

PROPOSED ALTERATIONS AND ADDITIONS

DEVELOPMENT APPLICATION

FOR

VICKY & BEN ARNOLD

AT

LOT 283 (#88) HUBBLE STREET, EAST FREMANTLE

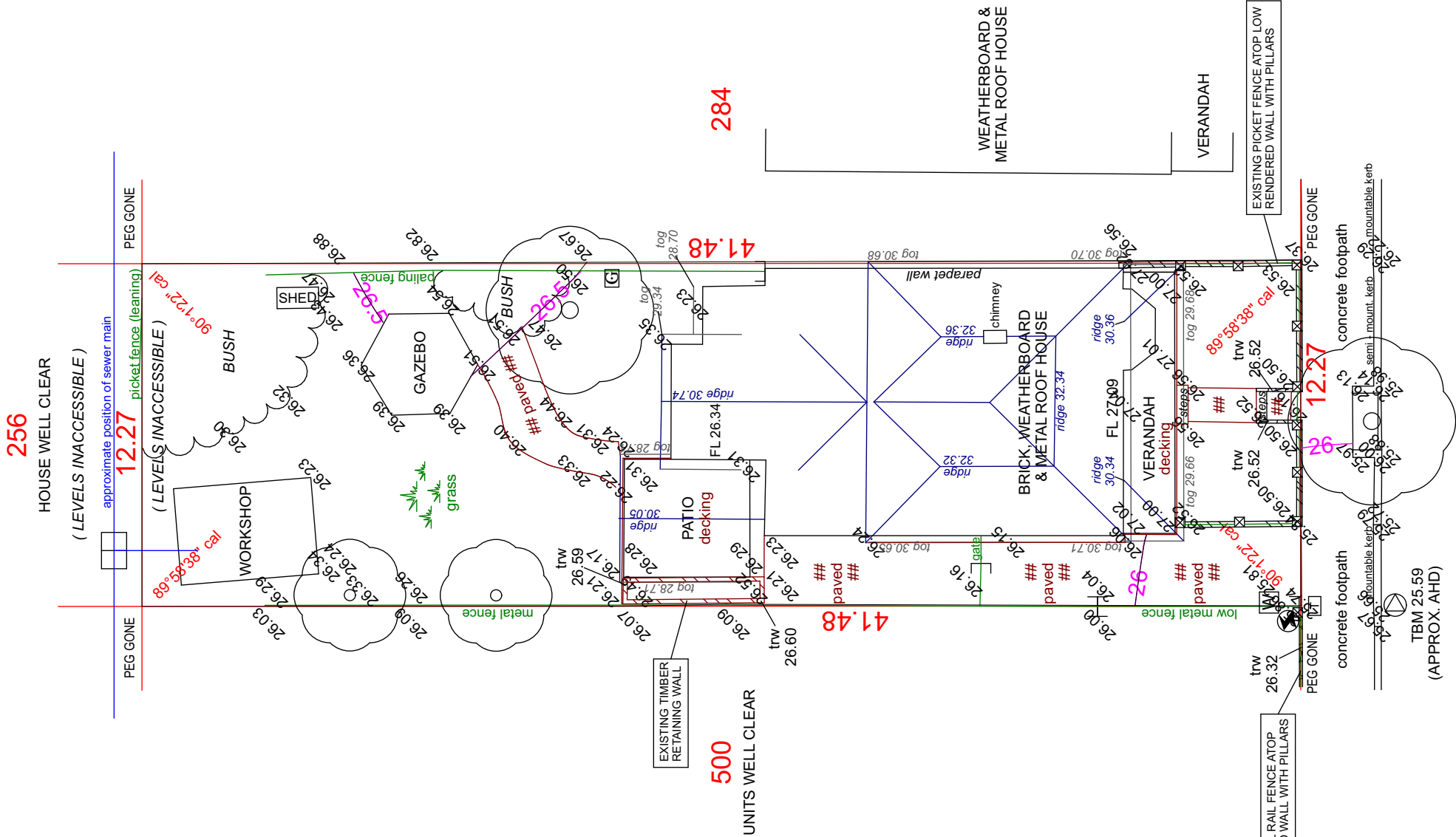


PAGE No	PAGE
A00	COVER SHEET
A01	EXISTING SITE PLAN
A02	EXISTING FLOOR PLAN
A03	EXISTING ELEVATIONS
A04	EXISTING ELEVATIONS
A05	SITE PLAN
A06	GROUND FLOOR PLAN
A07	FIRST FLOOR PLAN
A08	ELEVATIONS
A09	ELEVATIONS
A10	ELEVATIONS + SECTIONS

POSITION OF FEATURES HAVE BEEN SURVEYED
IN RELATION TO BOUNDARIES.
REPEG RECOMMENDED PRIOR TO CONSTRUCTION.

LOT No: 283

AREA : 508m²



HUBBLE STREET



AUSTRALIAN HEIGHT DATUM (AHD)
DERIVED FROM SEWER MANHOLE
0426 LID LEVEL.



SITE PLAN 1:200 at A3



R. G. LESTER & ASSOCIATES LICENSED LAND & ENGINEERING SURVEYORS NORTH BEACH PLAZA SHOP 7 / 1 NORTH BEACH ROAD NORTH BEACH WA 6020 PH: 9448 5009 FX: 9203 6722 admin@lestersurveys.com.au				TITLE DETAILS				NOTES				DESIGNER: DALECKI DESIGN			
LOT NOS: 283				C/T VOL: 1628				Block located about 1800m from the ocean.				CLIENT / S:			
Plan: 1432				FOL: 964				Block located about 800m from harbour.				SITE ADDRESS:			
LEGEND				WITNESS				Local Authority : TOWN OF EAST FREMANTLE				SHEET No : 1 of 1			
☒ NBN	☒ TELECOM PIT	☒ POWER DOME	☒ POWER POLE	☒ FENCE END	☒ PILLAR	☒ TOP OF GUTTER	☒ TOP OF RETAINING WALL	☒ TREE	☒ PALM TREE	☒ TREE STUMP	☒ STREET LAMP	☒ GRATED DRAIN	☒ SIDE ENTRY PIT	☒ DRAINAGE MANHOLE	☒ INSPECTION LID
☒ GAS	☒ HYDRANT	☒ STOP VALVE	☒ PRE-LAID WATER PIPE	☒ WATER METER	☒ IRRIGATION	☒ SEWERAGE MANHOLE	☒ SEWERAGE INSPECTION LID	☒ SIGNED	☒ BUILDER	☒ WITNESS	☒ DATE	☒ DWN.	☒ DATE	☒ CHK.	☒ VARIATIONS [all sheets]
REPEGE: REQUIRED				REPEGE TYPE: OLD SURVEY AREA				JOB No: 70536							

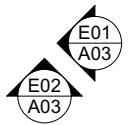
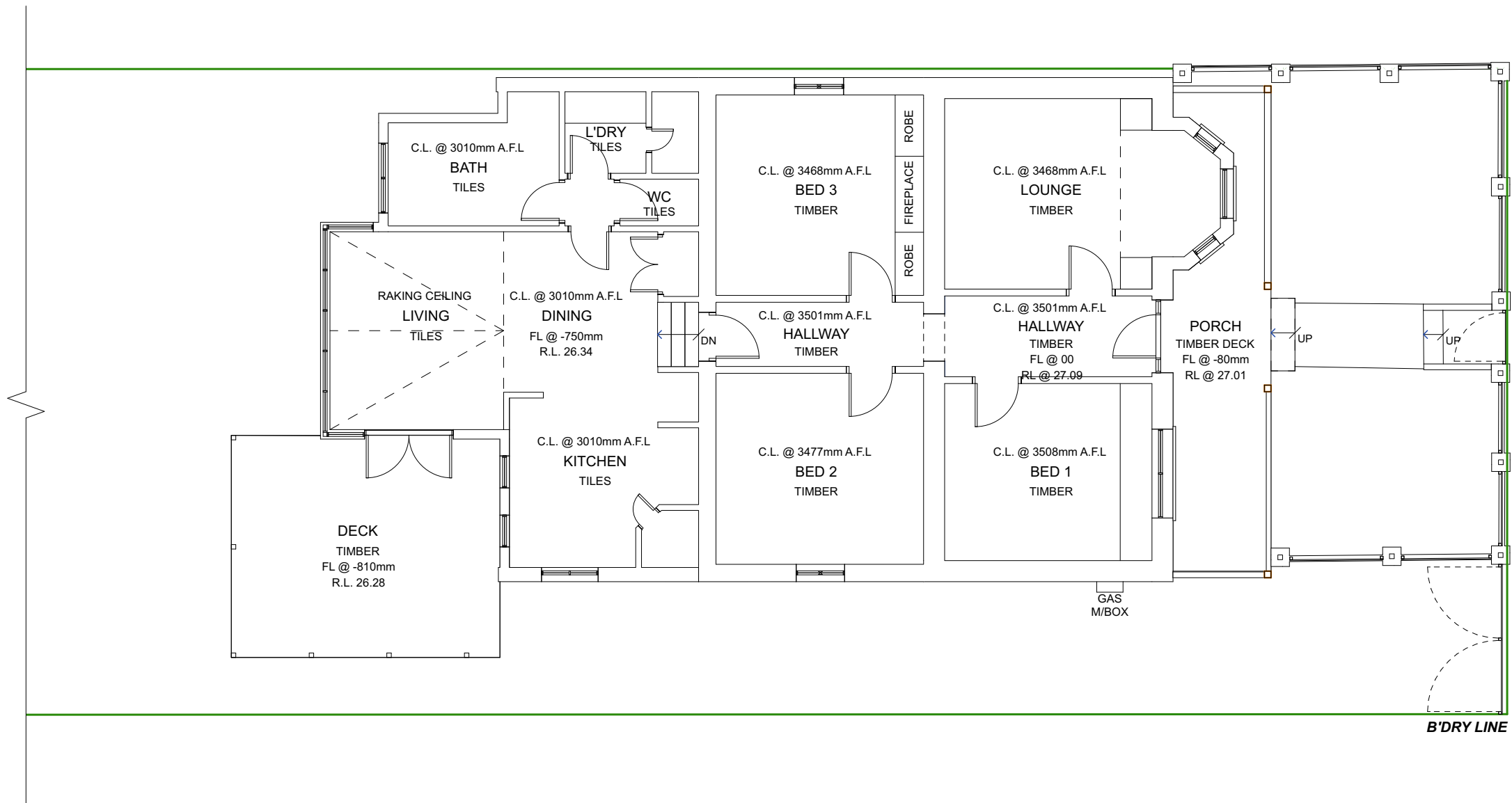
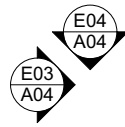
IMPORTANT NOTE:
Check title for easements, caveats & covenants.
Prior to any excavation, construction or demolition
plumbing contractors to confirm sewer depths before pipe laying. All sewer details plotted
from information supplied by Water Corporation Spatial Information Management.
Refer to the disclaimer note on Water Corp E-PLAN.

REF NO: 70536 FILE NO: 5131 DATE: 27.11.20 DRAWN: AC

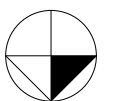
SURVEYOR SITE INSPECTION REPORT

ELECTRICITY: UNDERGROUND	GAS: YES
PHONE: YES	WATER: YES (LHS)
SEWERAGE: YES (NO JUNCTION TO LOT)	
ROAD: BITUMEN	
KERB: MOUNTABLE (cracked) / SEMI MOUNTABLE (cracked)	
FOOTPATH: CONCRETE (cracked)	
VEGETATION: ESTABLISHED GARDENS & TREES, THICK BUSH	
SOIL: SAND & POSSIBLE LIMESTONE AT DEPTH	
VIEWS: NIL	
REPEG: REQUIRED	REPEG TYPE: OLD SURVEY AREA

Y:170536HUBBLE.SKf



EXISTING FLOOR AREAS	
EXISTING ALFRESCO	21.29
EXISTING PORCH	15.20
EXISTING RESIDENCE	144.14
TOTAL EXISTING AREAS	180.63 m²

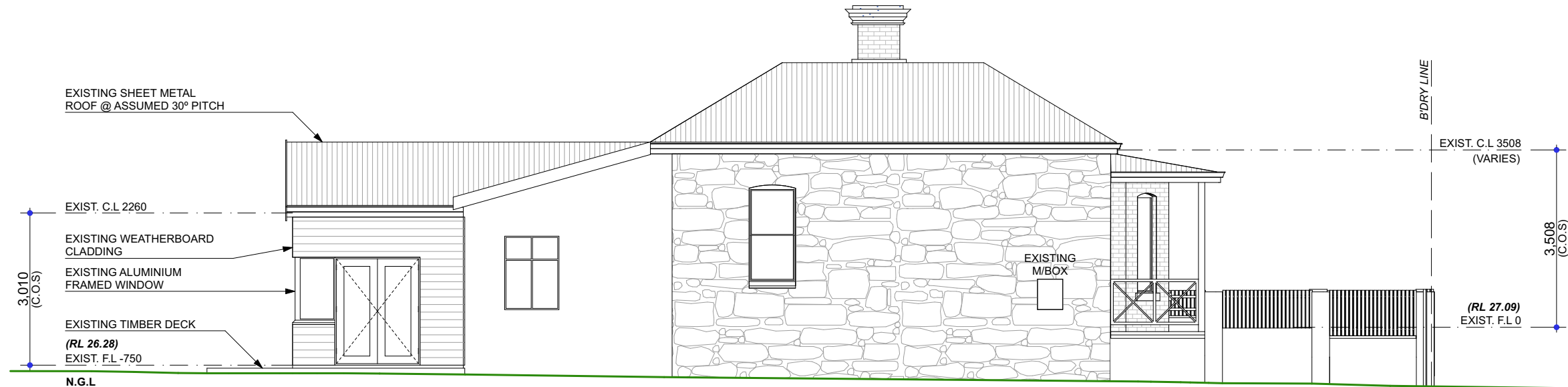




E01
A02 **EXISTING ELEVATION 01 - WEST**
1:100



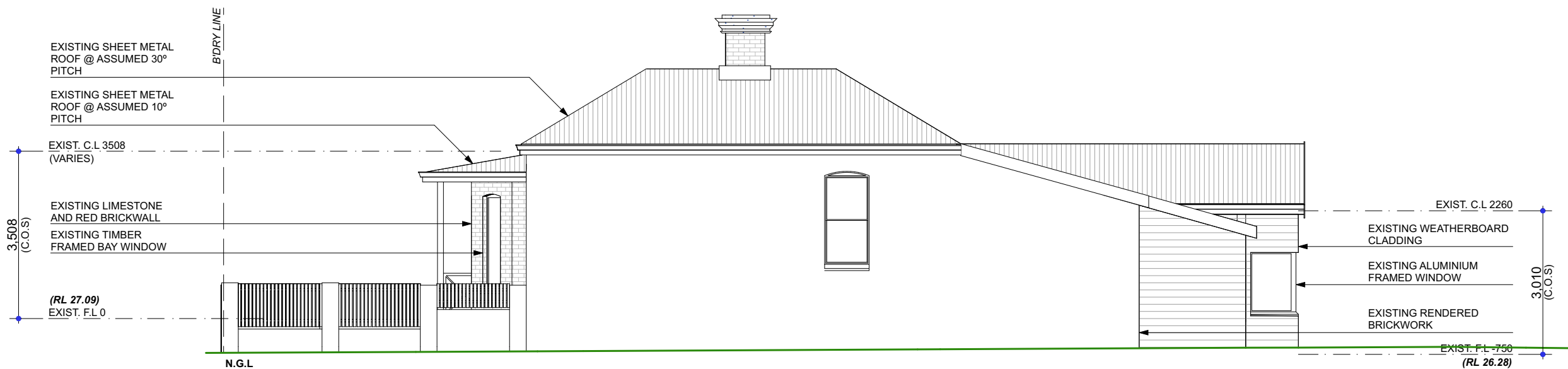
E05 **EXISTING STREETSCAPE ELEVATION**
1:100



E02
A02 **EXISTING ELEVATION 02 - NORTH**
1:100



E03
A02 **EXISTING ELEVATION 03 - EAST** 1:100



E04
A02 **EXISTING ELEVATION 04 - SOUTH** 1:100

SITE AREAS:			
TOTAL LOT AREA	508m ²		
BUILDING AREA (SITE COVER)	243m ²	47%	
OPEN SPACE	265m ²	53%	

SHADOW AREAS :			
NEIGHBOURS LOT AREA (APPROX.)	509m ²		
SHADOW CAST (BY PROPOSED RESIDENCE)	195m ²		
TOTAL SHADED AREA (OF NEIGHBOURING BLOCK)	38%		

SHADOW FOR WINTER SUN @ 34°
SHOWN DASHED CAST BY EXISTING
RESIDENCE - SHOWN SHADED

SHADOW FOR WINTER SUN @ 34°
SHOWN DASHED CAST BY PROPOSED
RESIDENCE

EXISTING TREE TO BE REMOVED

EXISTING FENCE TO BE REPLACED

PARAPET WALL SET 55mm OFF
BOUNDARY

EXISTING FENCE TO BE REPLACED

EXISTING WORKSHOP TO BE
DEMOLISHED

1200H POOL SAFE FENCE

EXISTING FENCE TO BE RESRPAYED

EXISTING TREES TO BE REMOVED

APPROX LOCATION OF
NEIGHBOURING RAISED DECK
AREA (OUTDOOR LIVING)

284
WEATHERBOARD &
METAL ROOF HOUSE

VERANDAH

EXISTING PICKET FENCE ATOP LOW
RENDERED WALL WITH PILLARS

PORTION OF ADDITIONS TO UTILISE
EXISTING PARAPET WALL

PROPOSED
ADDITIONS

GAMES
CONC. @ 00
F.L. 26.59

ALFRESCO
PAVED @ 00
F.L. 26.59

STORE
CONC. @ -250
F.L. 26.34

POOL

BIN
STORE

DRY
COURT
PAVED
R.L. 26.24

PORTION OF EXISTING RESIDENCE TO
BE DEMOLISHED SHOWN RED DASHED

EXTENT OF UPPER FLOOR SHOWN
HATCHED

HUBBLE STREET

SMH
16.64

GROUND FLOOR AREAS	
ADDITIONS ALFRESCO	25.63
ADDITIONS GAMES	35.53
ADDITIONS GROUND FLOOR	93.04
ADDITIONS STORE	9.34
EXISTING GROUND FLOOR	89.13
EXISTING PORCH	15.20
TOTAL GROUND FLOOR AREAS	267.87 m²

FIRST FLOOR AREAS	
ADDITIONS FIRST FLOOR	70.49
TOTAL FIRST FLOOR AREAS	70.49 m²

TOTAL LIVING AREAS	288.19 m²
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TOTAL BUILDING AREAS	338.36 m²
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JOB NO.: 204-20
REV: DD-03
DRAWN: SR
SCALE @ A3: 1:200



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A05
OF A 10

DALECKI DESIGN

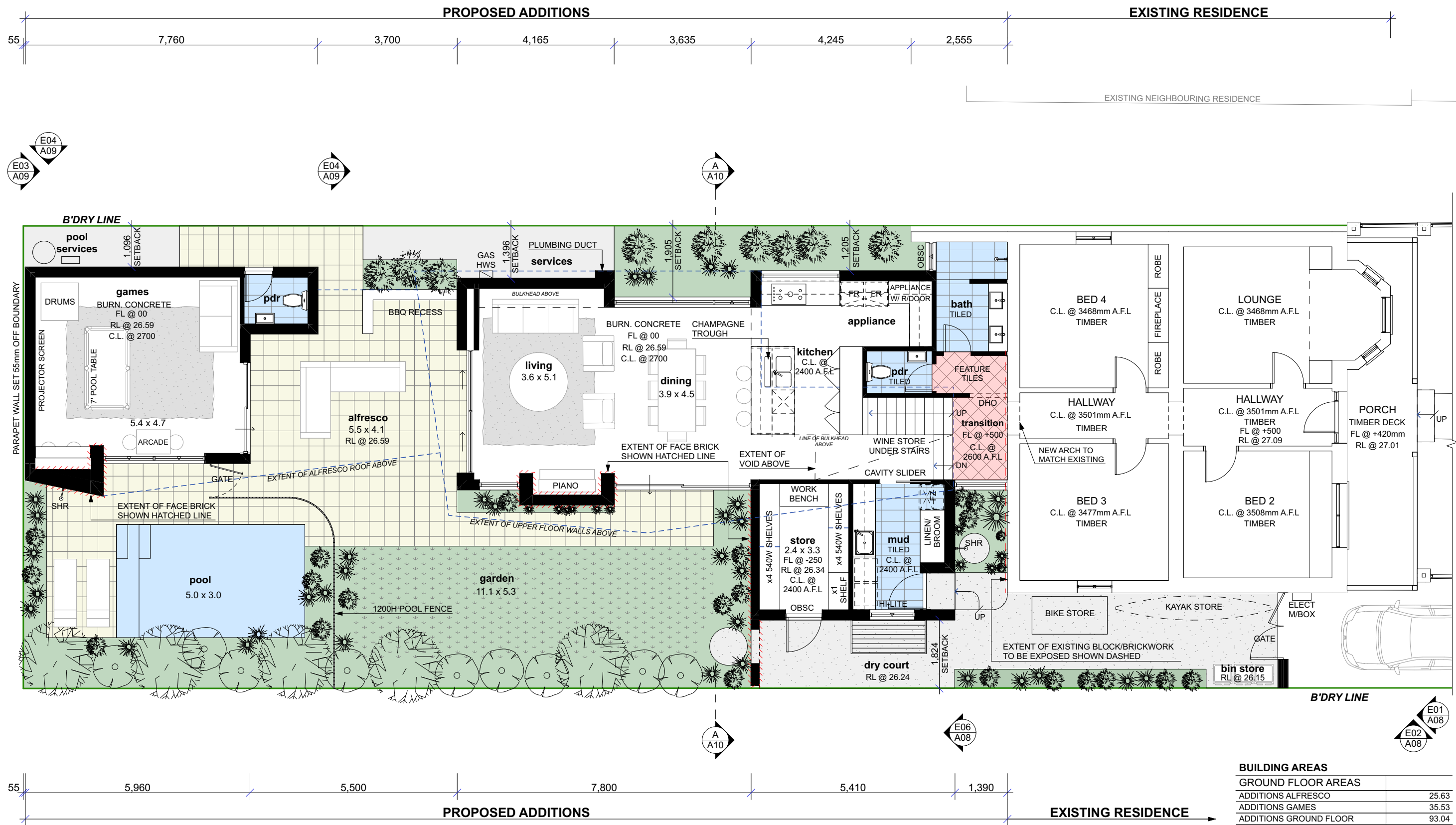
VICKY & BEN ARNOLD
LOT 283 (#88) HUBBLE STREET,
EAST FREMANTLE

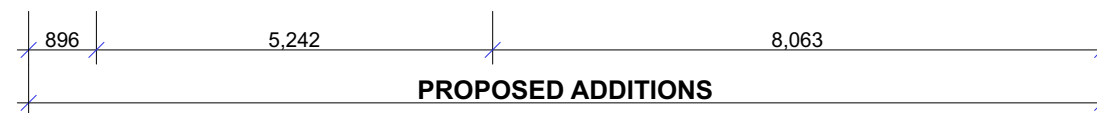
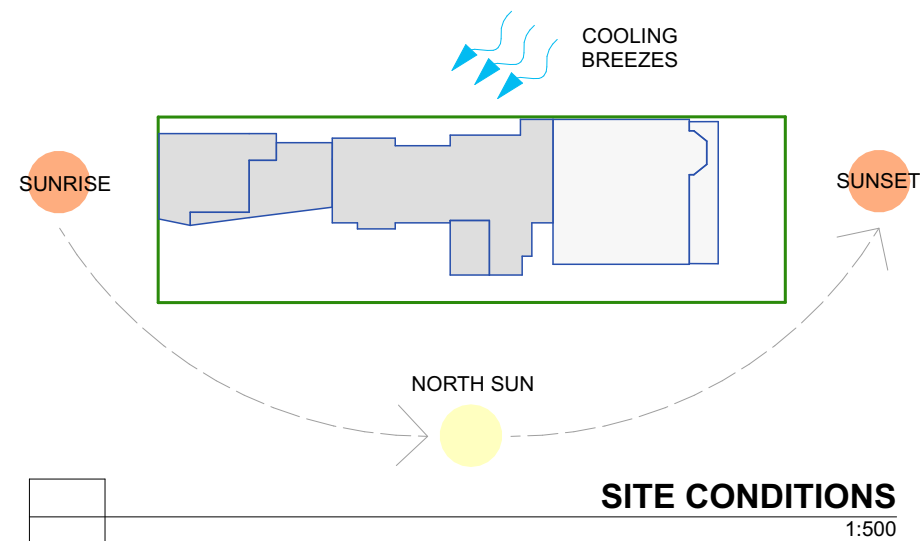
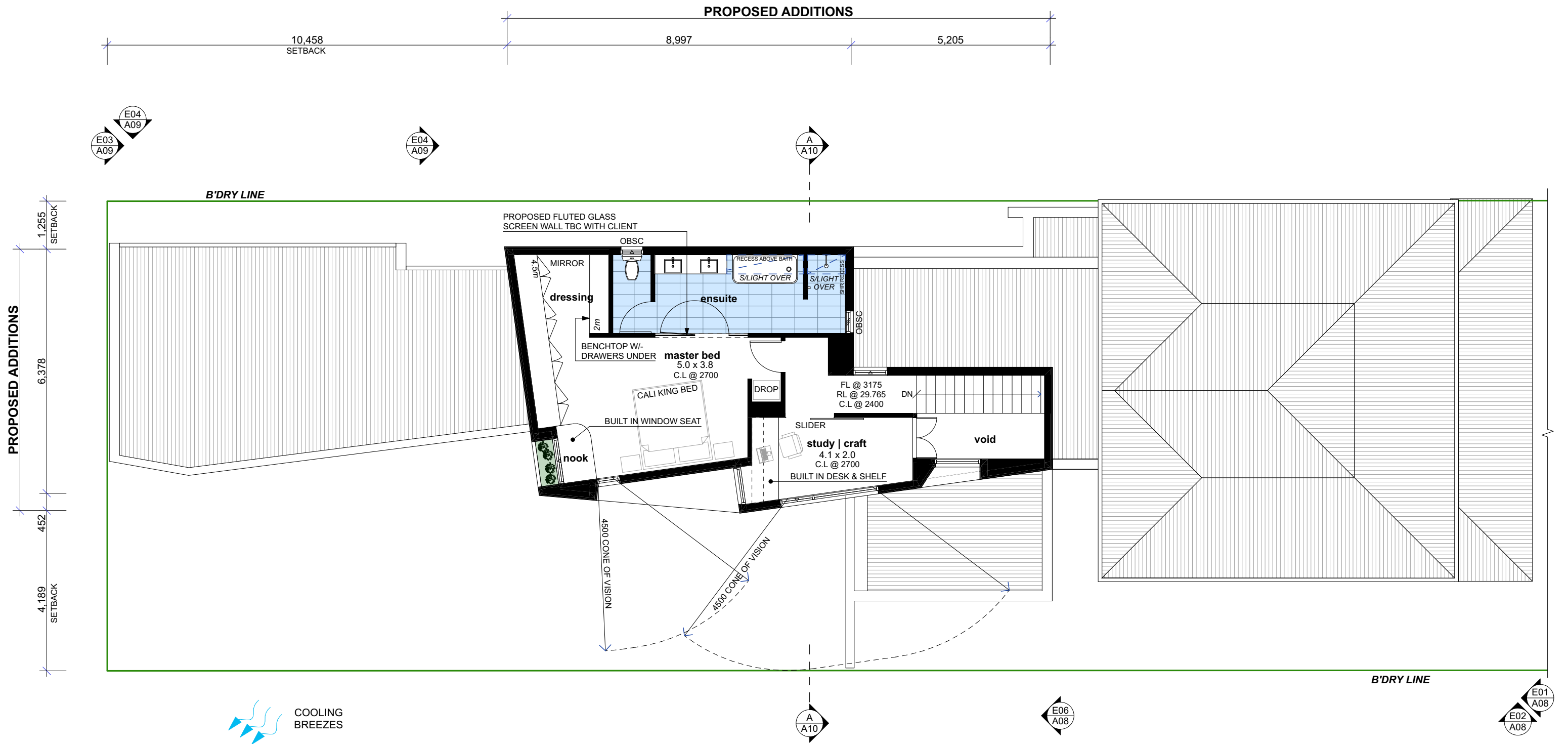
SITE PLAN

REV. DD-03 DESCRIPTION APPLICATION FOR DEVELOPMENT APPROVAL

DATE 06/09/21







BUILDING AREAS	
GROUND FLOOR AREAS	
ADDITIONS ALFRESCO	25.63
ADDITIONS GAMES	35.53
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DALECKIDESIGN

VICKY & BEN ARNOLD
LOT 283 (#88) HUBBLE STREET,
EAST FREMANTLE

FIRST FLOOR PLAN

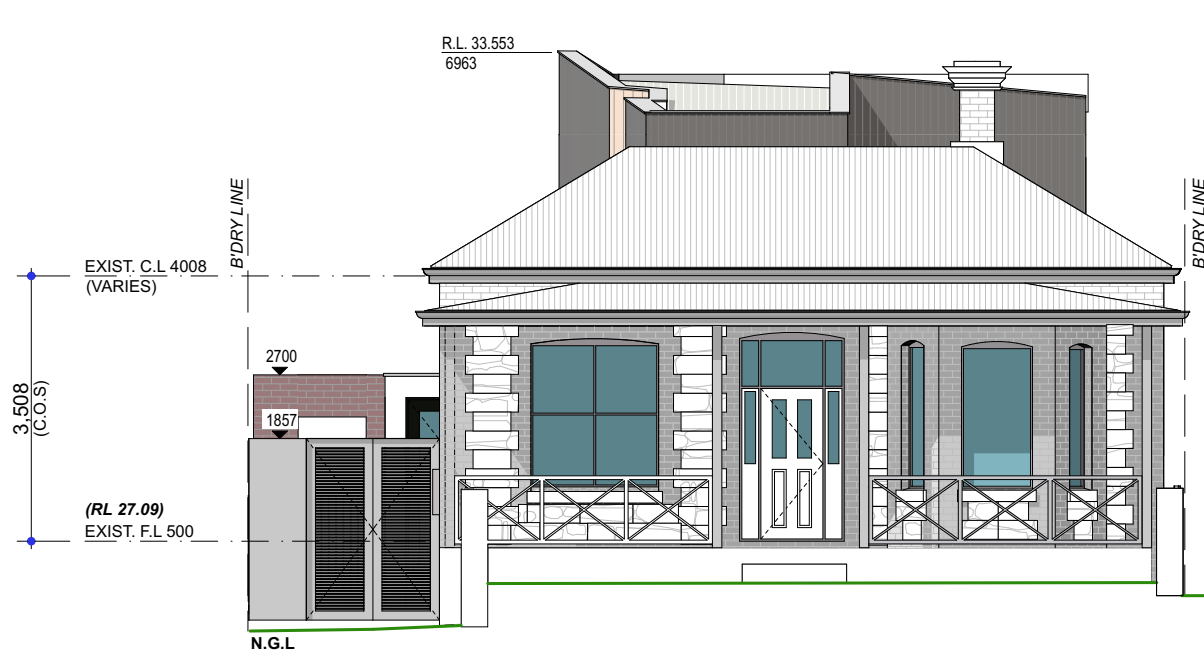
REV. DD-03 DESCRIPTION APPLICATION FOR DEVELOPMENT APPROVAL

DATE 06/09/21

JOB NO.: 204-20
REV: DD-03
DRAWN: SR
SCALE @ A3: 1:100, 1:50



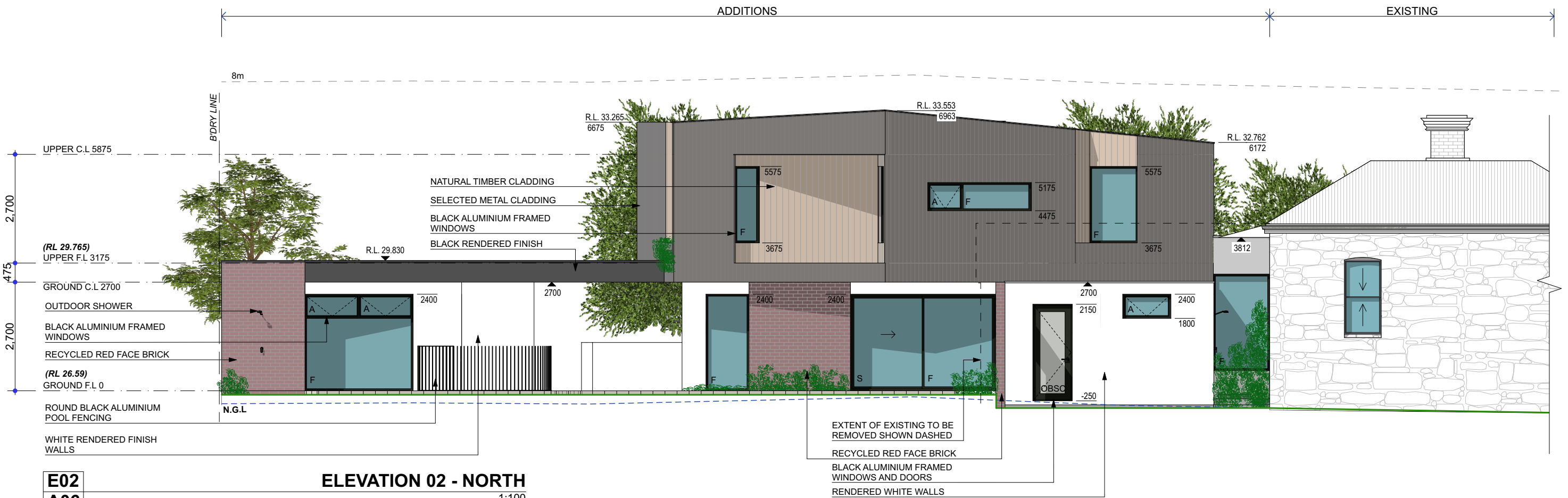
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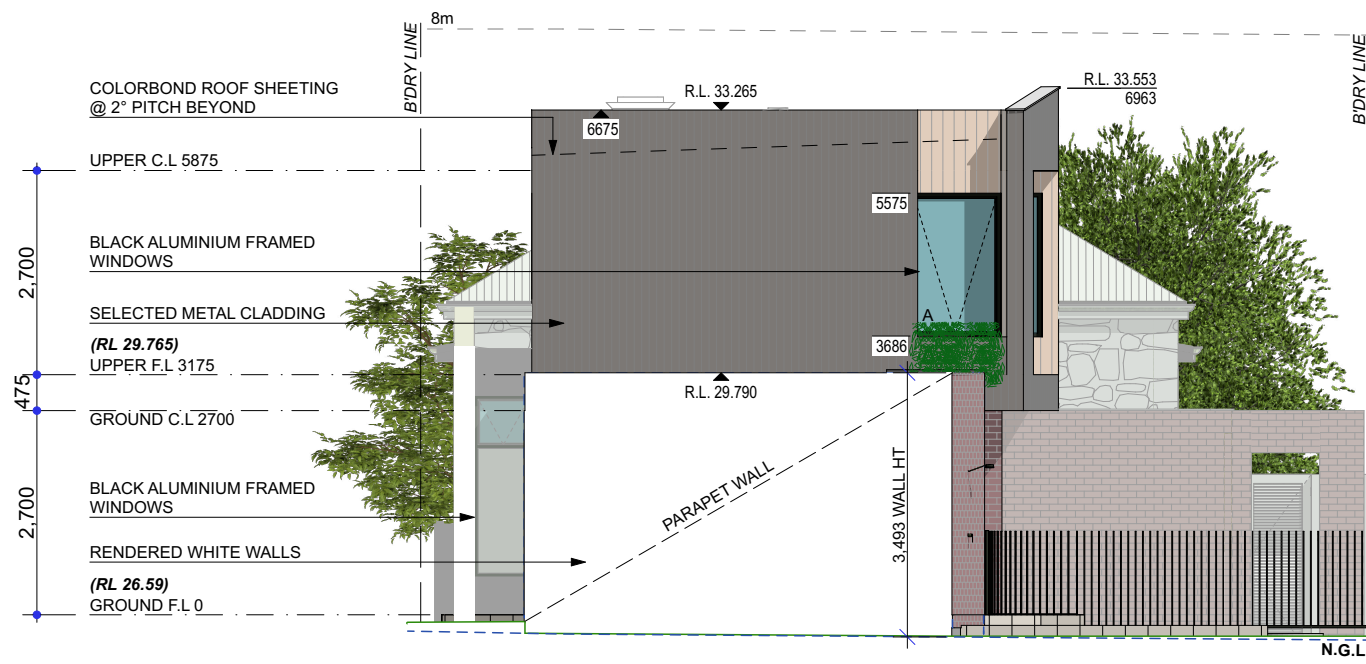
E01
A06 **ELEVATION 01 - WEST**
1:100



E06
A06 **ELEVATION 06 - WEST (NO EXISTING)**
1:100



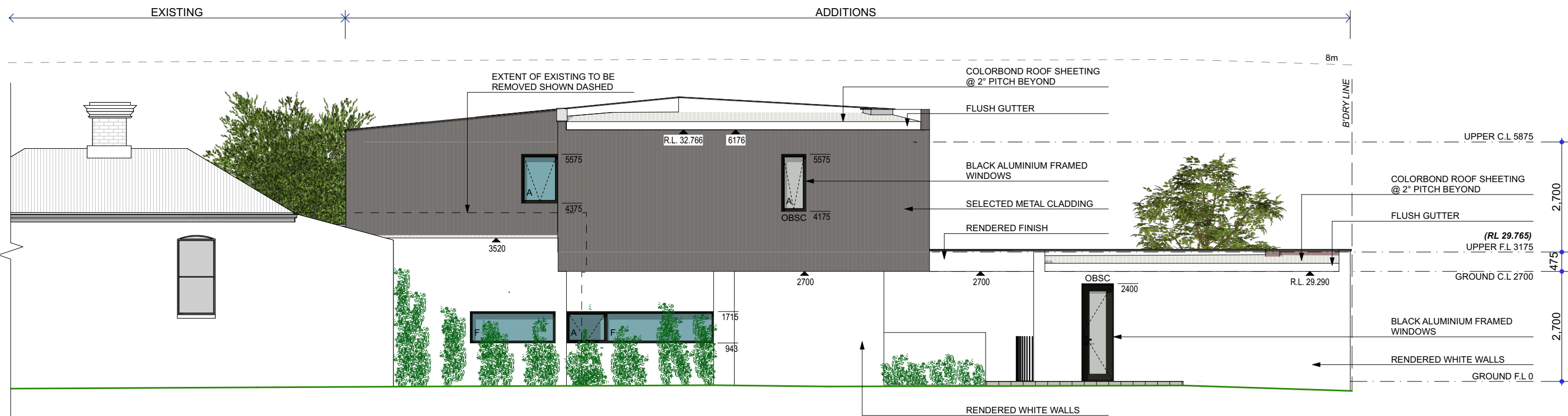
E02
A06 **ELEVATION 02 - NORTH**
1:100



E03
A06 **ELEVATION 03 - EAST**
1:100



E05
A06 **ELEVATION 05 - EAST (NO GAMES)**
1:100



E04
A06 **ELEVATION 04 - SOUTH**
1:100

