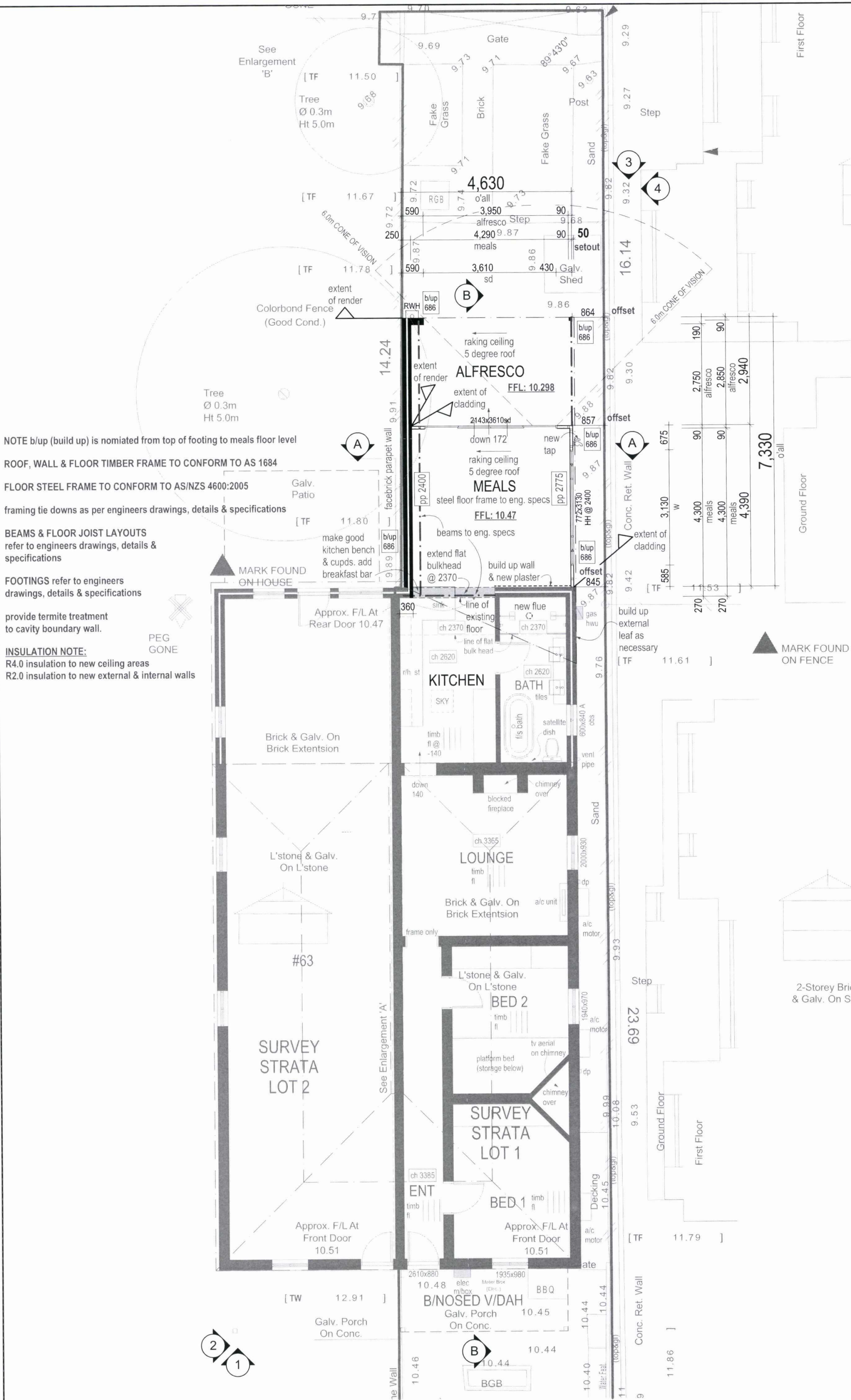




NOTE b/up (build up) is nominated from top of footing to meals floor level

ROOF, WALL & FLOOR TIMBER FRAME TO CONFORM TO AS 1684

FLOOR STEEL FRAME TO CONFORM TO AS/NZS 4600:2005

framing tie downs as per engineers drawings, details & specifications

BEAMS & FLOOR JOIST LAYOUTS
refer to engineers drawings, details & specifications

FOOTINGS refer to engineers drawings, details & specifications

provide termite treatment to cavity boundary wall.

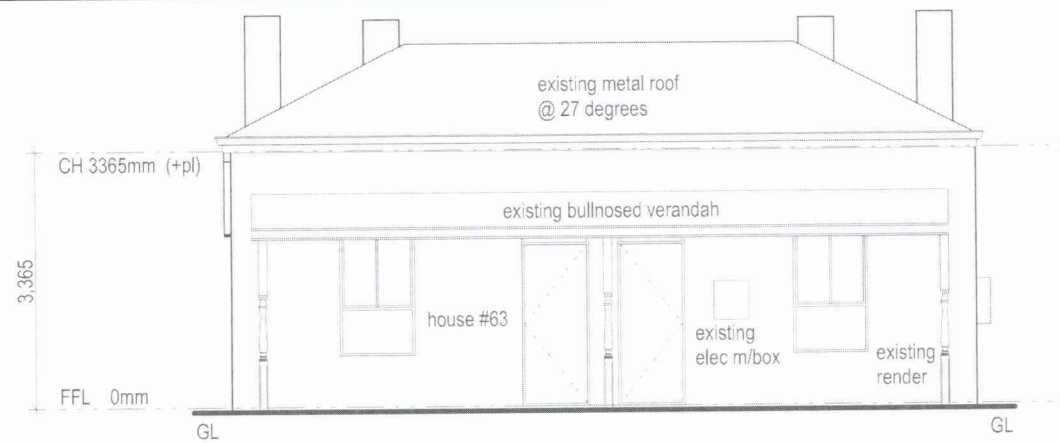
INSULATION NOTE:
R4.0 insulation to new ceiling areas
R2.0 insulation to new external & internal walls

PROPOSED FLOOR PLAN SCALE: 1:100

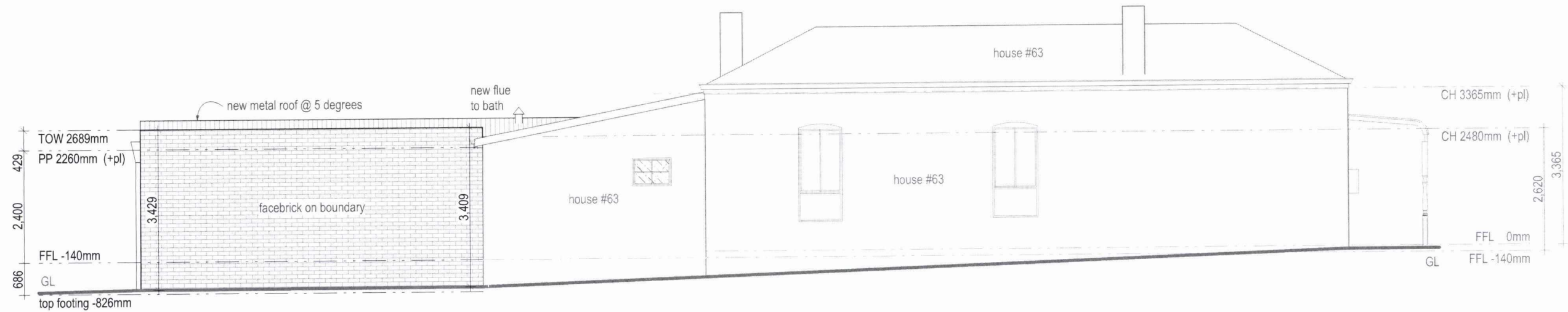
NAME: CHRIS DUNCAN

ADDRESS: 65 ALEXANDRA ROAD, EAST FREMANTLE, 6158

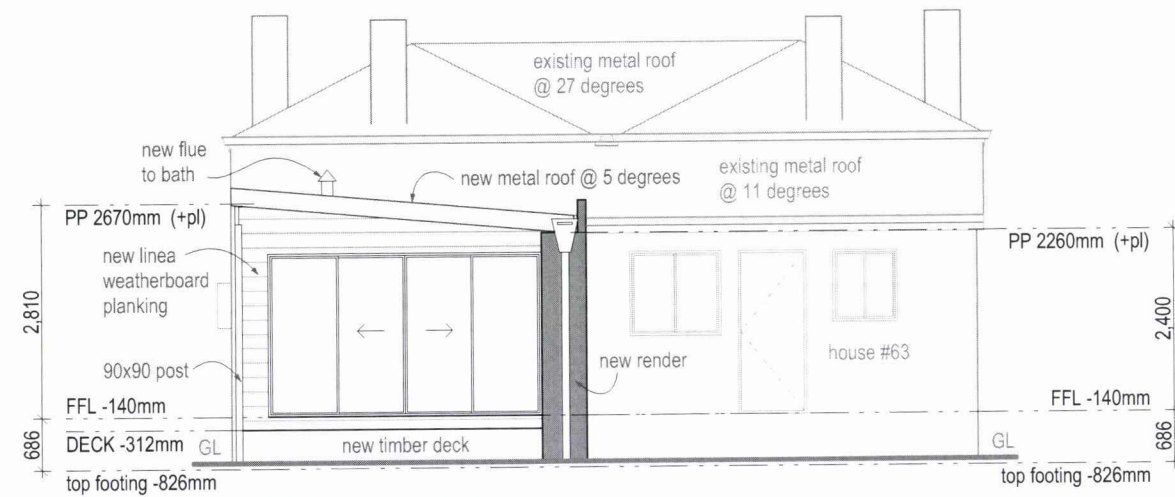
TOWN OF EAST FREMANTLE
PLANNING APPLICATION
No
07 DEC 2020 P 145 - 20
RECEIVED



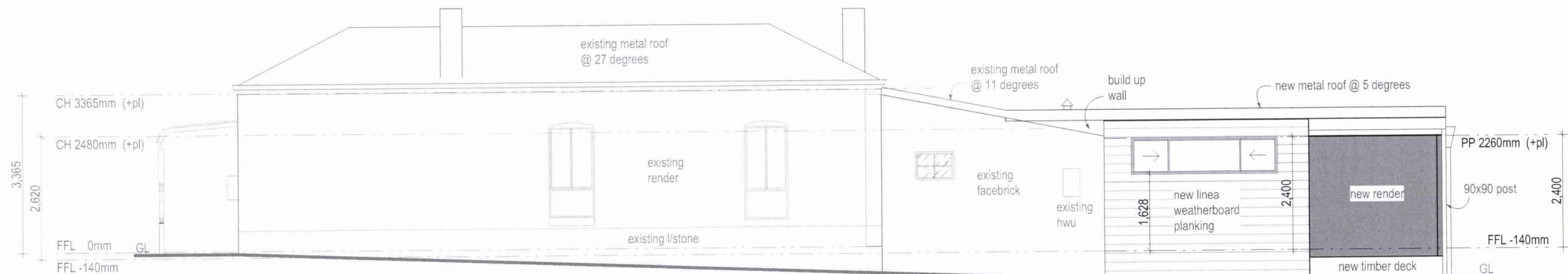
EAST ELEVATION 1



SOUTH ELEVATION 2



WEST ELEVATION 3



NORTH ELEVATION 4



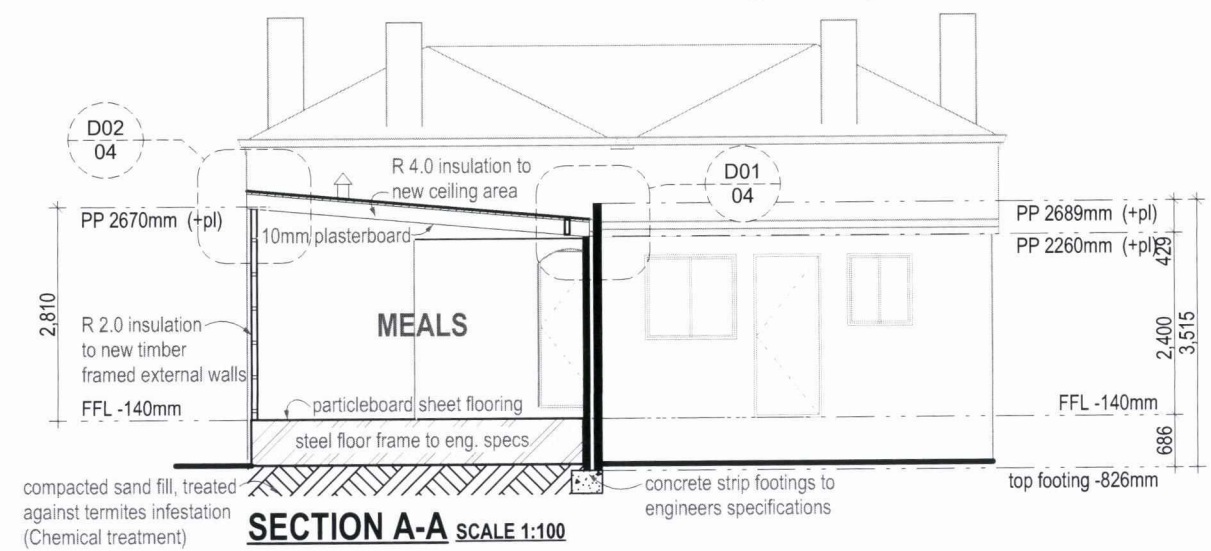
ELEVATIONS SCALE: 1:100

NAME: CHRIS DUNCAN

ADDRESS: 65 ALEXANDRA ROAD, EAST FREMANTLE, 6158

ROOF, WALL & FLOOR TIMBER FRAME TO CONFORM TO AS 1684
FLOOR STEEL FRAME TO CONFORM TO AS/NZS 4600:2005
framing tie downs as per engineers drawings, details & specifications

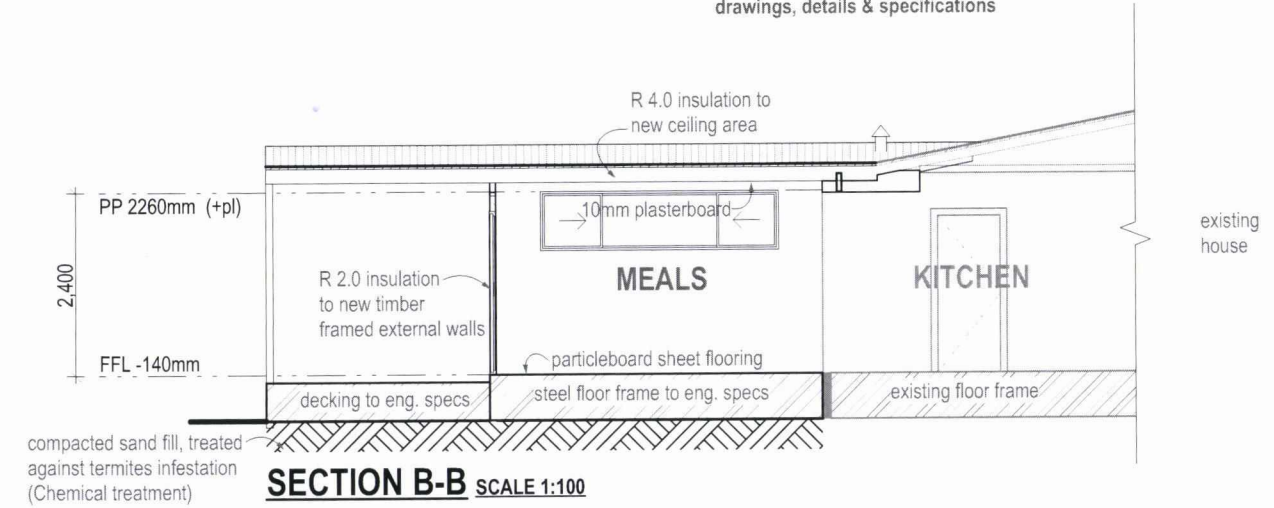
BEAMS & FLOOR JOIST LAYOUTS
refer to engineers drawings, details & specifications
FOOTINGS refer to engineers drawings, details & specifications



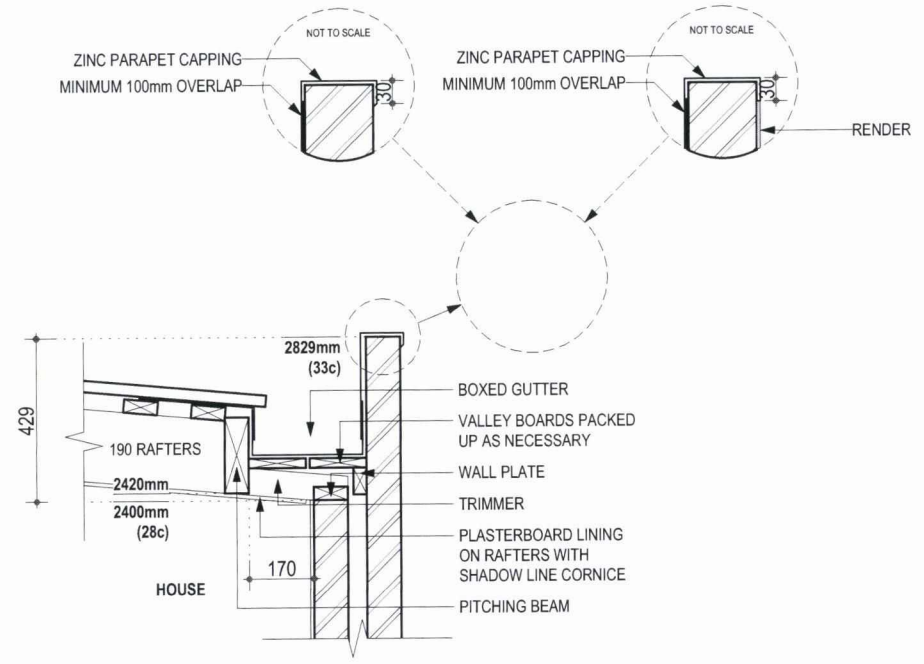
SECTION A-A SCALE 1:100

ROOF, WALL & FLOOR TIMBER FRAME TO CONFORM TO AS 1684
FLOOR STEEL FRAME TO CONFORM TO AS/NZS 4600:2005
framing tie downs as per engineers drawings, details & specifications

BEAMS & FLOOR JOIST LAYOUTS
refer to engineers drawings, details & specifications
FOOTINGS refer to engineers drawings, details & specifications

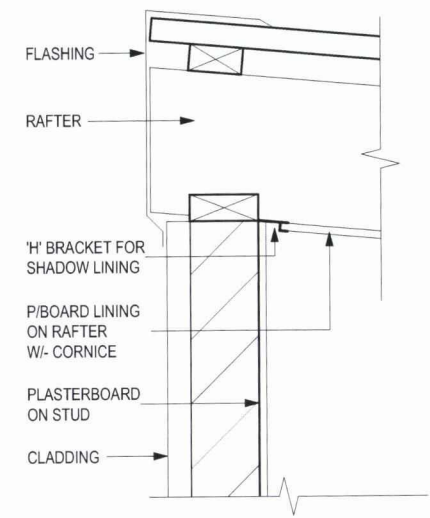


SECTION B-B SCALE 1:100



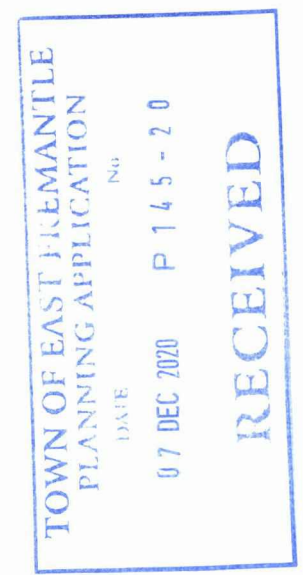
D01 - PARAPET WALL BOX GUTTER DETAIL

NOTES:
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- WALL THICKNESS & FINISH NOT SHOWN FOR CLARITY. REFER TO PLANS
- TIMBER ROOF CONSTRUCTED IN ACCORDANCE TO AS. 1684
- BOX GUTTER TO BE INSTALLED AS PER BCA
- BOX GUTTER & RWP'S COMPLY W/- BCA
- SCALE 1 : 20



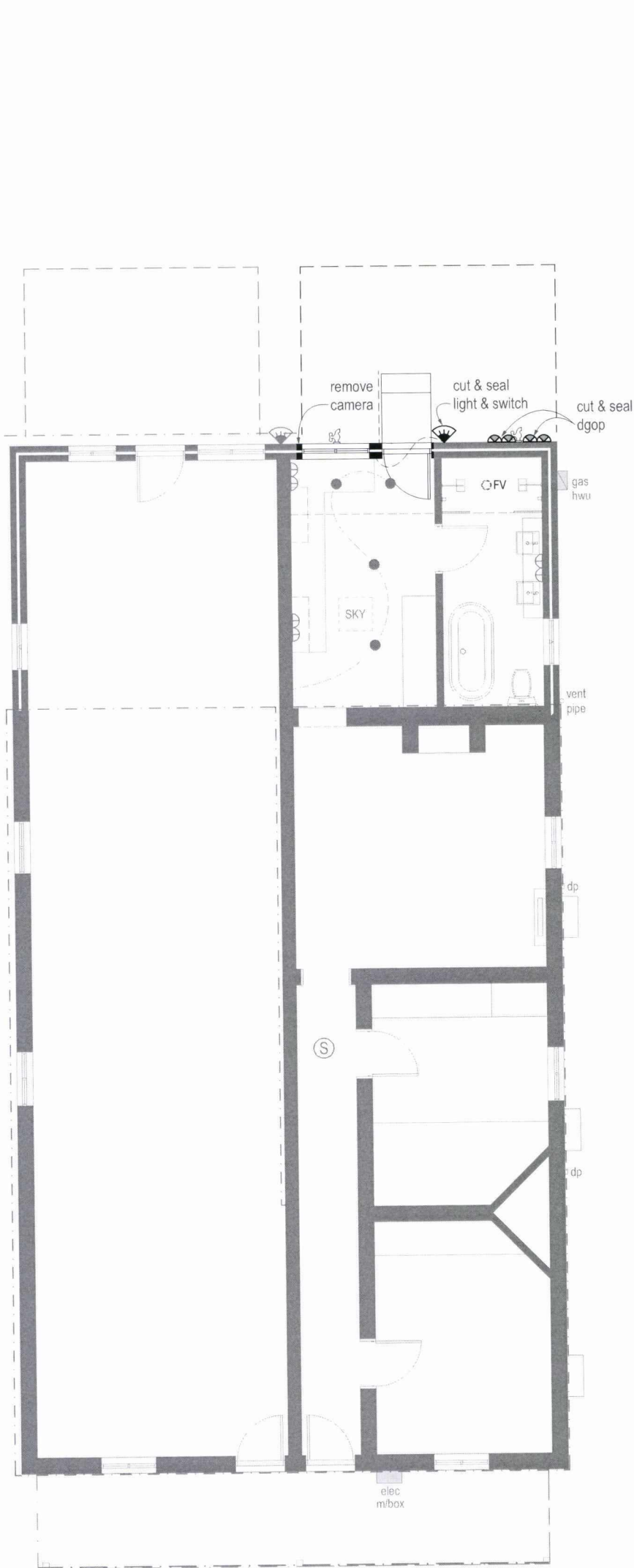
D02 - RAKING CEILING W/- SHADOW LINING

NOTES:
- REFER TO ENGINEERS DRAWINGS FOR TIE DOWN DETAILS & BULKHEAD DETAILS
- TIMBER ROOF CONSTRUCTED IN ACCORDANCE TO AS. 1684
- SCALE 1 : 10

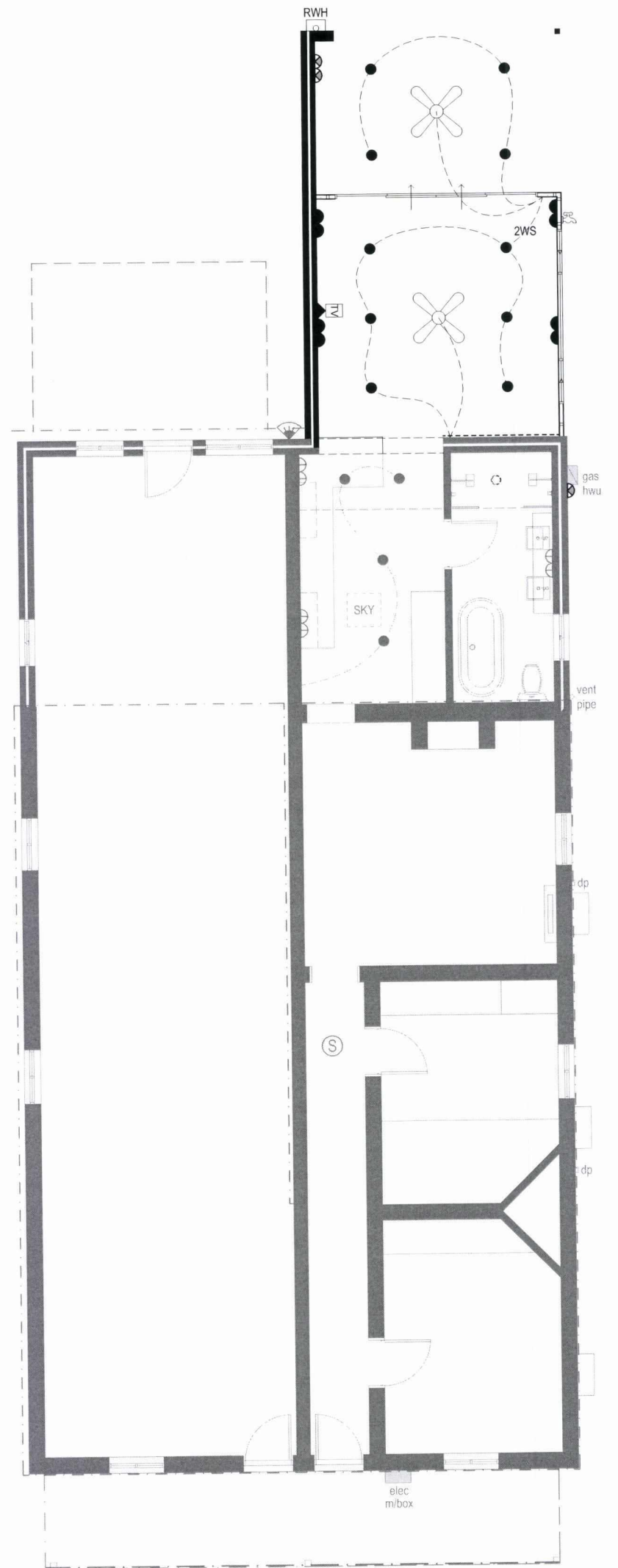


SECTION & DETAILS

NAME: CHRIS DUNCAN
ADDRESS: 65 ALEXANDRA ROAD, EAST FREMANTLE, 6158



CUT & SEAL ELECTRICAL LAYOUT



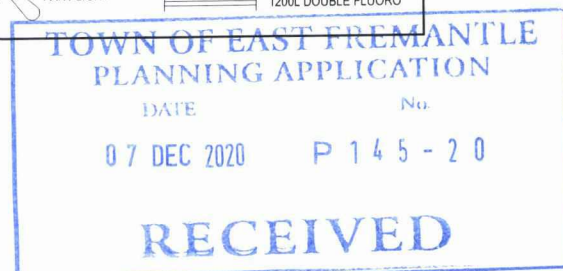
ELECTRICAL LAYOUT

ELECTRICAL LEGEND			
DOUBLE GPO 1050 AFL	PHONE POINT 1050 AFL	CEILING LIGHT	4xHEAT/FAN/LIGHT COMB.
DOUBLE GPO 300 AFL	TV POINT 300 AFL	WALL LIGHT 1800 AFL	2xHEAT/FAN/LIGHT COMB.
DOUBLE GPO W/PROOF 1050 AFL	DATA POINT 300 AFL	RECESSED LED DOWNLIGHT	CEILING SWEEP FAN
SINGLE GPO 1050 AFL	USB POINT 300 AFL	RECESSED DOWNLIGHT	CEILING SWEEP FAN / LIGHT
SINGLE GPO 300 AFL	CONDUIT	PENDANT LIGHT	GAS NEGUS BAYONET PT. W VENTS ABOVE & BELOW
SINGLE GPO W/PROOF 1050 AFL	SINGLE 15AMP GPO	HARDWIRED SMOKE ALARM	2WS TWO WAY SWITCH
QUAD GPO 1050 AFL	BLANK PLATE/ISO SWITCH/ SWITCHED GPO	EXHAUST FAN	3WS THREE WAY SWITCH
			DS DIMMER SWITCH
			STAR LIGHT
			600L DOUBLE FLUORO
			1200L DOUBLE FLUORO

ELECTRICAL PLANS SCALE 1:100

NAME: CHRIS DUNCAN

ADDRESS: 65 ALEXANDRA ROAD, EAST FREMANTLE, 6158



Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

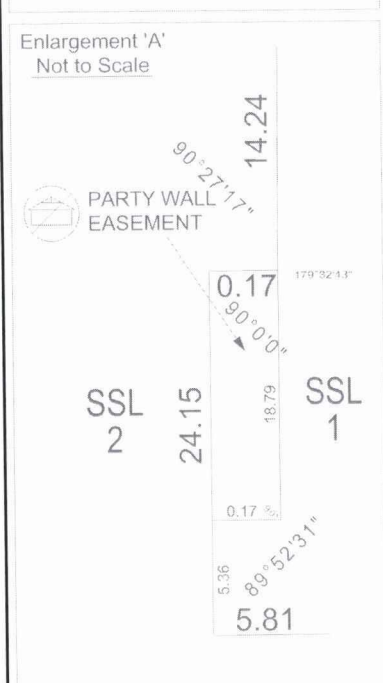
location verified in relation to the true boundary.
DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any

DISCLAIMER:
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

A DISCLAIMER: The information supplied by Water Corporation. Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after demolition, shall be to be repugged and exact offsets provided to your designer/architect for any plans to be produced and before any work is started on site.

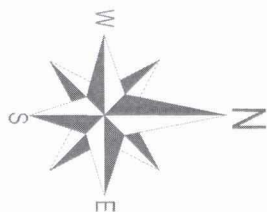
⚠ WARNING:
Check developer/strata company regarding possible future/existing internal service run ins, positions & details. Check for possible private sewer lines & position & details of connection to strata lot. Beware possible building restrictions on strata lot by management statement or by-laws. If strata boundaries not defined on plan only parent lot may be re-peppered and line pegs placed.

Enlargement 'B'
Not to Scale



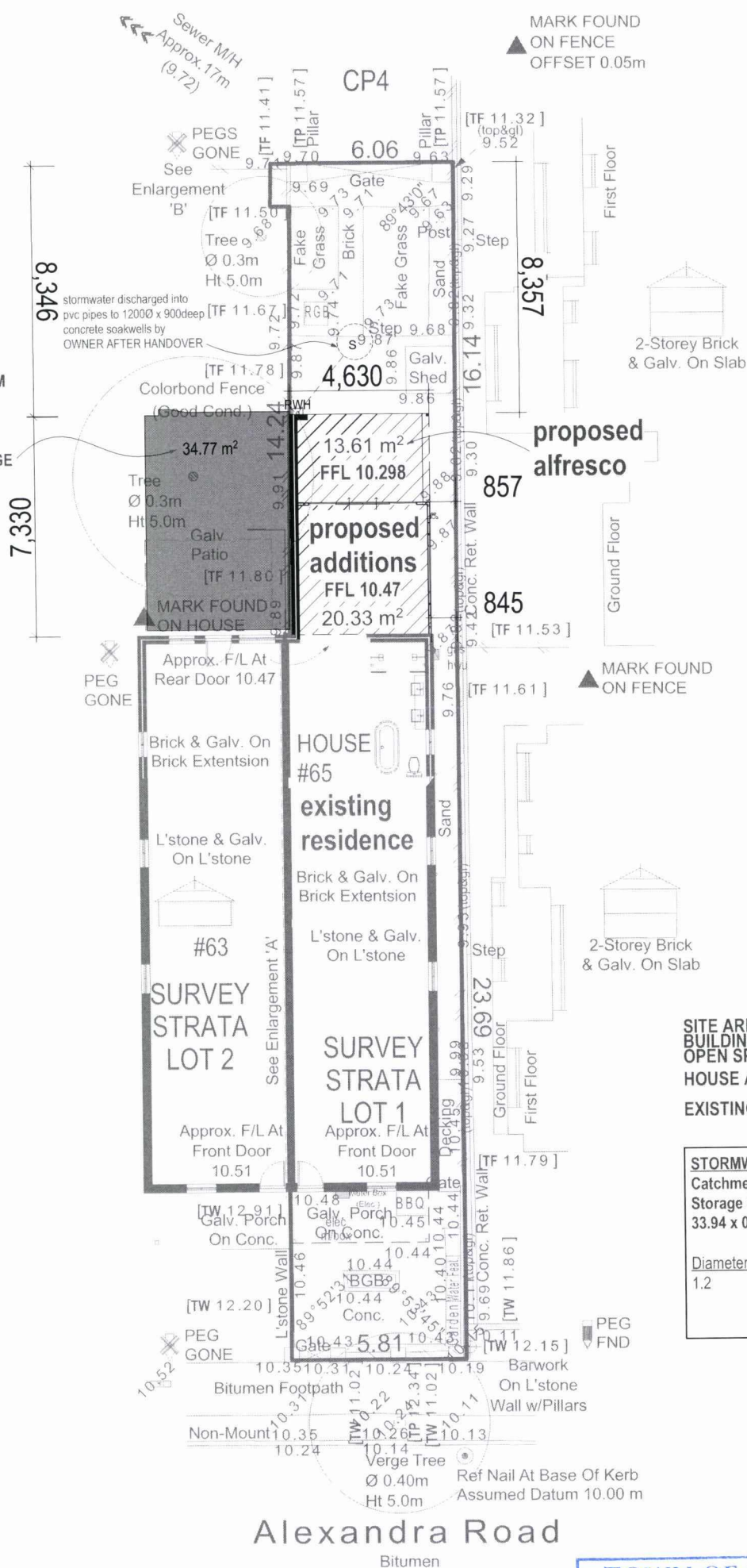
SOIL DESCRIPTION
Sand
Refer to Survey

Scale 1:200



AREA OF SHADOW CAST FROM
PROPOSED ADDITIONS ON
THE 21st OF JUNE @ MIDDAY

EXPRESSED AS A PERCENTAGE
= 17%



SITE AREA	226.00 m ²
BUILDING AREA	111.53 m ²
OPEN SPACE	50.65 %
HOUSE AREA	20.33 m ²
EXISTING HOUSE AREA	91.20 m ²

STORMWATER DRAINAGE CALCULATIONS

Catchment Area: 33.94
 Storage Capacity Required =
 33.94 x 0.0208 (1 in 20 year event) = 0.71m³

Diameter	Depth	Volume	Quantity	Capacity
1.2	0.9	1.02	1	0.71
TOTAL				0.71

TOWN OF EAST FREMANTLE
PLANNING APPLICATION

DATE _____

No.

07 DEC 2020

P 145 - 20

RECEIVED

SITE PLAN SCALE 1:200

NAME: CHRIS DUNCAN

ADDRESS: 65 ALEXANDRA ROAD, EAST FREMANTLE, 6158