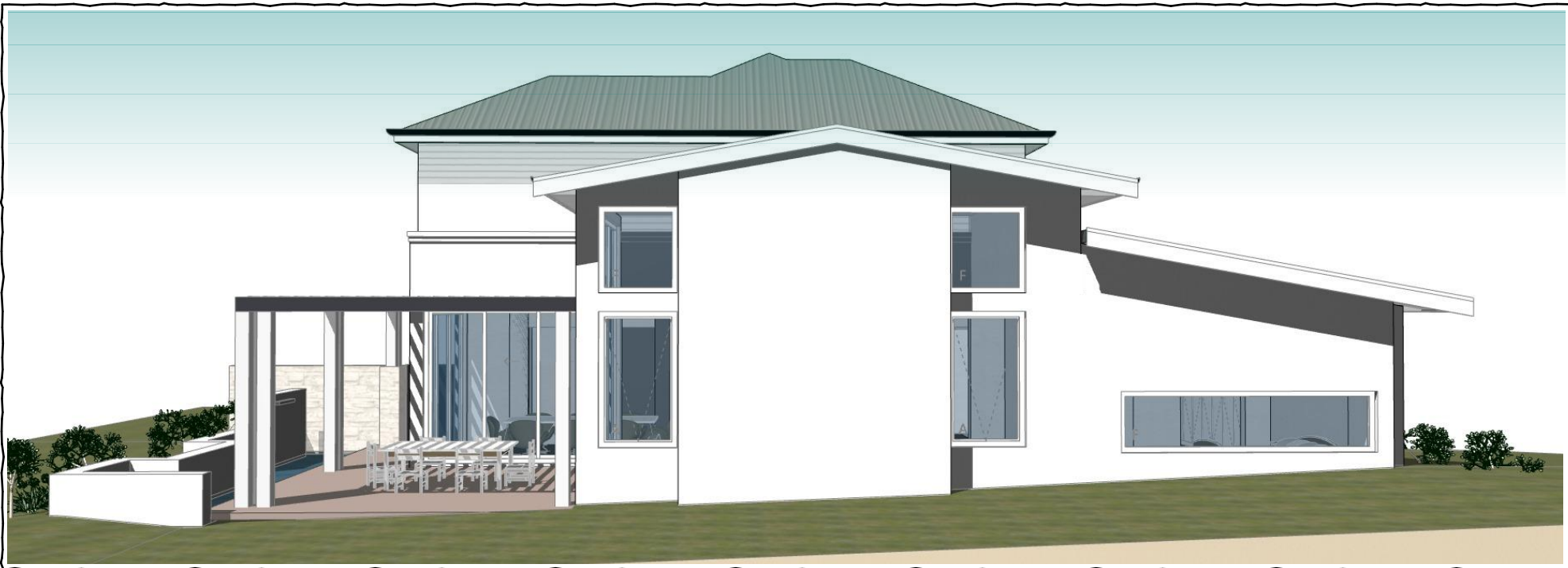
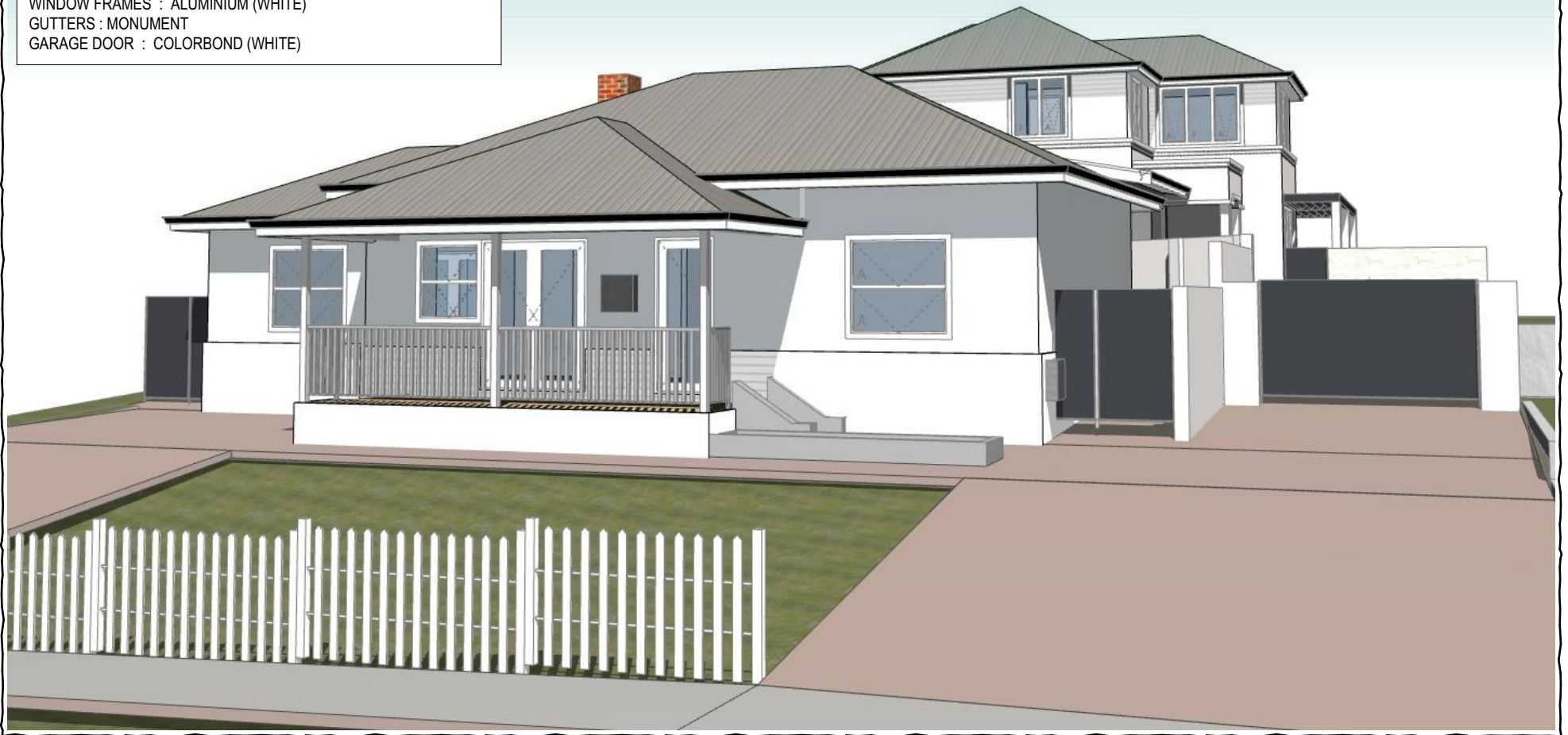


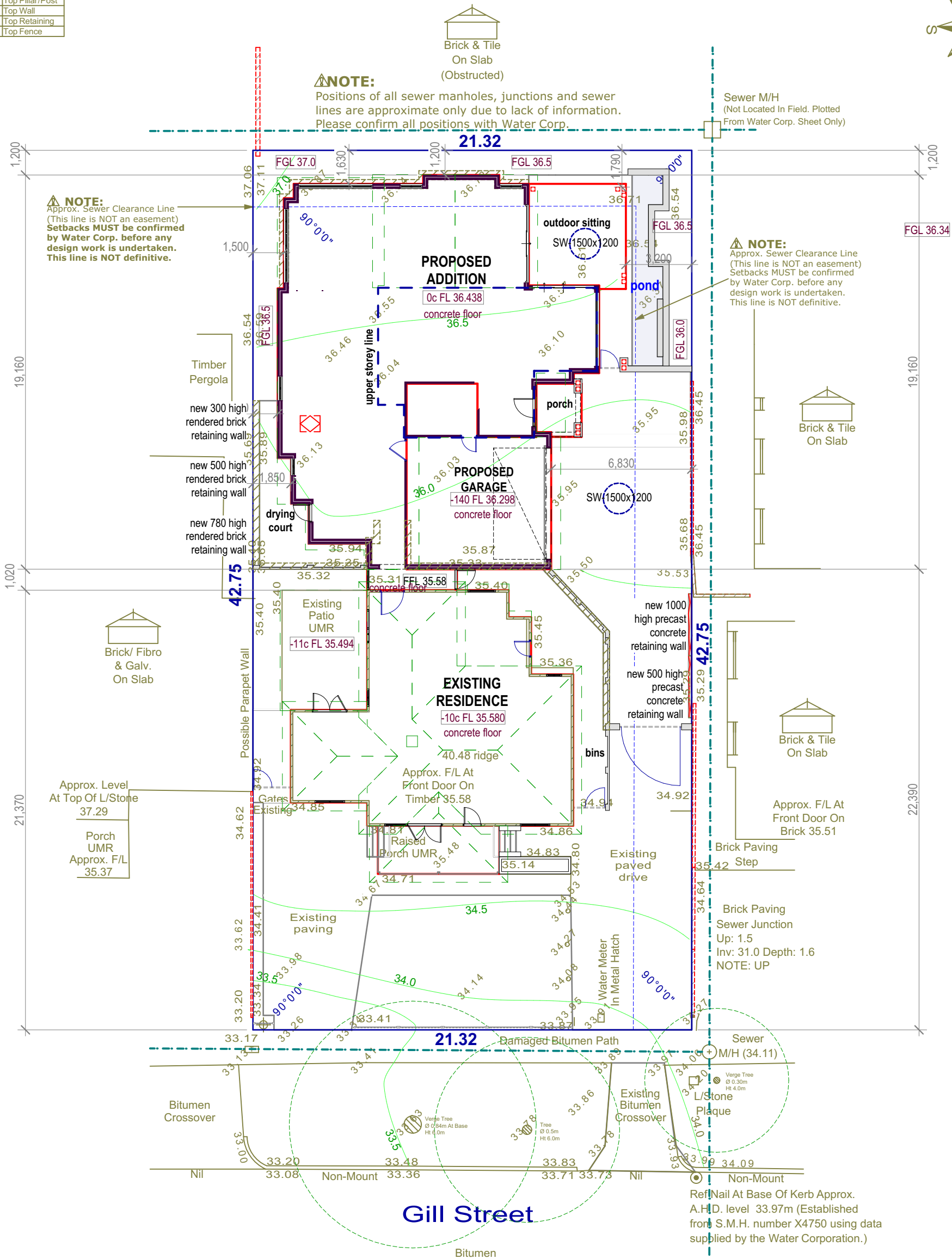
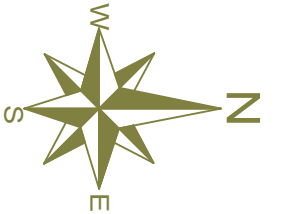
PROPOSED EXTERNAL MATERIALS / COLOURS
ROOF : COLORBOND METALDECK (SURFMIST)
WALL CLADDING : BELOW ROOF (DULUX WHITE SWAN)
WALLS : BRICKWORK PAINTED RENDER (DULUX NATURAL WHITE)
WINDOW FRAMES : ALUMINIUM (WHITE)
GUTTERS : MONUMENT
GARAGE DOOR : COLORBOND (WHITE)



PERSPECTIVE VIEWS + FINISHES

note: perspective views are an illustration only,
do not use for construction purposes, do not
use for paint or product colours

Power Dome
Power Pole
Phone Pits
Water Conn.
Top Pillar/Post
Top Wall
Top Retaining
Top Fence



NOTE: Angles and dimensions to be verified with titles office plan when issued.
WARNING: Plan not yet approved by titles office. Verify lot dimensions & angles with title.

COTTAGE SURVEYS

87-89 Guthrie Street
Osborne Park, WA 6017
PO Box 1611
Osborne Park
Business Centre WA 6917
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB # 501896
ADDRESS #41 Gill Street
SUBURB East Fremantle
LGA TOWN OF EAST FREMANTLE AREA
DRAWN J. Genovese

GPS Lat: -32.035365 Long: 115.771311
LOT Lot 16 (Plan 3573 - Unlodged)
911m² VOL. 1058 FOL.599
DATE 15 Jun 21 SSA No

ROADS Bitumen
KERBS Non-Mount / Nil
FOOTPATH Concrete
SOIL Sand
DRAINAGE Good
VEGETATION Refer to Survey

ELEC. U/Ground
COMMS. Yes
WATER Yes
GAS Check Alinta
SEWER Yes
COASTAL No (Approximate Only Confirm With Shire)

EMPIRE BUILDING COMPANY

Malecky
Proposed Addition at Lot 16 (hse 41)
Gill Street, East Fremantle

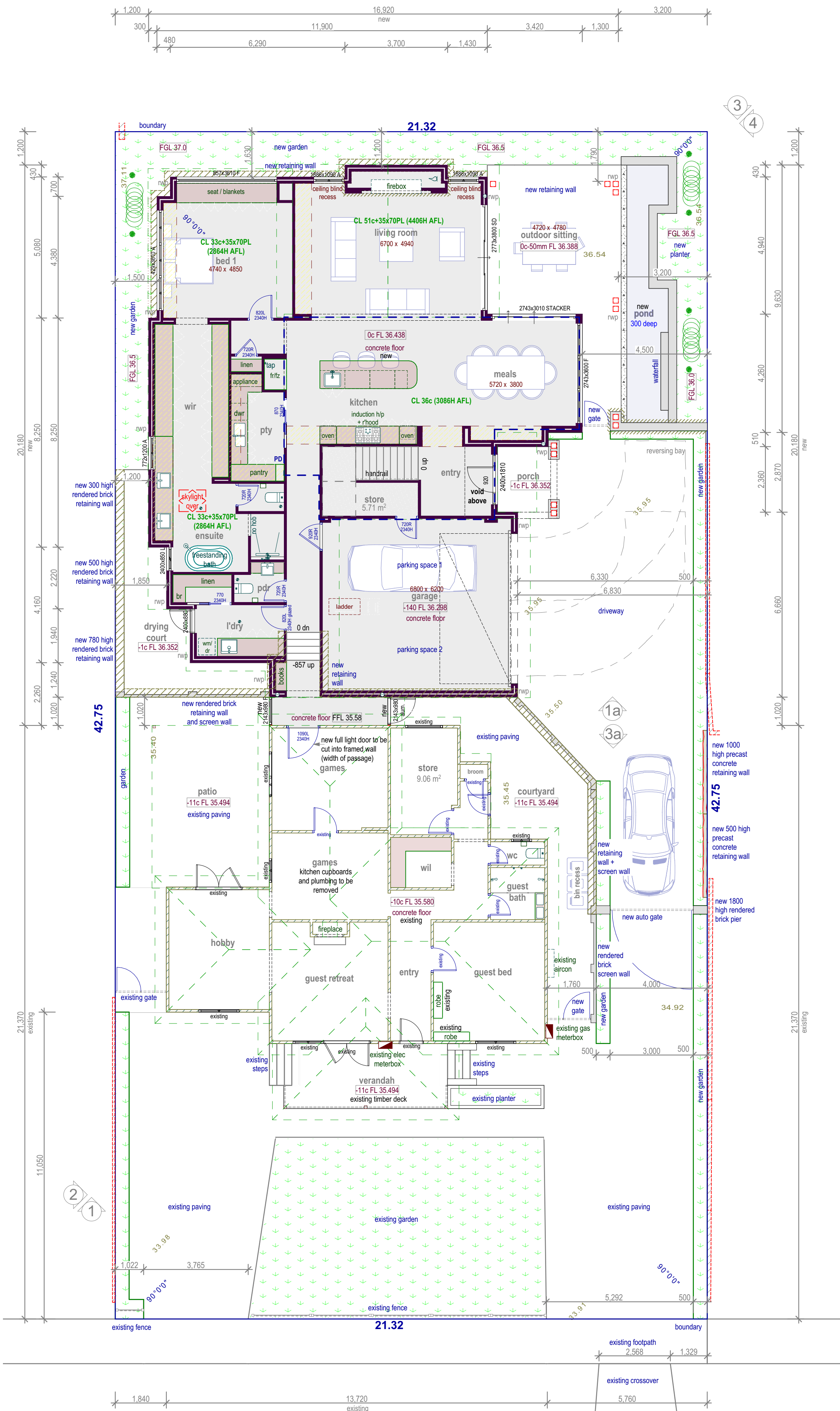
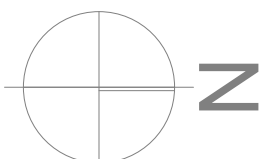
REV2 driveway gate make single panel/windows delete glazing bars/bed 1 add window and make existing window fixed/meals window to be full ht. fixed panels, delete awning openings/porch change the brick opening height/pond screen wall add stone cladding and wrap wall around the columns/ change hotplate to elect/move the kitch sink/linen delete the chute/ens change the window to louver/store change double doors to single door/dry move the dryer above the wm./garage add drop down ladder/add books cabinet/increase opening width to passane

DRAWN: craigdeans@hotmail.com
DATE: 30/01/2023
SCALE: 1:200

a3 sheet size
SHEET 03

LEGEND

- ceiling height change
- TOF 7c top of footing (from 0c)
- TOW 7c top of wall (from 0c)
- DW drywall
- 2340H / sc door height / self closer
- RWP in the wall
- floor waste
- air con outlet
- concrete beam
- existing walls
- new brick wall
- wall to be removed
- air con outlets
- plumbing duct
- existing retaining wall
- new retaining wall
- 30mm stone cladding



PLAN - GROUND STOREY

AREA / PERIMETER	
GROUND STOREY	
A:	192.45 m ²
P:	81.68 m
ALFRESCO	
A:	23.54 m ²
PORCH	
A:	5.68 m ²
GARAGE	
A:	54.30 m ²
EXISTING HOUSE	
A:	121.50 m ²
TOTAL GS	
A:	397.47 m ²
P:	116.62 m
AREA GS+US = 462m²	

PLAN - UPPER STOREY

AREA / PERIMETER

UPPER STOREY
A: 64.65 m²
P: 35.64 m

a2 sheet size

SHEET 05

- top of footings may be adjusted instu
- windows as per – AS 2047 & AS1288
- roof frame as per - AS 1684 & NCC 3.4
- roof cladding as per - NCC 3.5
- heating appliances, fireplaces, chimneys and flues are to be constructed installed in accordance with NCC Vol 2 Amdt 1 2019 Part 3.10.7. Flue pipe casing to the roof space as per the NCC figure 3.7.3.5
- weatherproofing of the masonry as per the NCC 3.3.4
- framed floor ventilation as per the NCC 3.4.1
- all control joints as the builder / supplier
- All bedroom windows located more than 2m above the surface beneath to be protected by either a device to restrict the window opening to less than 125mm or a screen should be installed with secure fittings.
- The builder has allowed the industry standard for the Garage dimensions and the Garage Door Openings. It is up the owner to confirm all garage requirements with the builder during the design stages. Unless the builder is made aware of extra-large vehicles, or extra high vehicles or other specialised sizing requirements the industry standard will take precedent.

rendered brickwork (new)	selected cladding (new)	metal roof sheeting (new)	selected cladding (existing)	metal roof sheeting (existing)	existing painted smooth cladding	opaque glass (75% min. as per 5.4.1 of the R-Codes)	top of footing	selected insulation
							TOF	



ELEVATIONS 1+2

TEMPER
BUILDING COMPANY

Malecky
Proposed Addition at Lot 16 (hse 41)
Gill Street, East Fremantle

REV/2 driveway gate make single panel/windows delete glazing bars/bed 1 add window and make existing window fixed/meals window to be full ht. fixed panels, delete awning openings/porch change the brick opening height/porch screen wall add some cladding and wrap wall around the columns/ change hoplite to electromove the kitch sink/linen delete the chute/ens change the window to louver/store change double doors to single door/drlly move the dryer above the wm./garage add drop down ladder/add books cabinet/increase opening width to passage to old house/linen change door to cavity slider/junction to old house door to open upwards/bed 3 change lns window ht./ upper shr add concealed cistern + shr nib wall and pivot door + shr recess/delete the screen next to the driveway gate and increase the wall height 271/123 REV/1 remove fire, already gone/add existing roof ht./ + wtr + ens change railing to flat ceiling/outdoor sitting change floor level to 50mm/ensulate add skylight/entry door increase REV/1 add a bachel house to the adjacent existing charnos find window in a kitchen, replacing the stone ceiling/ensulate the stone ceiling/ensulate the stone ceiling + 4000 kitch screen wall

DRAWN:
craigdeans@hotmail.com

DATE:
30/01/2023

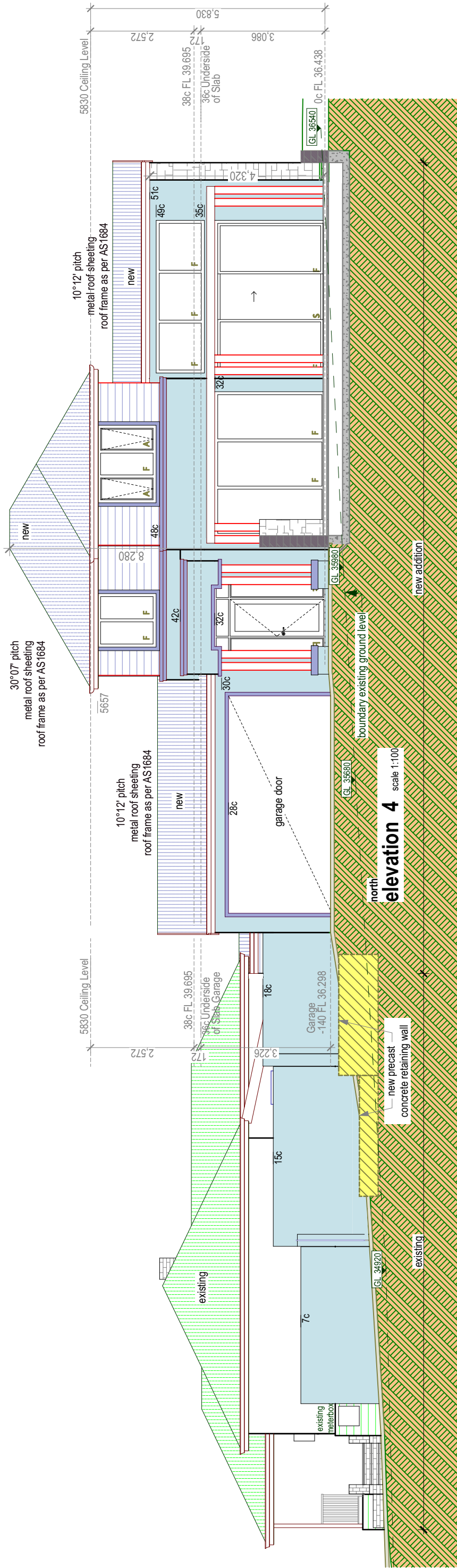
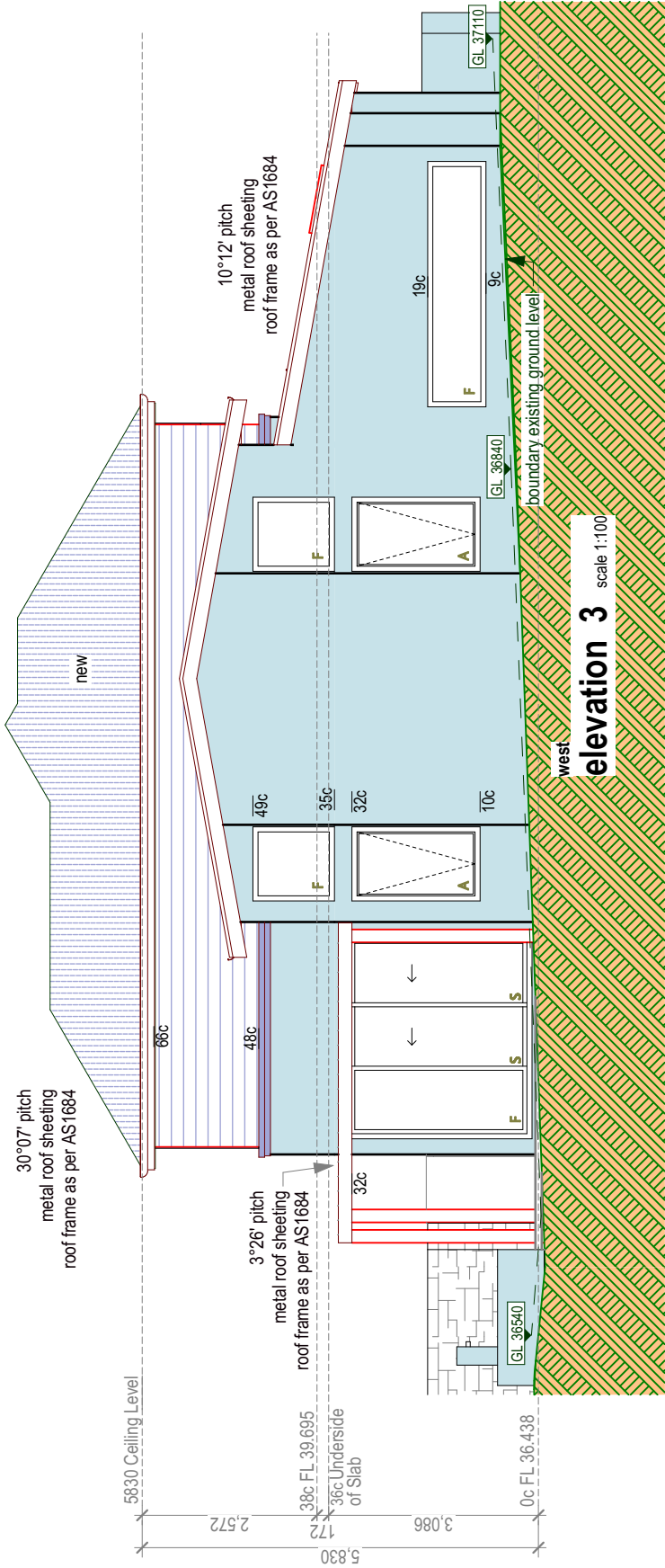
SCALE:
1:100

NOTE

- top of footings may be adjusted insitu
- windows as per – AS 2047 & AS 1288
- roof frame as per – AS 1684 & NCC 3.4
- roof cladding as per - NCC 3.5
- heating appliances, fireplaces, chimneys and flues are to be constructed installed in accordance with NCC Vol 2 Amdt 1 2019 Part 3.10.7. Flue pipe casing to the roof space as per the NCC figure 3.7.3.5
- weatherproofing of the masonry as per the NCC 3.3.4
- framed floor ventilation as per the NCC 3.4.1
- all control joints as the the builder / supplier
- All bedroom windows located more than 2m above the surface beneath to be protected by either a device to restrict the window opening to less than 125mm or a screen should be installed with secure fittings.
- The builder has allowed the industry standard for the Garage dimensions and the Garage Door Openings.It is up the owner to confirm all garage requirements with the builder during the design stages.Unless the builder is made aware of extra-large vehicles, or extra high vehicles or other specialised sizing requirements the industry standard will take precedent.
- note the garage door opening height in relation to car or boat access, a sloping driveway may reduce the overall opening height

LEGEND

- rendered brickwork (new)
- selected cladding (new)
- metal roof sheeting (new)
- selected cladding (existing)
- metal roof sheeting (existing)
- existing painted smooth cladding
- opaque glass (75% min. as per 5.4.1 of the R-Codes)
- TOF
- top of footing
- selected insulation

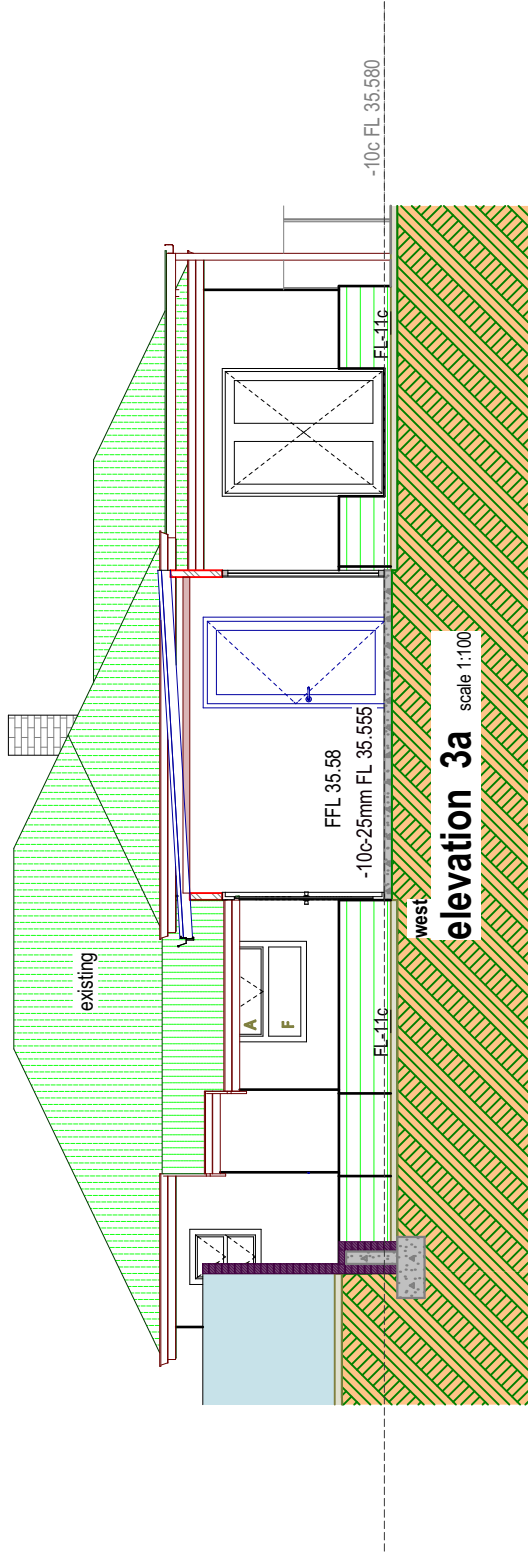


ELEVATIONS 3+4

EMPIRE BUILDING COMPANY	Malecky Proposed Addition at Lot 16 (hse 41) Gill Street, East Fremantle	revision	REV2 driveway gate make single panel/windows delete glazing bars/bed 1 add window and make existing window fixed/meals window to be full ht. fixed awning openings/porch change the brick opening height/pond screen wall add stone cladding and wrap wall around the columns/ change hoiplate to elect/move the kitchen delete the chutelens change the window to louvre/store change double doors to single door/dry move the dryer above the wm.garage add drop down ladder/add books cabinet/increase opening width to passage to old house/linen change door to cavity slider/junction to old house door to open outwards/bed 3 change lins window ht./ upper shr add concealed cistern + shr nib wall and pivot door + shr recess/delete the screen next to the driveway gate and increase the wall height 27/1/23 REV1 remove tree, already gone/adjust existing roof ht./bed 1 + wir + ens change raking ceiling to flat ceiling/outdoor sitting change floor level to -50mm/lensuite add skylight/entry door increase the porch add a total house to the full house/linen change door to cavity slider/junction to old house door to open outwards/bed 3 change lins window ht./ upper shr add concealed cistern + shr nib wall and pivot door + shr	DRAWN: craigdeans@hotmail.com DATE: 30/01/2023 SCALE: 1:100	a3 sheet size SHEET 07

- top of footings may be adjusted insitu
- windows as per – AS 2047 & AS 1288
- roof frame as per - AS 1684 & NCC 3.4
- roof cladding as per - NCC 3.5
- heating appliances, fireplaces, chimneys and flues are to be constructed installed in accordance with NCC Vol2 Amdt 1 2019 Part 3.10.7. Flue pipe casting to the roof space as per the NCC figure 3.7.3.5
- weatherproofing of the masonry as per the NCC 3.3.4
- framed floor ventilation as per the NCC 3.4.1
- all control joints as the the builder / supplier
- All bedroom windows located more than 2m above the surface beneath to be protected by either a device to restrict the window opening to less than 125mm or a screen should be installed with secure fittings.
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- note the garage door opening height in relation to car or boat access, a sloping driveway may reduce the overall opening height

rendered brickwork (new)	selected cladding (new)	metal roof sheeting (new)	selected cladding (existing)	metal roof sheeting (existing)	existing painted smooth cladding	opaque glass (75% min. as per 5.4.1 of the R-Codes)	top of footing	selected insulation
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EMPRIRE
BUILDING COMPANY

REV2 driveway gate make single panel/windows delete glazing bars/bed 1 add window and make existing window fixed/meals window to be full ht. fixed panels, delete awning openings/porch change the brick opening height/screen wall add some cladding and wrap wall around the columns/ change hoplite to elect/ins delete the chue/ins change the window to louvre/store change double doors to single door/dry move the dryer above the wm./garage add drop down ladder/adb books cabinet/increase opening width to passage

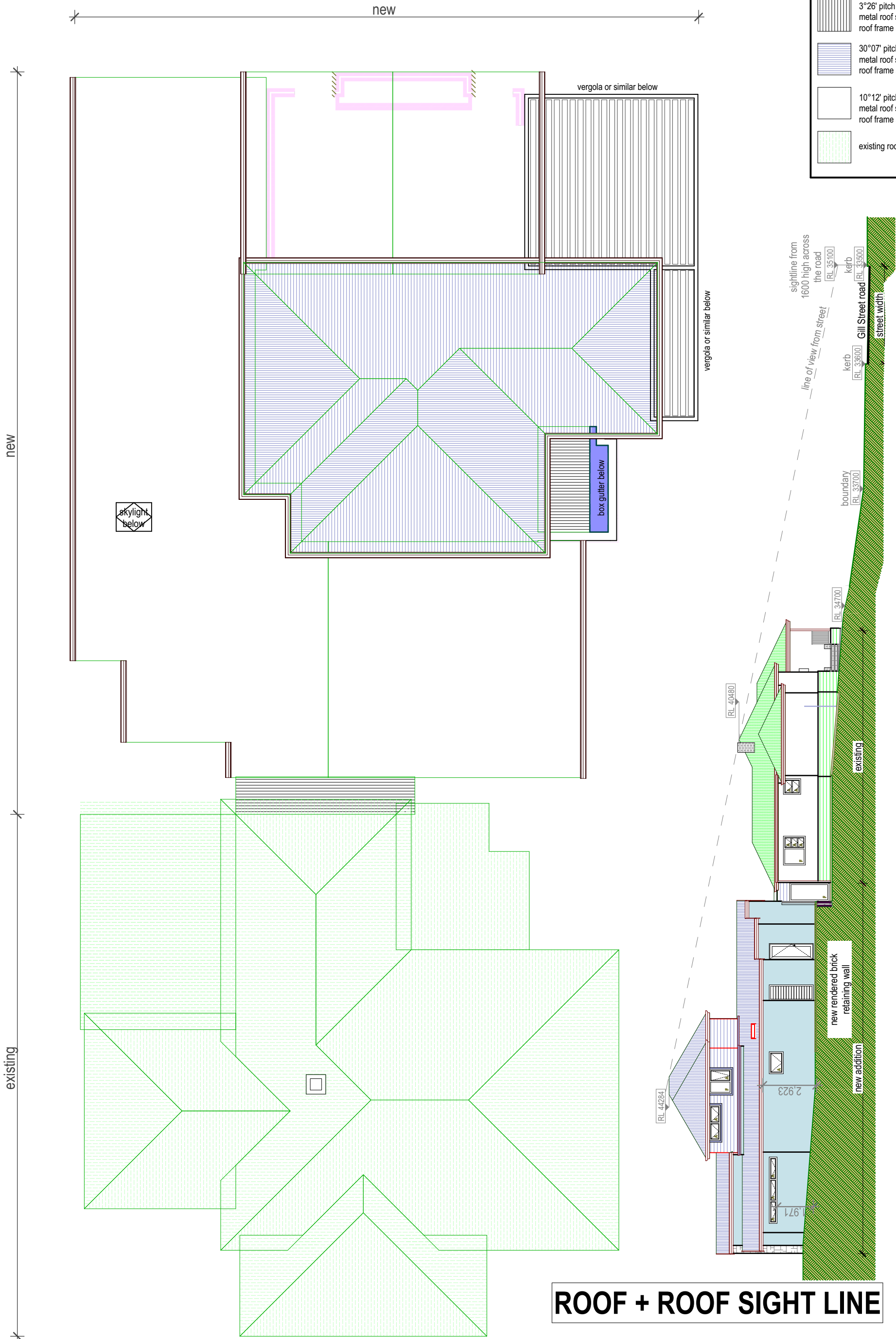
add to old house/linen change door to cavity slider/junction to old house door to open outdoors/bed 3 change lts window ht./ upper shr add concealed cistern + shr rib wall and pivot door + shr recess/delete the screen next to the driveway gate and increase the wall height 2771/123

REV1 remove tree, already gone/adjl existing roof ht. add + wtr + ens change raked ceiling to flat ceiling/outdoor sitting change floor level to -50mm/ensuite add skylight/entry door increases REV1 remove add a brick house to the pool/existing shored and make it a structure, raked ceiling to a flat ceiling/outdoor sitting change floor level to -50mm/ensuite add skylight/entry door increases

SHEET 08

LEGEND

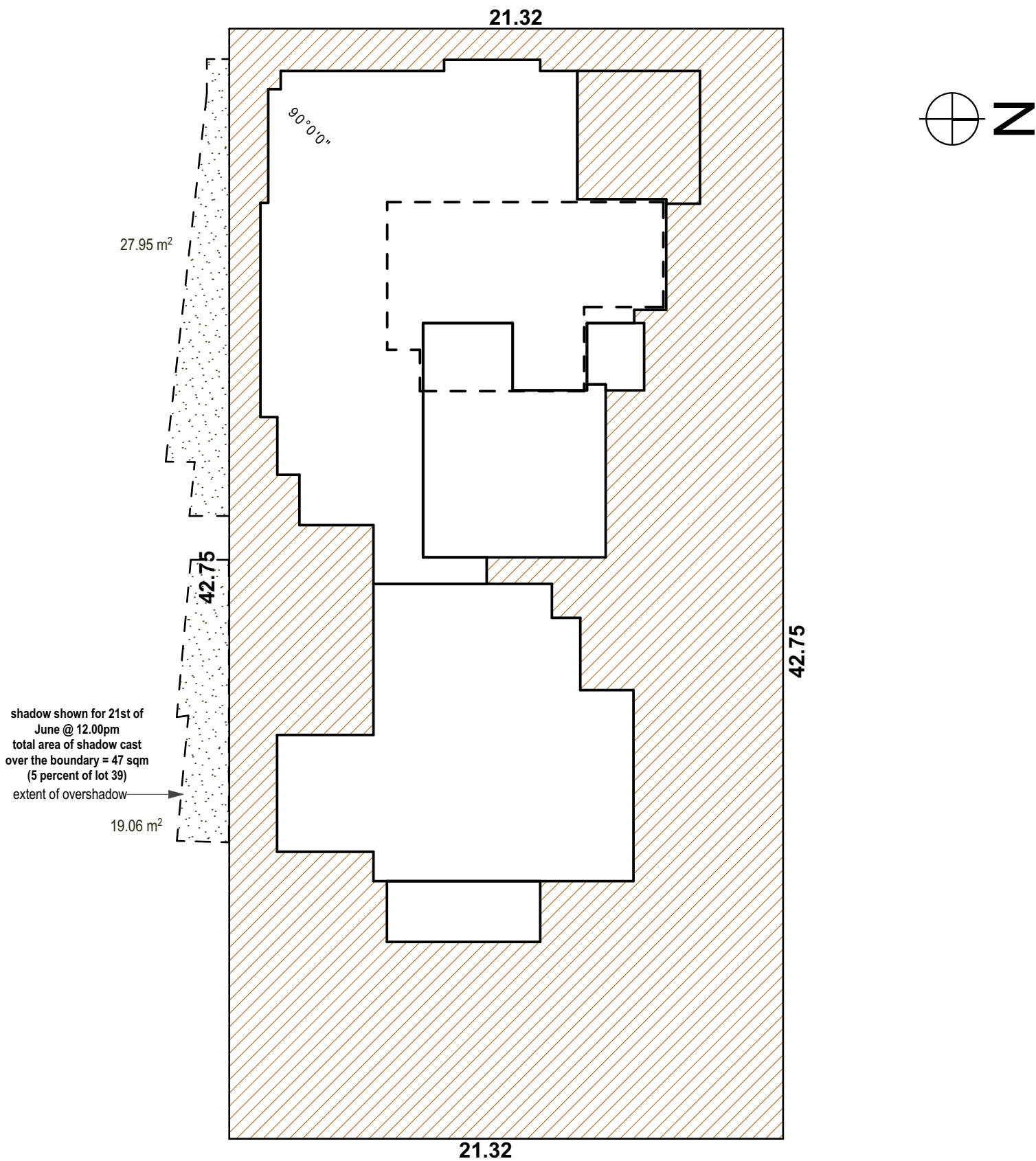
- 3°26' pitch
metal roof sheeting
roof frame as per AS1684
- 30°07' pitch
metal roof sheeting
roof frame as per AS1684
- 10°12' pitch
metal roof sheeting
roof frame as per AS1684
- existing roof



ROOF + ROOF SIGHT LINE



street scape



OPEN SPACE



OPEN SPACE = 523.84 m²
DIVIDED BY THE SITE AREA 911m
OPEN SPACE = 57%

Gill Street

OPEN SPACE + OVERSHADOW + STREETSCAPE