATE PROPPING, SUPPORT AND PROTECTION OF ADJACENT SURFACES. MAKE GOOD ALL DAMAGED FINISHES AND SURFACES AS REQUIRED.
 - PROTECT TREES TO BE RETAINED ON THE SITE. PROVIDE MARKING AND PROTECTION DURING WORKS, INCLUDING EXCAVATION. CONTRACTOR SUBJECT TO PUNISHMENTS AS FOR DAMAGES TO TREES WHICH ARE REQUIRED TO REMAIN.
 - ENVIRONMENTAL PROTECTION PROVIDE EROSION, CONTAMINATION, AND SEDIMENTATION PROTECTION OF THE SITE, SURROUNDING AREAS, AND DRAINAGE SYSTEMS. KEEP THE SITE FREE OF WATER AND PREVENT WATER FLOWOVER NEW WORK.
 - TIMBER & STEEL CONSTRUCTION**
 - STEEL ROOF TRUSSES TO BE DESIGNED, CONSTRUCTED AND CERTIFIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SETOUT OF TRUSSES TO BE CONFIRMED BY THE MANUFACTURER PRIOR TO COMMENCING ANY WORKS.
 - 76MM STEEL WALL FRAMES FIXED AS DETAILED WITH 10MM PLASTERBOARD FLUSHED AND PAINT FINISHED.
 - PLUMBING & DRAINAGE**
 - CHANNEL DRAIN 150W WITH GALVANISED GRATE SUITABLE FOR LIGHT TRAFFIC
 - PAVING**
 - DRIVEWAY CROSSOVER CONSTRUCTED TO LOCAL COUNCIL REQUIREMENTS.
 - FINISHES**
 - EXPOSED AGGREGATE FINISH GEOSTONE IVORY COAST
 - LEGEND**
 - BP BIKE PARKING
 - DP VERTICAL BICYCLE PARKING
 - DP DOWNPIPE
 - SD COLORBOND OR PVC
 - SD SIMER'S DUCT



PROPOSED SITE PLAN
Scale 1:100



CBD ARCHITECTS PTY LTD
1/338 Middleton Loop, ALBANY WA, 6330 & Suite 6, 1/310 Lord St, HIGHGATE WA, 6003
T: (08) 9842 1157 | E: admin@cbdarchitects.com.au | Registration #3378



Project:
PROPOSED FOUR STOREY MIXED USE
Client:
LUKE BEUMONT BARRETT

Address:
Lot 595 (#14) SILAS STREET

FD-B	15/02/23	ISSUED FOR DA	CLIENT	Drawn: N	Date: 15/2/2023	Drawing Number: A02 of A 12	Job No.: ACP-121-22
FD-A	08/02/23	ISSUED FOR COMMENT	CLIENT	Checked: XX	Scale: AS SHOWN	PAGE SIZE: A2	Stage / Revision: FD-B
Rev.	Date	Description	Issued To				

© CBD Architects Pty Ltd 2021-2023 | www.cbdarchitects.com.au

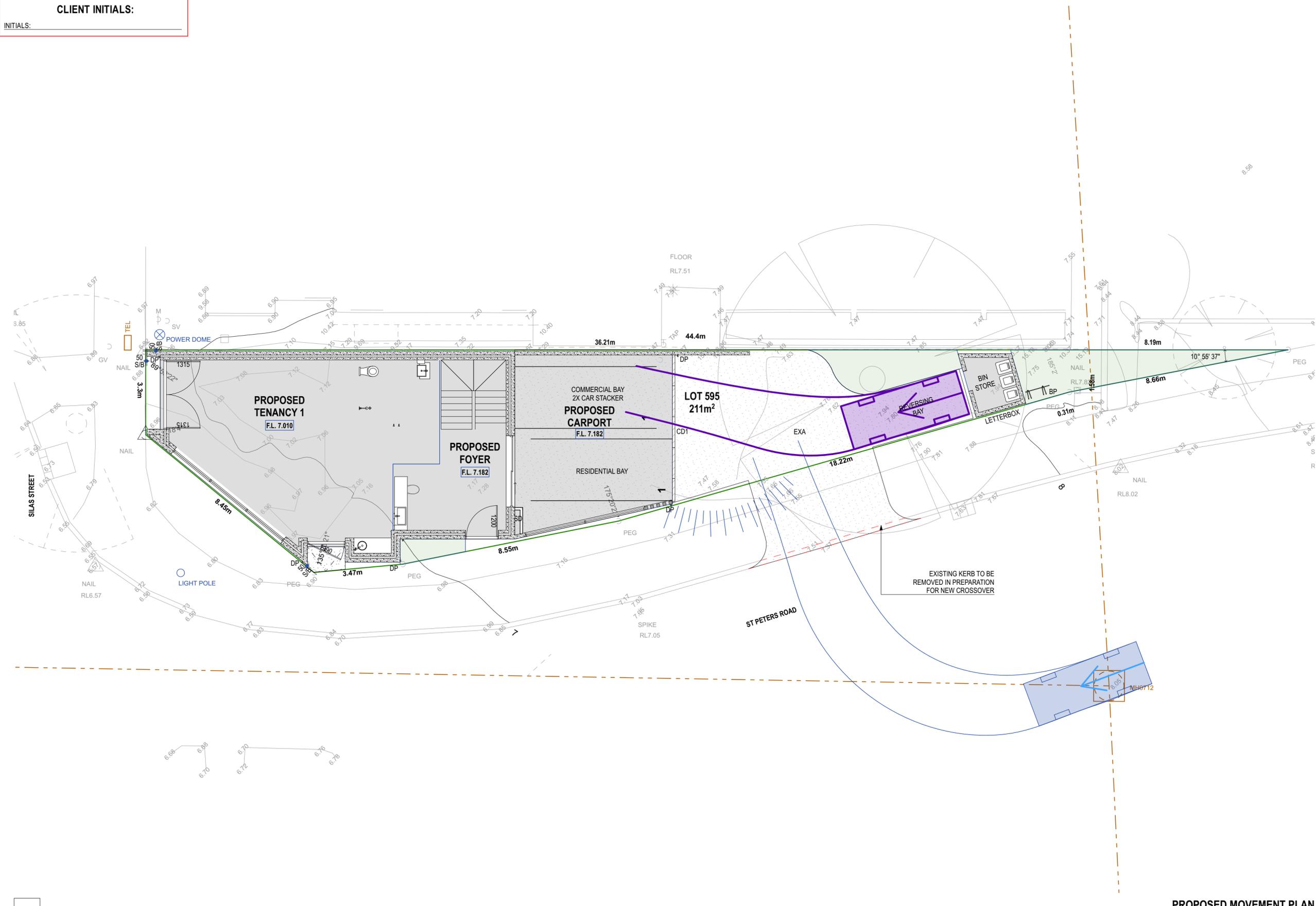
CLIENT INITIALS:

INITIALS:

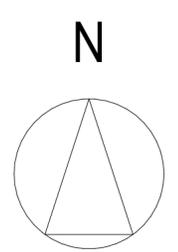
BUILDING AREAS	
BASEMENT FLOOR AREAS	
BASEMENT	138.63
	138.63 m²
GROUND FLOOR AREAS	
BIN STORE	4.00
CARPORT	40.52
FOYER	26.97
TENANCY 1	68.87
	140.36 m²
FIRST FLOOR AREAS	
U1 FIRST LIVING	136.11
	136.11 m²
SECOND FLOOR AREAS	
U1 SECOND BALCONY	8.42
U1 SECOND LIVING	129.61
	138.03 m²
TOTAL LIVING AREAS	292.69 m²
TOTAL BUILDING AREAS	608.87 m²

NOTES

- 2 **SITE PREPARATION**
- 2.02.01 DEMOLITION WORKS AS SHOWN PROVIDE ADEQUATE PROPPING, SUPPORT AND PROTECTION OF ADJACENT SURFACES. MAKE GOOD ALL DAMAGED FINISHES AND SURFACES AS REQUIRED.
- 2.03.01 PROTECT TREES TO BE RETAINED ON THE SITE. PROVIDE MARKING AND PROTECTION DURING WORKS, INCLUDING EXCAVATION. CONTRACTOR SUBJECT TO PUNISHMENTS AS FOR DAMAGES TO TREES WHICH ARE REQUIRED TO REMAIN
- 2.04.01 ENVIRONMENTAL PROTECTION PROVIDE EROSION, CONTAMINATION, AND SEDIMENTATION PROTECTION OF THE SITE, SURROUNDING AREAS, AND DRAINAGE SYSTEMS. KEEP THE SITE FREE OF WATER AND PREVENT WATER FLOWOVER NEW WORK.
- 4 **TIMBER & STEEL CONSTRUCTION**
- 4.01.05 STEEL ROOF TRUSSES TO BE DESIGNED, CONSTRUCTED AND CERTIFIED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. SETOUT OF TRUSSES TO BE CONFIRMED BY THE MANUFACTURER PRIOR TO COMMENCING ANY WORKS.
- 4.02.01 76MM STEEL WALL FRAMES FIXED AS DETAILED WITH 10MM PLASTERBOARD FLUSHED AND PAINT FINISHED
- 22 **FINISHES**
- EXA EXPOSED AGGREGATE FINISH GEOSTONE IVORY COAST
- 23 **LEGEND**
- BP BIKE PARKING
- SD STANDING BIKE RACK
- SD SERVICES DUCT



PROPOSED MOVEMENT PLAN
Scale 1:100



© CBD Architects Pty Ltd 2021-2023 | www.cbdarchitects.com.au

CBD
Architects

CBD ARCHITECTS PTY LTD
1/338 Middleton Loop, ALBANY WA, 6330 & Suite 6, 1/310 Lord St, HIGHGATE WA, 6003
T: (08) 9842 1157 | E: admin@cbdarchitects.com.au | Registration #3378



Project:
PROPOSED FOUR STOREY MIXED USE
Client:
LUKE BEUMONT BARRETT

Address:
Lot 595 (#14) SILAS, STREET

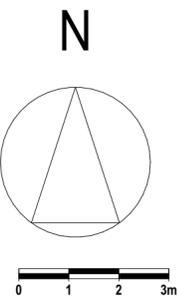
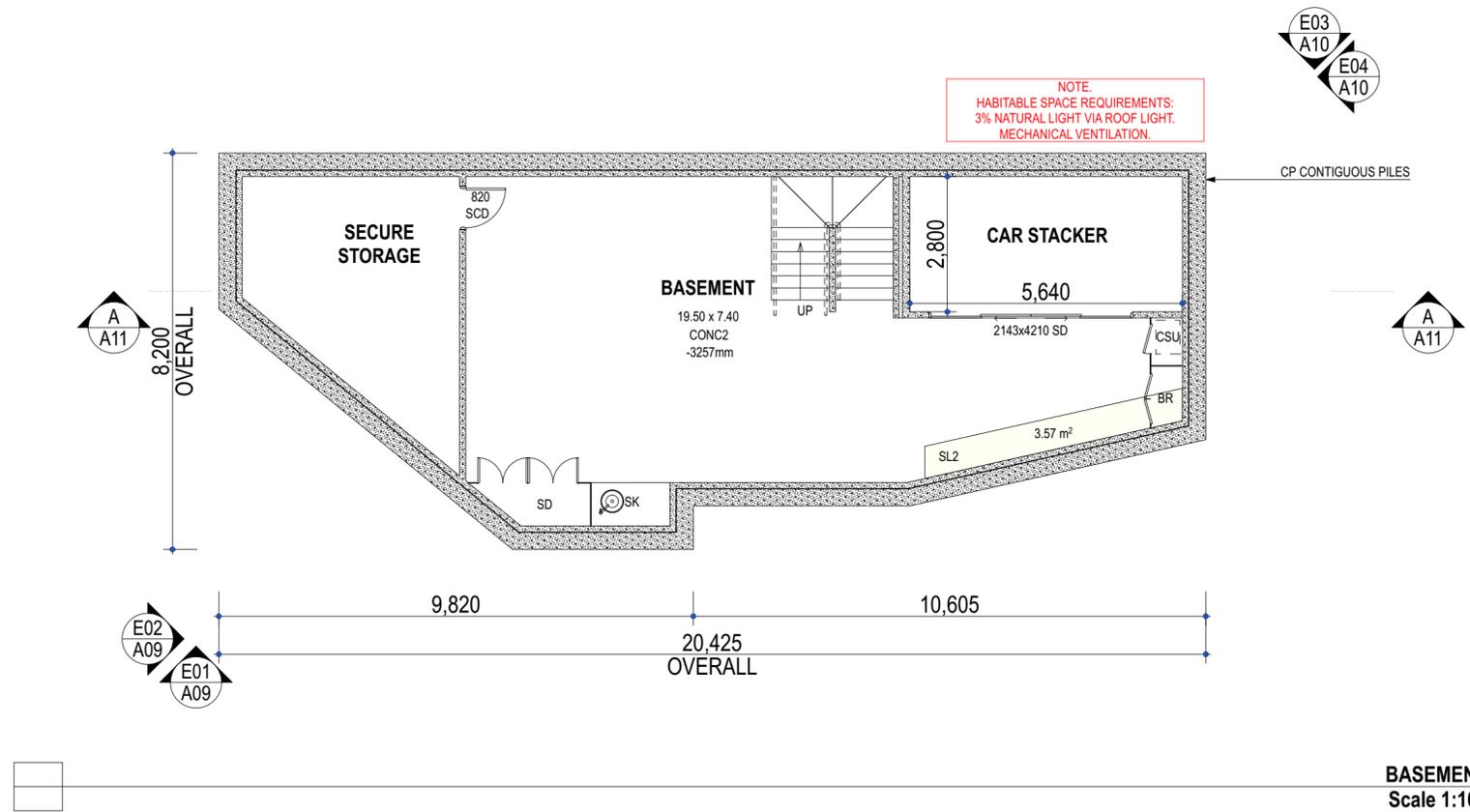
FD-B	15/02/23	ISSUED FOR DA	CLIENT	Drawn: N	Date: 15/2/2023	Drawing Number: A03 of A 12	Job No.: ACP-121-22
FD-A	08/02/23	ISSUED FOR COMMENT	CLIENT	Checked: XX	Scale: AS SHOWN	PAGE SIZE: A2	Stage / Revision: FD-B
Rev.	Date	Description	Issued To				

CLIENT INITIALS:

INITIALS: _____

NOTES

- 3 CP CONCRETE CONSTRUCTION
CONTIGUOUS PILES
350MM AT 400MM CENTRES +/- 50MM
TOLERANCE RING BEAM FOUNDATION
WITH CAPPING BEAM AND 125MM
INTERNAL CONCRETE WALL. CONFIRM
WITH ENGINEER.
- 16 SK1 PLUMBING & DRAINAGE
SINK 1
SINGLE BOWL.
- 22 CONC2 FINISHES
BURNISHED CONCRETE
- 23 BR LEGEND
BROOM CUPBOARD
CS CAR STACKER
PROVISION FOR HERCULES HCP-
TPT-2-2300D-2800W SINGLE WIDTH,
DOUBLE HEIGHT STACKER SYSTEM.
CONFIRMATION OF SYSTEM DETAILS
WITH CLIENT AND SUPPLIER PRIOR TO
CONSTRUCTION.
CSU CAR STACKER UNIT
HYDRAULIC CONTROL BOX AND PUMP
UNIT. 75MM DIAMETER CORE HOLE BY
BUILDER REQUIRED THROUGH
ADJACENT WALL. CONFIRMATION OF
SYSTEM DETAILS WITH CLIENT AND
SUPPLIER PRIOR TO CONSTRUCTION.
- SCD SECRET DOOR
SD SERVICES DUCT
SL2 SKYLIGHT
STRUCTURAL ROOF WINDOW



CBD
Architects

**CBD ARCHITECTS
PTY LTD**

1/338 Middleton Loop, ALBANY WA, 6330 & Suite 6, 1/310 Lord St, HIGHGATE WA, 6003
T: (08) 9842 1157 | E: admin@cbdarchitects.com.au | Registration #3378



Project:
**PROPOSED FOUR STOREY
MIXED USE**
Client:
**LUKE BEUMONT
BARRETT**

Address:
**Lot 595 (#14) SILAS,
STREET**

FD-B	15/02/23	ISSUED FOR DA	CLIENT	Drawn: N	Date: 15/2/2023	Drawing Number: A04 of A12	Job No.: ACP-121-22
FD-A	08/02/23	ISSUED FOR COMMENT	CLIENT	Checked: XX	Scale: AS SHOWN	PAGE SIZE: A2	Stage / Revision: FD-B
Rev.	Date	Description	Issued To				

CLIENT INITIALS:

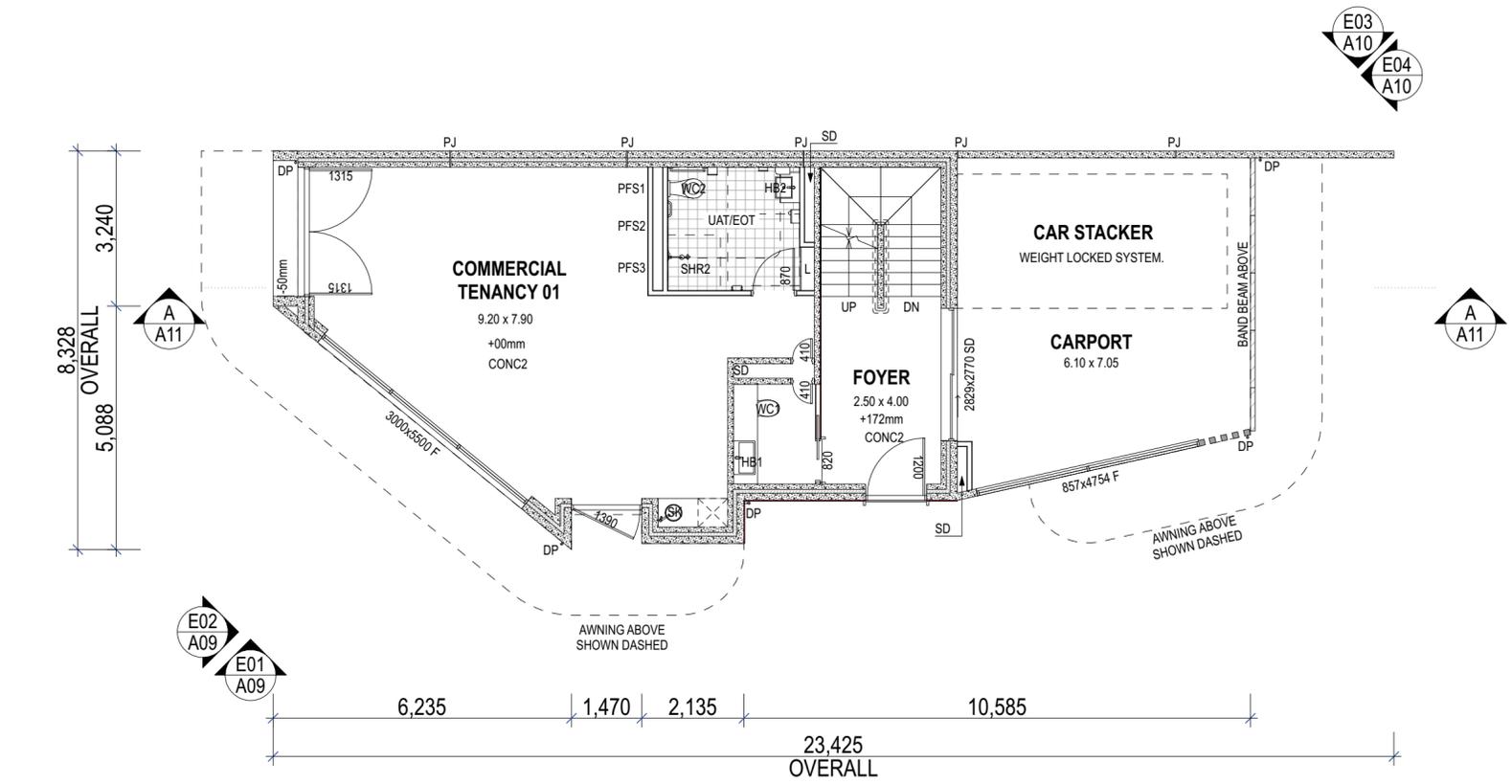
INITIALS: _____

NOTES

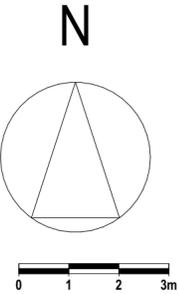
- 16 PLUMBING & DRAINAGE**
 HB1 HAND BASIN 1
 HB2 HAND BASIN 2
 TO COMPLY WITH AS1428.1
 SK1 SINK 1
 SINGLE BOWL
 WC1 WATER CLOSET 1
 WC2 WATER CLOSET 2
 TO COMPLY WITH AS1428.1

- 22 FINISHES**
 CONC2 BURNISHED CONCRETE

- 23 LEGEND**
 CS CAR STACKER
 PROVISION FOR HERCULES HCP-TPT-2-2300D-2800W SINGLE WIDTH, DOUBLE HEIGHT STACKER SYSTEM. CONFIRMATION OF SYSTEM DETAILS WITH CLIENT AND SUPPLIER PRIOR TO CONSTRUCTION.
 DP DOWNPIPE
 COLORBOND OR PVC
 LC LOCKER
 END OF TRIP LOCKERS
 PFS1 PROVISION FOR SERVICES WATER
 PFS2 PROVISION FOR SERVICES GAS
 PFS3 PROVISION FOR SERVICES GAS
 PJ PANEL JOINT
 SD SERVICES DUCT
 SHR2 SHOWER 2
 TO COMPLY WITH AS1428.1



GROUND FLOOR PLAN
 Scale 1:100



**CBD ARCHITECTS
 PTY LTD**

1/338 Middleton Loop, ALBANY WA, 6330 & Suite 6, 1/310 Lord St, HIGHGATE WA, 6003
 T: (08) 9842 1157 | E: admin@cbdarchitects.com.au | Registration #3378



Project:
**PROPOSED FOUR STOREY
 MIXED USE**
 Client:
**LUKE BEUMONT
 BARRETT**

Address:
 Lot 595 (#14) SILAS,
 STREET

FD-B	15/02/23	ISSUED FOR DA	CLIENT	Drawn: N	Date: 15/2/2023	Drawing Number: A05 of A12	Job No.: ACP-121-22
FD-A	08/02/23	ISSUED FOR COMMENT	CLIENT	Checked: XX	Scale: AS SHOWN	PAGE SIZE: A2	Stage / Revision: FD-B
Rev.	Date	Description	Issued To				

© CBD Architects Pty Ltd 2021-2023 | www.cbdarchitects.com.au

CLIENT INITIALS:

INITIALS: _____

NOTES

16 **PLUMBING & DRAINAGE**
 HB1 HAND BASIN 1
 HCK HOSECOCK
 WC1 WATER CLOSET 1

22 **FINISHES**
 CONC2 BURNISHED CONCRETE
 CONC3 XBOND
 TBC WITH CLIENT.

23 **LEGEND**
 EPB ELMICH PLANTER BOX
 VERSI-DRAIN 60MM WITH 250MM
 LIGHTWEIGHT TOP SOIL. TO
 MANUFACTURES DETAIL. PROVISION
 FOR 300KG/M2 + LANDSCAPING
 SELECTIONS BY LANDSCAPE
 ARCHITECT.

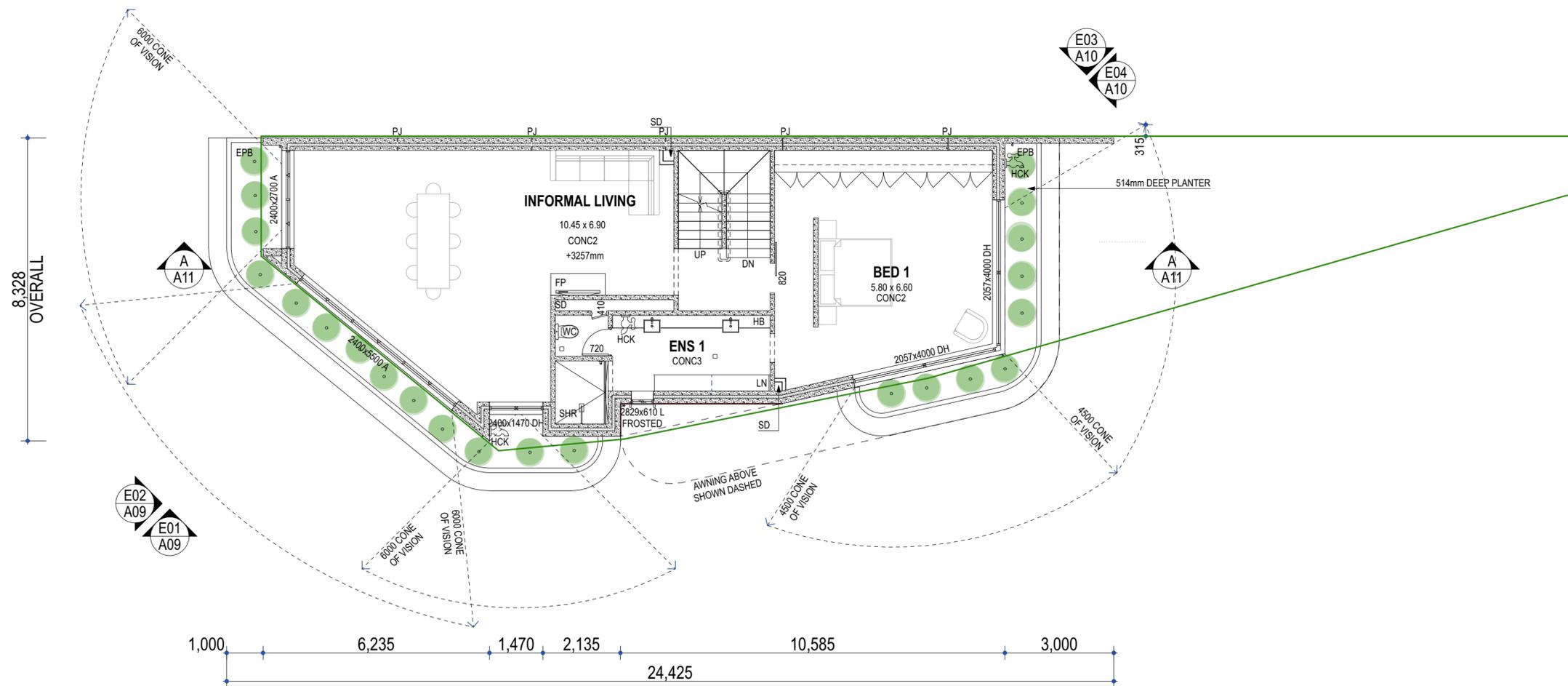
FP FIRE PLACE
 AS SELECTED BY CLIENT

LN LINEN CUPBOARD

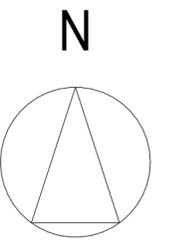
PJ PANEL JOINT

SD SERVICES DUCT

SHR1 SHOWER 1



FIRST FLOOR PLAN
 Scale 1:100



CBD
Architects

CBD ARCHITECTS
 PTY LTD

1/338 Middleton Loop, ALBANY WA, 6330 & Suite 6, 1/310 Lord St, HIGHGATE WA, 6003
 T: (08) 9842 1157 | E: admin@cbdarchitects.com.au | Registration #3378



Member
 Australian
 Institute of
 Architects

Project:
 PROPOSED FOUR STOREY
 MIXED USE
 Client:
 LUKE BEUMONT
 BARRETT

Address:
 Lot 595 (#14) SILAS,
 STREET

FD-B	15/02/23	ISSUED FOR DA	CLIENT	Drawn: N	Date: 15/2/2023	Drawing Number: A06 of A12	Job No.: ACP-121-22
FD-A	08/02/23	ISSUED FOR COMMENT	CLIENT	Checked: XX	Scale: AS SHOWN	PAGE SIZE: A2	Stage / Revision: FD-B
Rev.	Date	Description	Issued To				

CLIENT INITIALS:

INITIALS: _____

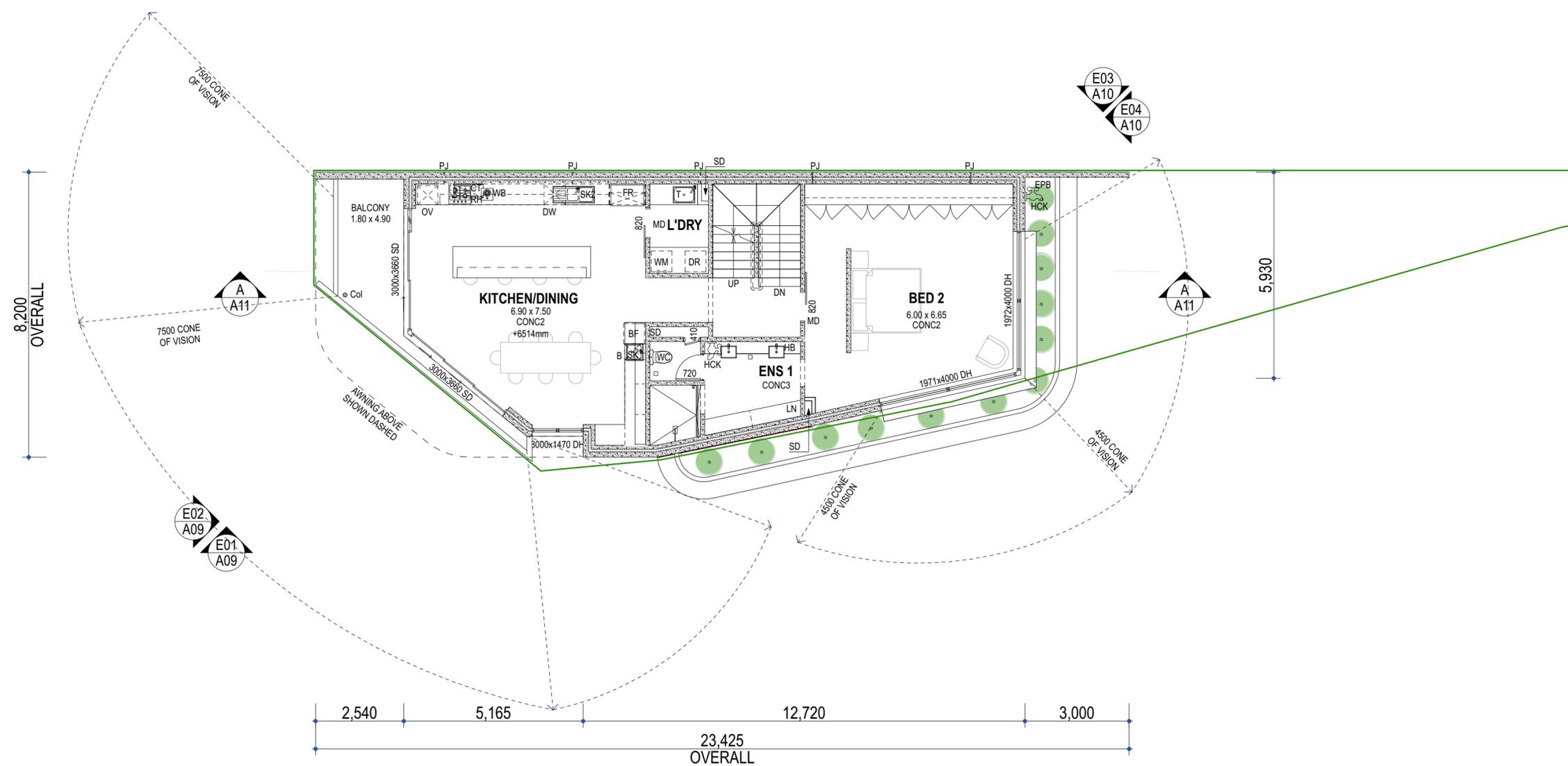
NOTES

- 8 DOORS & WINDOWS**
- MD MAGIC DOOR
SUPPLIER: IDEAL BARN DOOR. MAGIC 2
INVISIBLE SLIDING DOOR SYSTEM

- 16 PLUMBING & DRAINAGE**
- HB1 HAND BASIN 1
- HCK HOSECOCK
- SK1 SINK 1
- SK2 SINK 2
- T SINGLE BOWL TROUGH
- WC1 WATER CLOSET 1

- 22 FINISHES**
- CONC2 BURNISHED CONCRETE
- CONC3 XBOND
- TBC WITH CLIENT.

- 23 LEGEND**
- B BIN
- BF PULL OUT BAR FRIDGE RECESS ONLY
- Col COLUMN AS SCHEDULED SEE ENGINEERS DETAILS
- CT COOKTOP
- INDUCTION
- DR DRYER SPACE
- DW DISHWASHER RECESS PROVIDE HOLE ON SIDE OF CABINERY FOR GPO & TAP PROVISION
- EPB ELMICH PLANTER BOX VERSI-DRAIN 60MM WITH 250MM LIGHTWEIGHT TOP SOIL, TO MANUFACTURES DETAIL. PROVISION FOR 300KG/M2 + LANDSCAPING SELECTIONS BY LANDSCAPE ARCHITECT
- FR FRIDGE SPACE INTEGRATED
- LN LINEN CUPBOARD
- OV OVEN
- PJ PANEL JOINT
- RH RANGE HOOD
- SD SERVICES DUCT
- WB WOK BURNER
- WM WASHING MACHINE SPACE PROVIDE HOLE ON SIDE OF CABINERY FOR GPO & TAP PROVISION



SECOND FLOOR
Scale 1:100



CBD ARCHITECTS
PTY LTD

1/338 Middleton Loop, ALBANY WA, 6330 & Suite 6, 1/310 Lord St, HIGHGATE WA, 6003
T: (08) 9842 1157 | E: admin@cbdarchitects.com.au | Registration #3378



Project:
**PROPOSED FOUR STOREY
MIXED USE**
Client:
**LUKE BEUMONT
BARRETT**

Address:
**Lot 595 (#14) SILAS,
STREET**

FD-B	15/02/23	ISSUED FOR DA	CLIENT	Drawn: N	Date: 15/2/2023	Drawing Number: A07 of A12	Job No.: ACP-121-22
FD-A	08/02/23	ISSUED FOR COMMENT	CLIENT	Checked: XX	Scale: AS SHOWN	PAGE SIZE: A2	Stage / Revision: FD-B
Rev.	Date	Description	Issued To				

© CBD Architects Pty Ltd 2021-2023 | www.cbdarchitects.com.au

CLIENT INITIALS:

INITIALS:

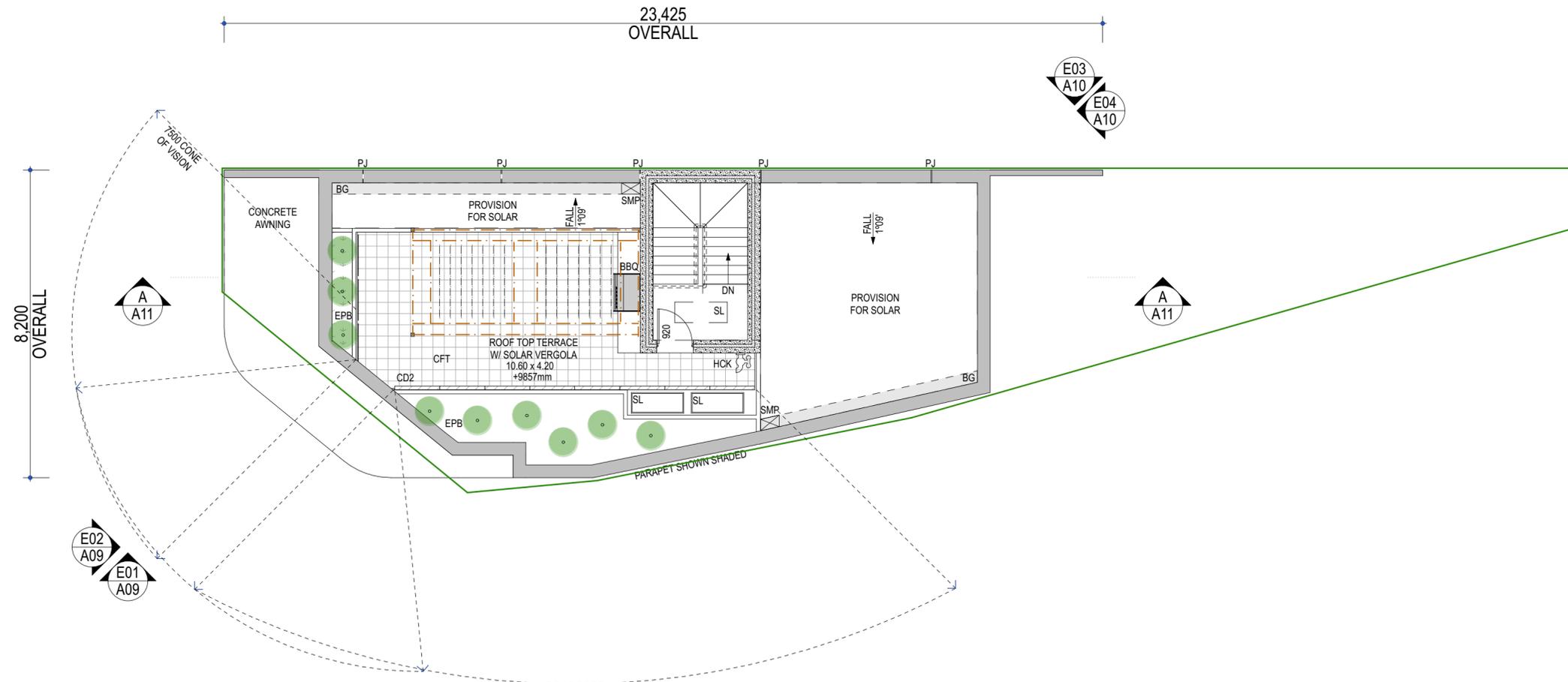
NOTES

- 7 **ROOFING**
BG BOX GUTTER
SIZING TO BE CONFIRMED WITH HYDRAULIC CONSULTANT
- SMP SUMP
SIZING TO BE CONFIRMED WITH HYDRAULIC CONSULTANT

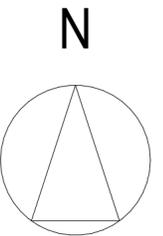
- 16 **PLUMBING & DRAINAGE**
CD2 CHANNEL DRAIN
100W WITH GALVANISED GRATE
SUITABLE FOR LIGHT TRAFFIC
- HCK HOSECOCK

- 22 **FINISHES**
CFT CERAMIC FLOOR TILES
AS SELECTED BY CLIENT

- 23 **LEGEND**
BBQ BARBEQUE
EPB ELMICH PLANTER BOX
VERS-DRAIN 60MM WITH 250MM LIGHTWEIGHT TOP SOIL, TO MANUFACTURES DETAIL, PROVISION FOR 300KG/M2 + LANDSCAPING SELECTIONS BY LANDSCAPE ARCHITECT
- PJ PANEL JOINT
- SL SKYLIGHT
FRAMELESS ATLITE ROOF WINDOW



ROOF TOP TERRACE
Scale 1:100



CBD
Architects

**CBD ARCHITECTS
PTY LTD**

1/338 Middleton Loop, ALBANY WA, 6330 & Suite 6, 1/310 Lord St, HIGHGATE WA, 6003
T: (08) 9842 1157 | E: admin@cbdarchitects.com.au | Registration #3378



Project:
**PROPOSED FOUR STOREY
MIXED USE**
Client:
**LUKE BEUMONT
BARRETT**

Address:
**Lot 595 (#14) SILAS,
STREET**

FD-B	15/02/23	ISSUED FOR DA	CLIENT	Drawn: N	Date: 15/2/2023	Drawing Number: A08 of A12	Job No.: ACP-121-22
FD-A	08/02/23	ISSUED FOR COMMENT	CLIENT	Checked: XX	Scale: AS SHOWN	PAGE SIZE: A2	Stage / Revision: FD-B
Rev.	Date	Description	Issued To				

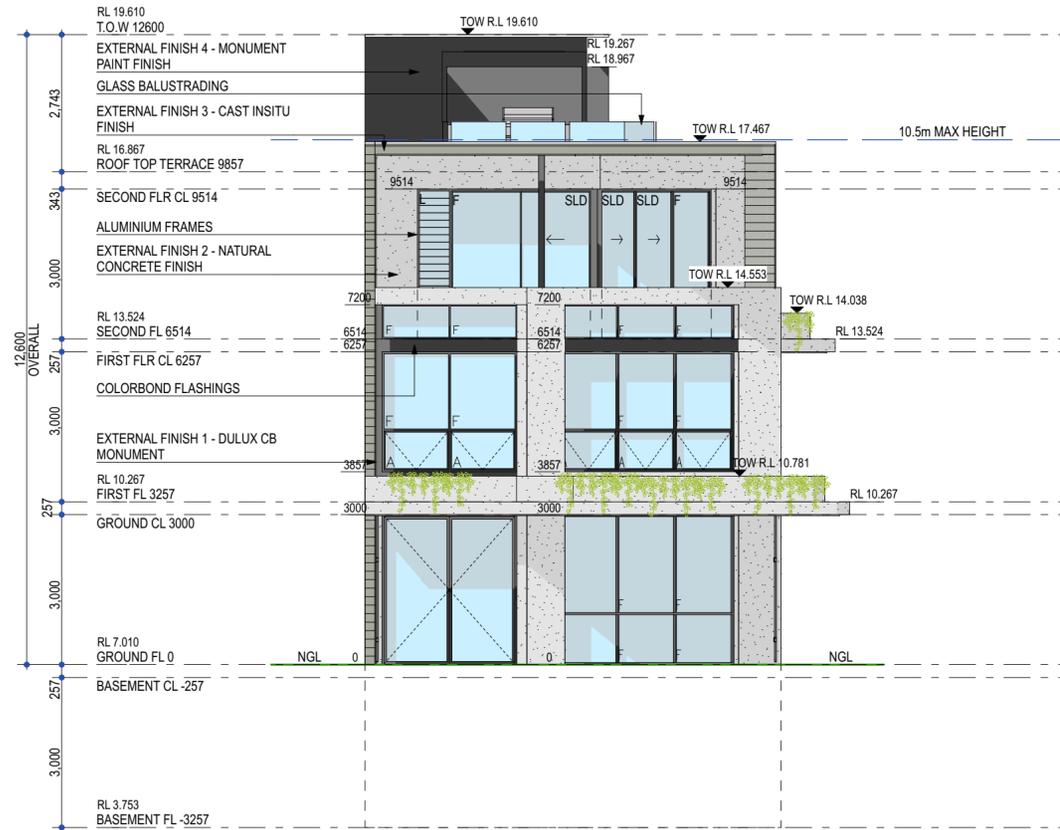
CLIENT INITIALS:

INITIALS:



E01

ELEVATION - SOUTH
Scale 1:100



E02

ELEVATION - WEST
Scale 1:100

NOTES

- 7 ROOFING
7.07.02 COLORBOND FLASHINGS
PROVIDE PRESSED STEEL FLASHINGS - MONUMENT FINISH
- 8 DOORS & WINDOWS
A AWNING
DH DOUBLE HUNG
F FIXED GLASS
L LOUVRE
SLD SLIDING DOOR
TH TOP HUNG
- 9 CLADDING & LINING
9.01.03 ECO-TIMBER
SHOU SUGI BAN, INSTALLED AS PER MANUFACTURERS INSTRUCTIONS, AS PER CLIENT SELECTION, OR SIMILAR APPROVED.
- 12 JOINERY & FIXTURES
12.12.03 GLASS BALUSTRADING
FIXED AS DETAILED, DESIGNED AND INSTALLED TO BCA REQUIREMENTS AND MANUFACTURER'S SPECIFICATIONS. PROVIDE HANDRAIL AS SELECTED.
- 17 ELECTRICAL INSTALLATIONS
17.11.00 SCHEDULE ITEMS
LED RECESSED STRIP LIGHT
- 22 FINISHES
AF ALUMINIUM FRAMES
POWDERCOAT - MONUMENT
EF1 EXTERNAL FINISH 1 - BURNT ASH FINISH
EF2 EXTERNAL FINISH 2 - NATURAL CONCRETE FINISH
EF3 EXTERNAL FINISH 3 - CAST INSITU FINISH
EF4 EXTERNAL FINISH 4 - MONUMENT PAINT FINISH

NOTE: GLAZING TO HAVE A LIGHT TRANSMITTANCE VALUE OF 0.85 OR HIGHER.



**CBD ARCHITECTS
PTY LTD**

1/338 Middleton Loop, ALBANY WA, 6330 & Suite 6, 1/310 Lord St, HIGHGATE WA, 6003
T: (08) 9842 1157 | E: admin@cbdarchitects.com.au | Registration #3378



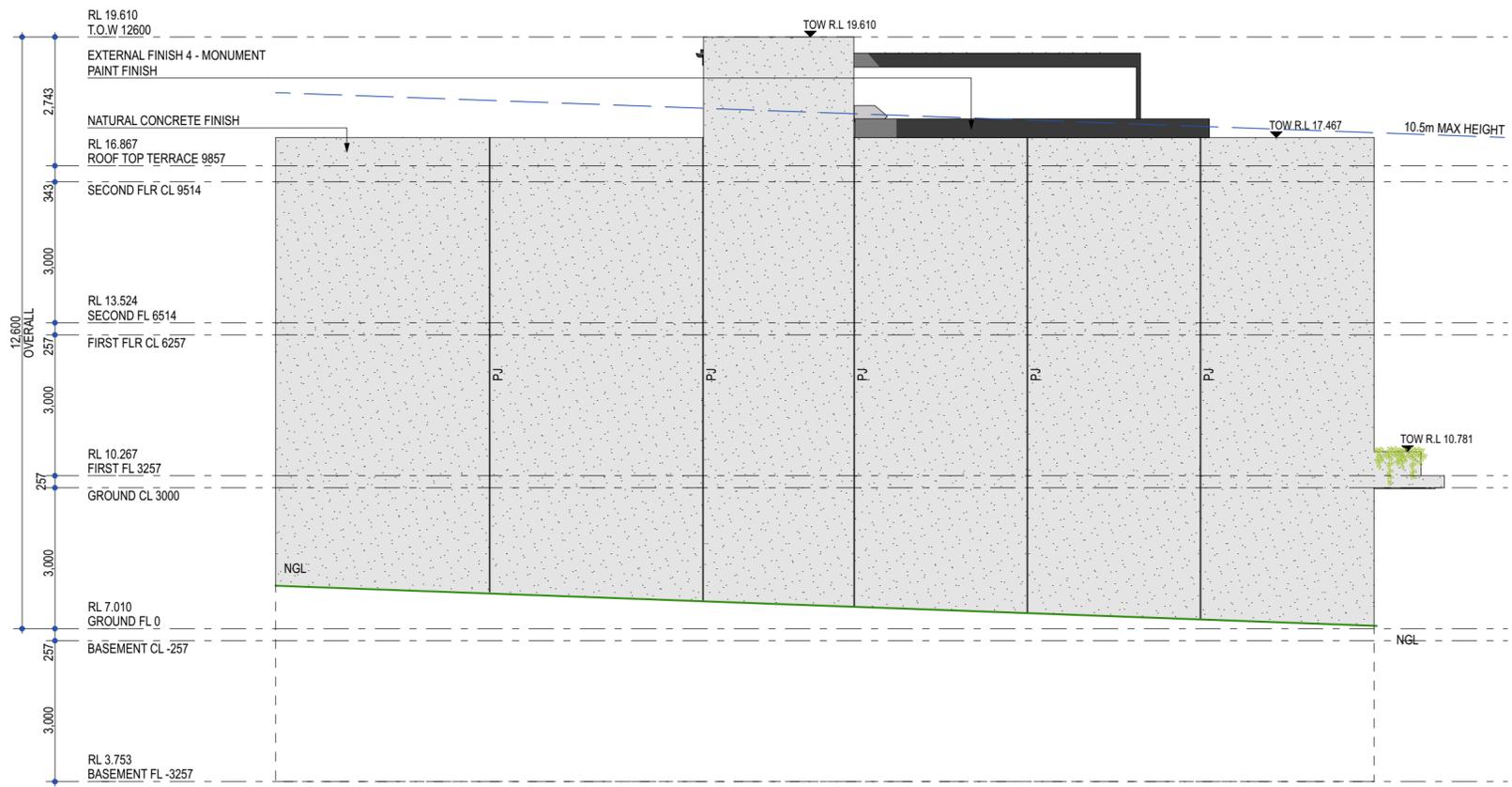
Project:
**PROPOSED FOUR STOREY
MIXED USE**
Client:
**LUKE BEUMONT
BARRETT**

Address:
**Lot 595 (#14) SILAS,
STREET**

FD-B	15/02/23	ISSUED FOR DA	CLIENT	Drawn: N	Date: 15/2/2023	Drawing Number: A09 of A 12	Job No.: ACP-121-22
FD-A	08/02/23	ISSUED FOR COMMENT	CLIENT	Checked: XX	Scale: AS SHOWN	PAGE SIZE: A2	Stage / Revision: FD-B
Rev.	Date	Description	Issued To				

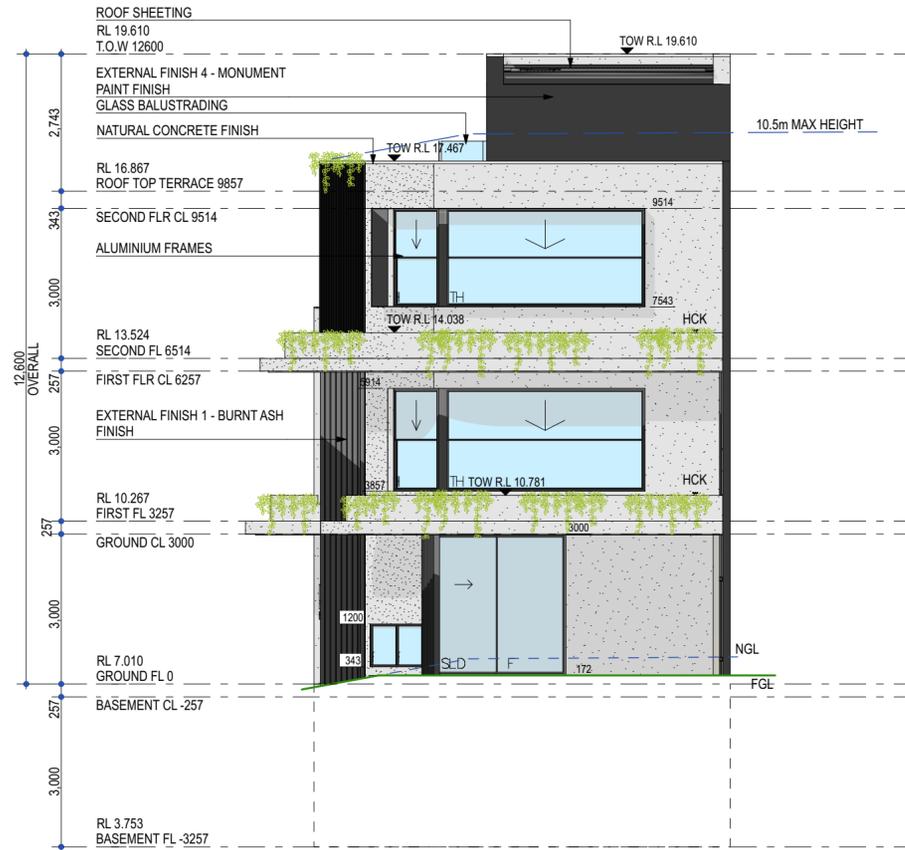
CLIENT INITIALS:

INITIALS: _____



E03

ELEVATION - NORTH
Scale 1:100



E04

ELEVATION - EAST
Scale 1:100

NOTES

- 8 DOORS & WINDOWS**
- F FIXED GLASS
- SLD SLIDING DOOR
- TH TOP HUNG
- 12 JOINERY & FIXTURES**
- 12.12.03 GLASS BALUSTRADING DESIGNED AND INSTALLED TO BCA REQUIREMENTS AND MANUFACTURER'S SPECIFICATIONS. PROVIDE HANDRAIL AS SELECTED.
- 16 PLUMBING & DRAINAGE**
- HCK HOSECOCK
- 22 FINISHES**
- AF ALUMINIUM FRAMES
- Conc3 POWDERCOAT - MONUMENT
- Conc3 NATURAL CONCRETE FINISH
- EF1 EXTERNAL FINISH 1 - BURNT ASH FINISH
- EF4 EXTERNAL FINISH 4 - MONUMENT PAINT FINISH
- RS ROOF SHEETING
- RS COLORBOND - MONUMENT
- 23 LEGEND**
- PJ PANEL JOINT

NOTE: GLAZING TO HAVE A LIGHT TRANSMITTANCE VALUE OF 0.85 OR HIGHER.



**CBD ARCHITECTS
PTY LTD**

1/338 Middleton Loop, ALBANY WA, 6330 & Suite 6, 1/310 Lord St, HIGHGATE WA, 6003
T: (08) 9842 1157 | E: admin@cbdarchitects.com.au | Registration #3378



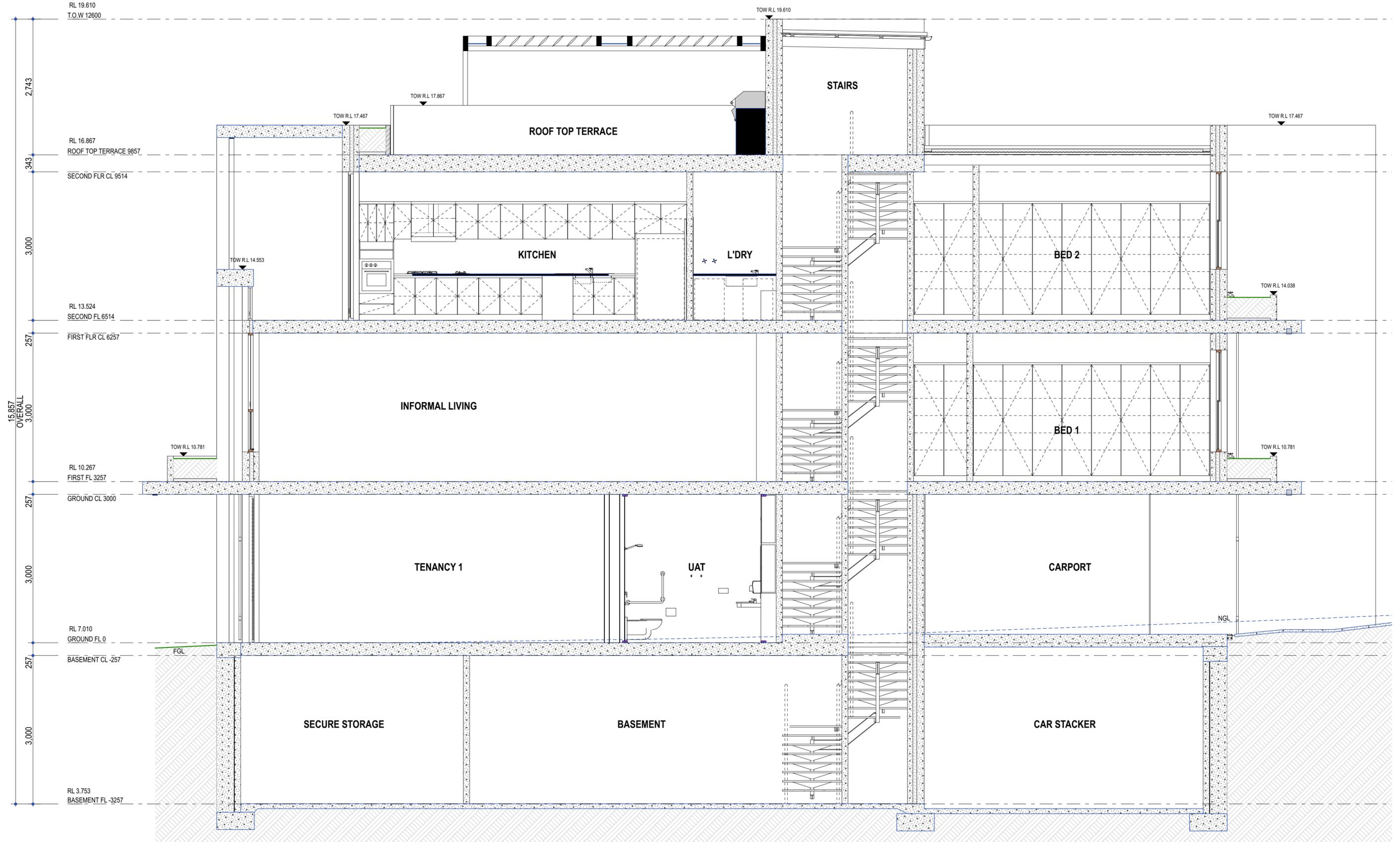
Project:
**PROPOSED FOUR STOREY
MIXED USE**
Client:
**LUKE BEUMONT
BARRETT**

Address:
**Lot 595 (#14) SILAS,
STREET**

FD-B	15/02/23	ISSUED FOR DA	CLIENT	Drawn: N	Date: 15/2/2023	Drawing Number: A 10 of A 12	Job No.: ACP-121-22
FD-A	08/02/23	ISSUED FOR COMMENT	CLIENT	Checked: XX	Scale: AS SHOWN	PAGE SIZE: A2	Stage / Revision: FD-B
Rev.	Date	Description	Issued To				

CLIENT INITIALS:

INITIALS:



A-A

SECTION A-A
Scale 1:50

CBD
Architects

**CBD ARCHITECTS
PTY LTD**

1/338 Middleton Loop, ALBANY WA, 6330 & Suite 6, 1/310 Lord St, HIGHGATE WA, 6003
T: (08) 9842 1157 | E: admin@cbdarchitects.com.au | Registration #3378



Project:
PROPOSED FOUR STOREY
MIXED USE
Client:
LUKE BEUMONT
BARRETT

Address:
Lot 595 (#14) SILAS,
STREET

FD-B	15/02/23	ISSUED FOR DA	CLIENT	Drawn: N	Date: 15/2/2023	Drawing Number: A11 of A12	Job No.: ACP-121-22
FD-A	08/02/23	ISSUED FOR COMMENT	CLIENT	Checked: XX	Scale: AS SHOWN	PAGE SIZE: A2	Stage / Revision: FD-B
Rev.	Date	Description	Issued To				

© CBD Architects Pty Ltd 2021-2023 | www.cbdarchitects.com.au

CLIENT INITIALS:

INITIALS:



NOTE: RENDERERS FOR ILLUSTRATION PURPOSES ONLY. NOT TO INFORM CONSTRUCTION.

CBD
Architects

**CBD ARCHITECTS
PTY LTD**

1/338 Middleton Loop, ALBANY WA, 6330 & Suite 6, 1/310 Lord St, HIGHGATE WA, 6003
T: (08) 9842 1157 | E: admin@cbdarchitects.com.au | Registration #3378



Project:
**PROPOSED FOUR STOREY
MIXED USE**
Client:
**LUKE BEUMONT
BARRETT**

Address:
**Lot 595 (#14) SILAS,
STREET**

FD-B	15/02/23	ISSUED FOR DA
FD-A	08/02/23	ISSUED FOR COMMENT
Rev.	Date	Description

CLIENT	Drawn: N	Date: 15/2/2023	Drawing Number: A 12 of A 12	Job No.: ACP-121-22
CLIENT	Checked: XX	Scale: AS SHOWN	PAGE SIZE: A2	Stage / Revision: FD-B
Issued To				