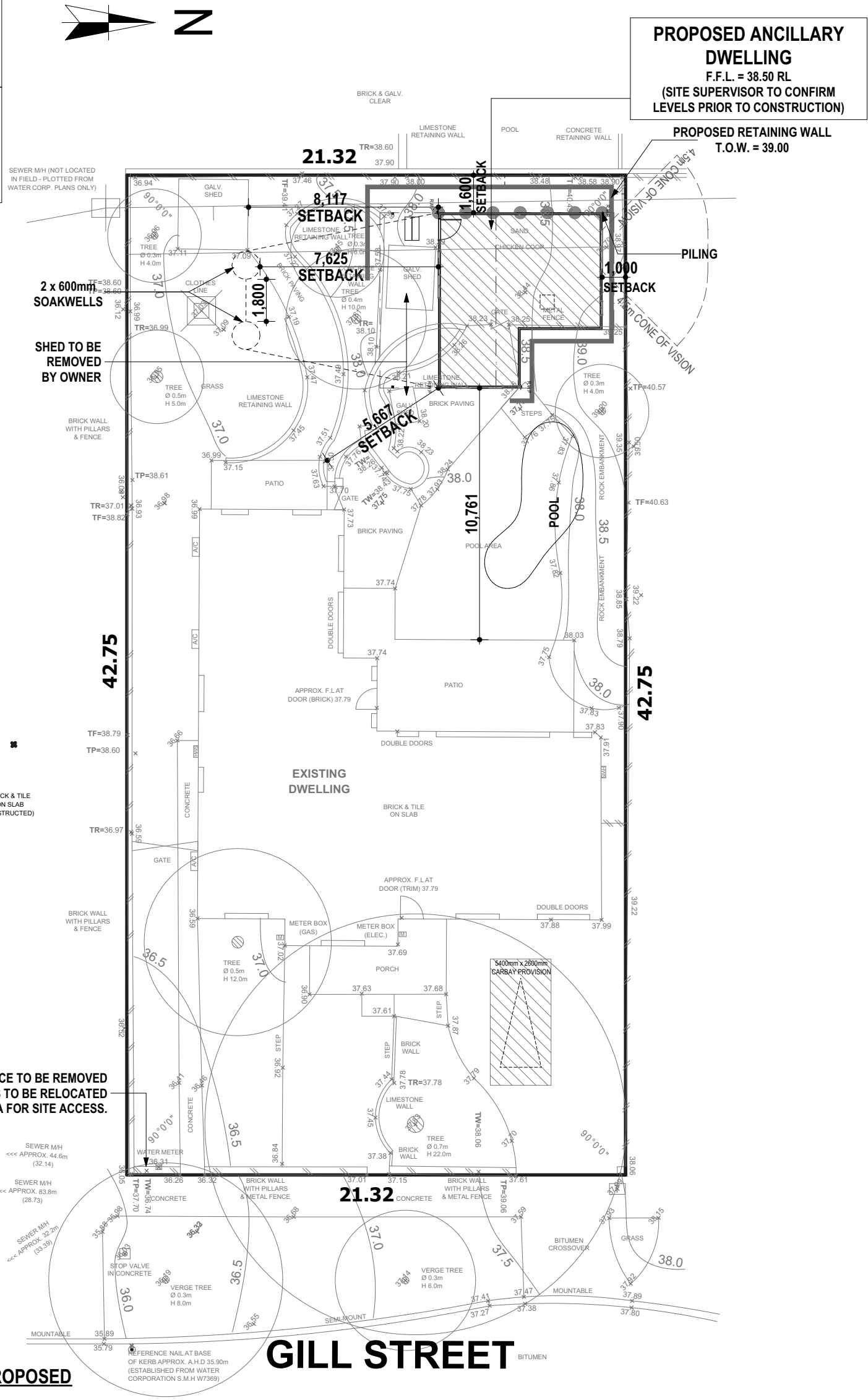


ZONED:	R17.5
SITE AREA:	911m ²
EXISTING BUILDING AREA:	207.02m ²
EXISTING PATIO 1:	39.01m ²
EXISTING PATIO 2:	10.41m ²
EXISTING PORCH:	14.48m ²
EXISTING SHED	8.95m ²
PROPOSED ANCILLARY DWELLING:	43.75m ²
TOTAL BUILDING AREA:	329.02m ²
OPEN SPACE ACHIEVED:	(63.88%) 581.98m ²
OPEN SPACE REQUIRED:	(50%) 455.50m ²

5.3.3 PARKING
THIS PROPERTY IS SITUATED IN 'LOCATION A'
DUE TO PROXIMITY TO BUS ROUTE 910, - STOPS
10293, 10294

NOTE:
- ALL POOL FENCING / SAFETY
TO COMPLY WITH AS 1926.1 - 2012
- GFWA TO REMOVE TREES, STUMPS, EXISTING BRICK
WALL, FENCE & PAVERS

	CHECKED BY DRAFTEE	CHECKED BY GFWA
ZONING	✓	✓
F.F.L	✓	✓
NORTH POINT	✓	✓
LOT #	✓	✓
CLIENT NAMES	✓	✓
SETBACK FROM BOUNDARY	✓	✓
SETBACK FROM EXISTING STRUCTURES	✓	✓
CARBAYS	✓	✓
STORM WATER	✓	✓
SEPTIC/ SEWERS	✓	MAINS
SITE COVERAGE	✓	✓
RETAINING	✓	✓



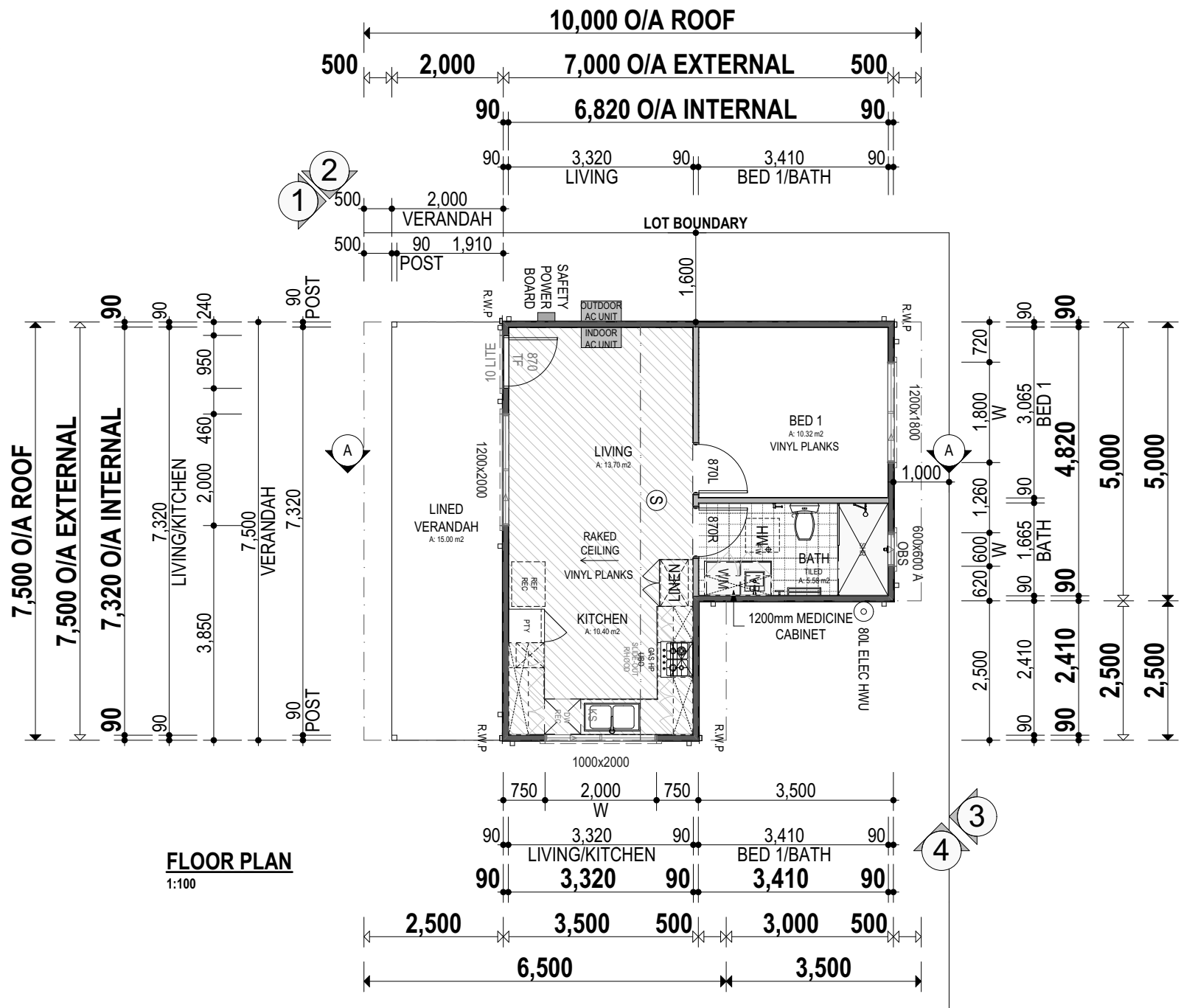
SITE PLAN - PROPOSED
1:200

 GRANNY FLATS WA PO BOX 4459 MYAREE BC WA 6960 PHONE: 9329 6888 BUILDERS REGISTRATION #11156 EMAIL: admin@grannyflatswa.com	SIGNATURES CLIENT: CLIENT: BUILDER: COPYRIGHT These plans and attached specifications are and shall always remain the sole property of Granny Flats WA and must not be given, lent, resold, hired out, copied, or otherwise disposed of without the written permission of the company.	VARIATIONS <table><thead><tr><th></th><th>DATE:</th><th>INT:</th></tr></thead><tbody><tr><td>DS</td><td>01/09/17</td><td>RM</td></tr><tr><td>WD</td><td>16/04/25</td><td>RN</td></tr><tr><td>PRE-START</td><td>06/05/25</td><td>RN</td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td></tr></tbody></table>		DATE:	INT:	DS	01/09/17	RM	WD	16/04/25	RN	PRE-START	06/05/25	RN													CLIENT NAME: JUDITH WILKINSON & ULTAN STEPHENSON SITE ADDRESS: 9 (LOT 17) GILL STREET, EAST FREMANTLE WA 6158	DRAWN: RM	DATE: 8/07/25	ABE + WA ADVANCED BUILDING ENGINEERS (WA) PTY LTD 2 IBIS COURT, KINGSLEY, WA 6026 Mob: 0434 293 720 Email: Robert@abeaus.com.au Robert David Member of the Institution of Engineers, Australia APPROVED BY:
				DATE:	INT:																									
			DS	01/09/17	RM																									
			WD	16/04/25	RN																									
PRE-START	06/05/25	RN																												
SALES: MN	COASTAL: NO																													
CLIMATE ZONE:	WIND REGION:																													
Page No: 1 OF 12	Drawing No: A01																													

NOTES:

- CLIENT SUPPLIED MATERIALS & LABOUR - REFER TO CONTRACT & ADDENDA.
- BUILDER TO VERIFY ALL DIMENSIONS, LEVELS & CONTOURS ON SITE BEFORE CONSTRUCTION.
- DIMENSIONS ARE TO FRAME STUDS ONLY & DO NOT INCLUDE LININGS OR CLADDINGS
- HEIGHTS ARE FROM TOP OF SLAB. NO ALLOWANCE MADE FOR FLOOR COVERINGS.
- THE BUILDING CODE OF AUSTRALIA FORMS PART OF THESE DRAWINGS, ALL THE BCA REQUIREMENTS ARE TO APPLY INCLUDING THOSE NOT SHOWN OR MENTIONED HERE IN.
- SMOKE DETECTOR TO BCA 3.7.2.
- BUILDER IS TO PROVIDE ALL FLASHINGS AS NECESSARY TO WATERPROOF THE BUILDING.
- WET AREA FLOORS TO BE WATERPROOFED IN ACCORDANCE WITH AS3740 - 2010 "WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS.
- TILING TO WET AREAS BY BUILDER, UNLESS NOTED OTHERWISE.
- ELECTRICAL & PLUMBING FINAL LOCATIONS AT DISCRETION OF TRADES TO MEET AS/NZS 3000:2007 & AS/NZS 3500.5
- COLORBOND/ZINCALUME GUTTERS AND DOWNPIPES TO DISPERSE WATER TO GROUND LEVEL.
- SOAKWELLS / STORMWATER IN ACCORDANCE WITH BCA REQUIREMENTS & BUILDING PERMIT CONDITIONS TO BE UNDERTAKEN **GFWA**
- BW ----- DENOTES WALL BRACING 3kn CAPACITY TO 1684 - 2010.
- EXTERNAL DOORS & OPENABLE WINDOWS SERVING HABITABLE ROOMS TO BE FITTED WITH WEATHER SEALS IN ACCORDANCE WITH BCA 3.12.3.3. ALL WINDOWS TO BE IN ACCORDANCE WITH AS 2047 - 1999.
- ROOF INSULATION: **R2.0 ANTICON**
- CEILING INSULATION: **R4.1 BATTS**
- EXT WALL INSULATION: **8mm AIRCELL + R2.5HD BATT INSULATION**

AREA CALCULATIONS	
	Area m²
BUILDING EXTERIOR	43.75
BUILDING INTERIOR	40.89
ROOF	51.25
VERANDAH	15.00



FLOOR PLAN
1:100

BAL RATING:
N/A



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VARIATIONS

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PRE-START	06/05/25	RN

CLIENT NAME:

JUDITH WILKINSON &
ULTAN STEPHENSON
SITE ADDRESS:
9 (LOT 107) GILL STREET
EAST FREMANTLE WA 6158

DRAWN:

RN DATE: 8/07/25

SALES:

OK COASTAL: NO

CLIMATE ZONE:

WIND REGION:

Page No:

2 OF 12

Drawing No.

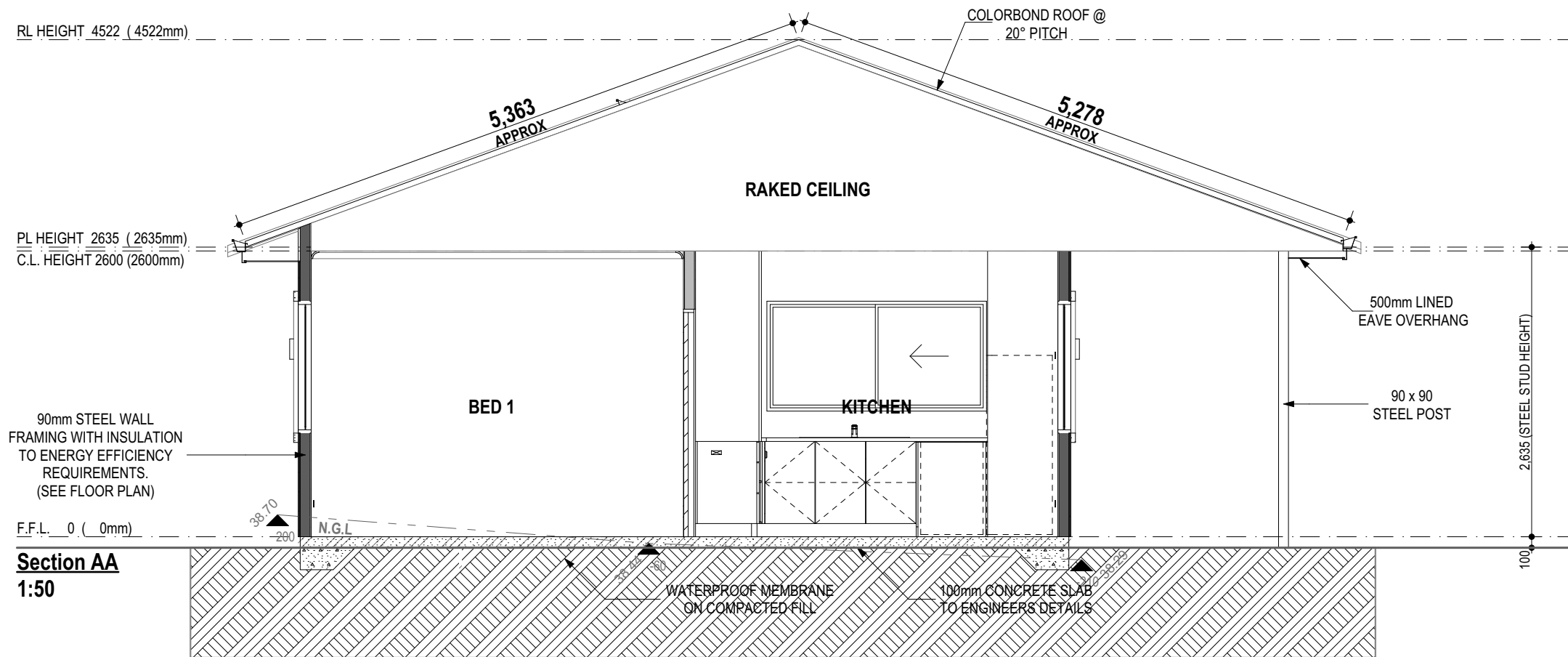
A02

ABE + WA
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MIEAust CPEng
Chartered Professional Engineer
Membership No. 259960
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APPROVED BY:



**GRANNY
FLATS WA**

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Page No:

4 OF 12

Drawing No.

A04

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ADVANCED BUILDING ENGINEERS (WA) PTY LTD

ABN 79 263 094 514 ACN 676 383 083

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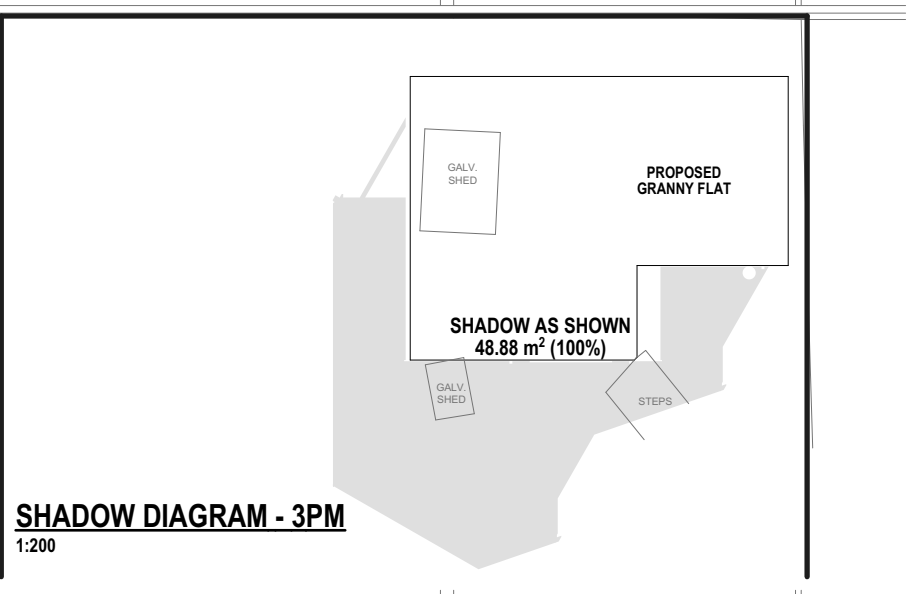
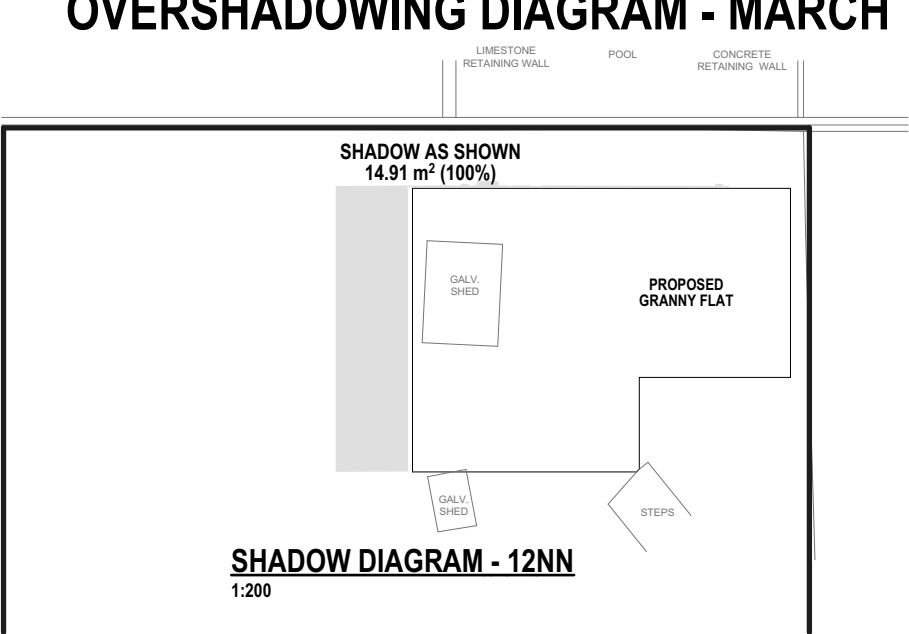
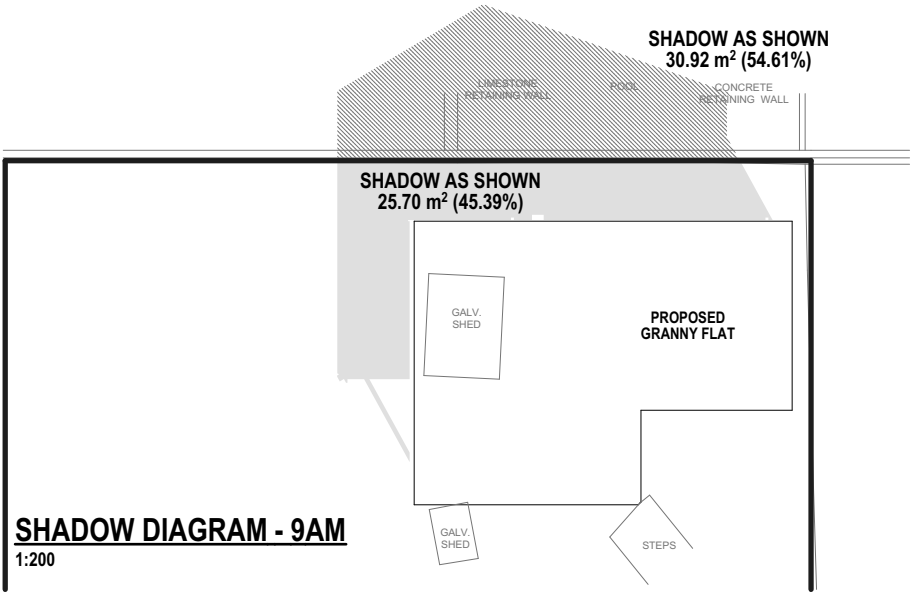
Mob: 0434 293 726 Email: Robert@abeaus.com.au



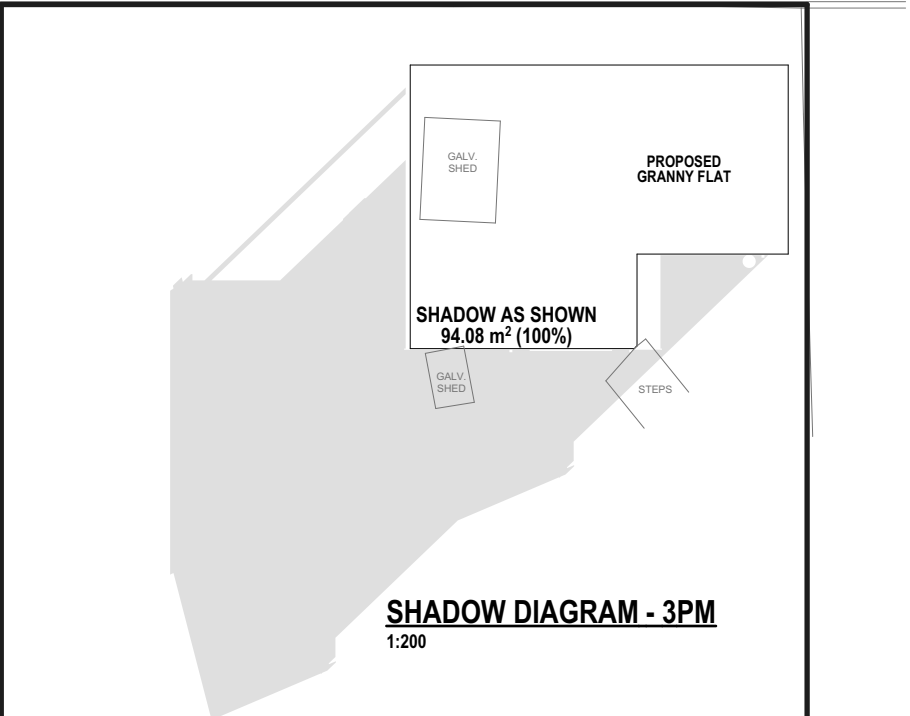
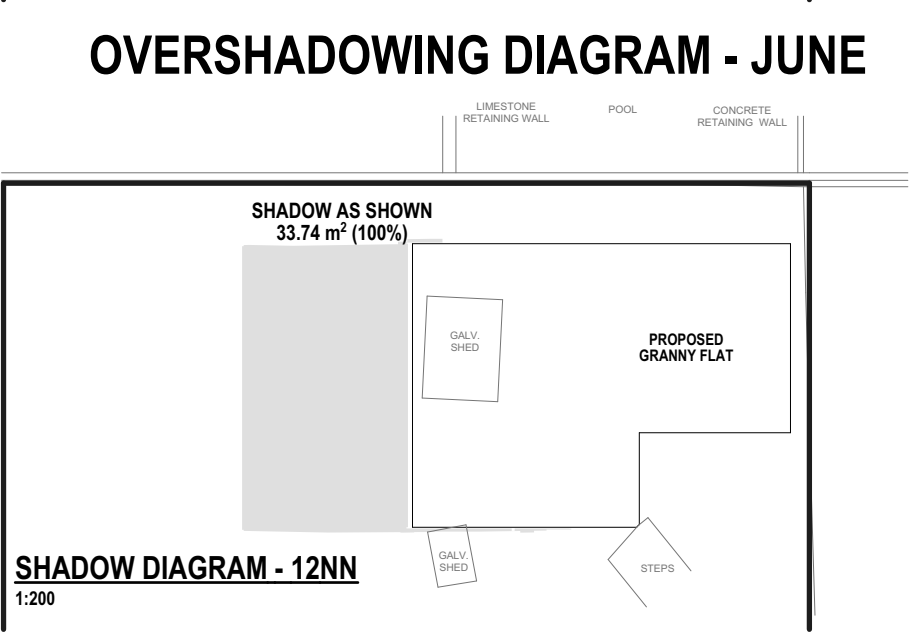
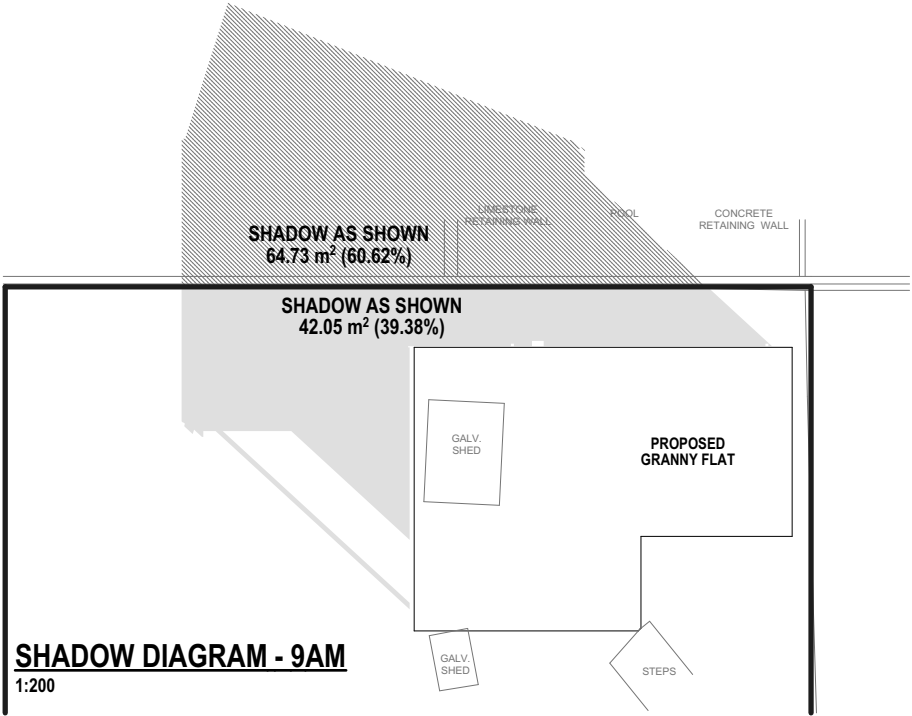
Robert David
MIEAust CPEng
Chartered Professional Engineer
Membership No. 259960

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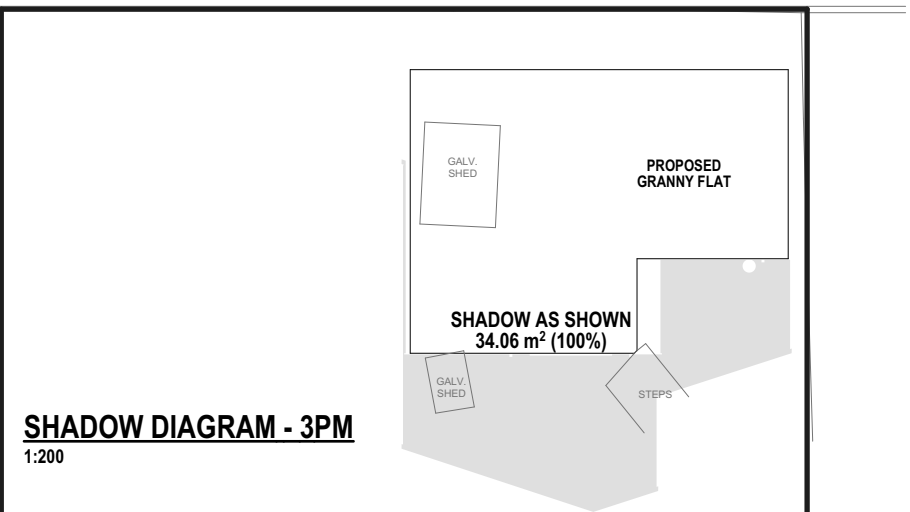
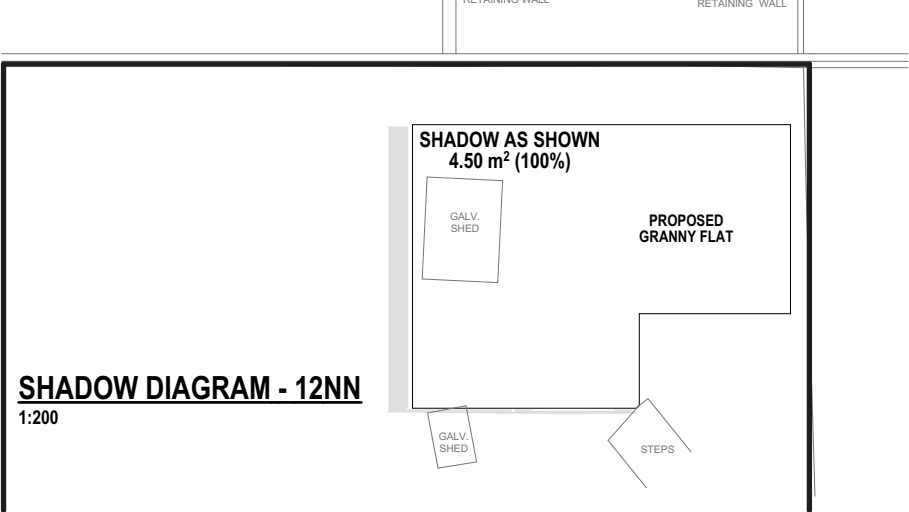
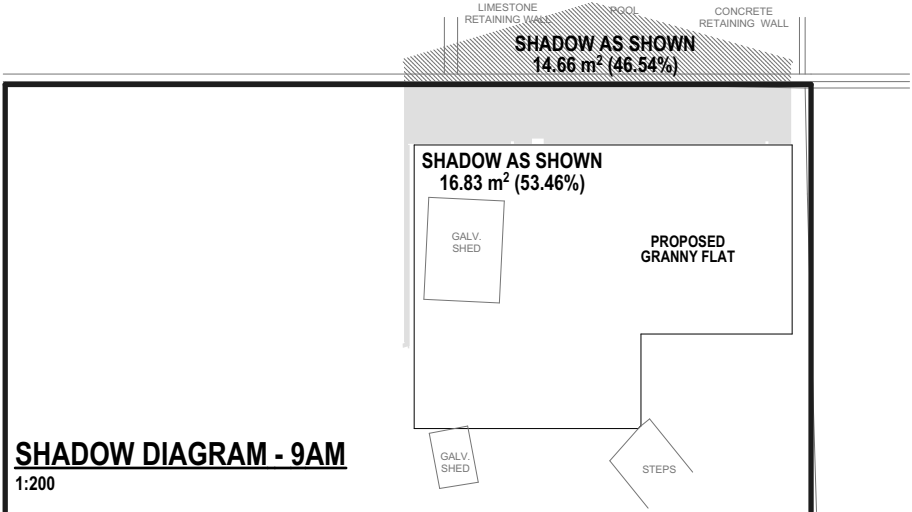
OVERSHADOWING DIAGRAM - MARCH



OVERSHADOWING DIAGRAM - JUNE



OVERSHADOWING DIAGRAM - DECEMBER



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Page No: 5 OF 12	Drawing No. A05

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