

PROPOSED RENOVATIONS

DA SUBMISSION

H. YOUNG

LOT 396 (No 85) DUKE STREET EAST FREMANTLE
TOWN OF EAST FREMANTLE



DESIGN/DRAFTING

rd

riccadonna
design

m : 0417 974 215
e : riccad@bigpond.net.au

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NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Riccadonna Design and is to be used only for work when authorised in writing by the builder.

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All documents here within are subject to Australian Copyright Laws.

Project Partners
Refer to consultant documentation when directed
- Builder - TBC
- Certifier - N/A
- Engineer - #Structural Engineer
- Landscape Designer - N/A
- Surveyor - N/A
- Interior Designer - TBC

Drawn | Checked | RICCADONNA DESIGN |
Plot Date: 26/11/2024

Project Status | DA SUBMISSION

Client | H. YOUNG
Site: | LOT 396 (No 85) DUKE STREET
Wind Region | EAST FREMANTLE
#Wind Region

DRAWING TITLE :
PROPOSED RENOVATIONS

PROJECT NAME :
H. YOUNG

REVISION NO.
E

DRAWING NO.
A0

SERVICE LEGEND

DRAINAGE

GRATE

SIDE ENTRY PIT

STORM WATER MANHOLE

ELECTRICAL

CABLE MANHOLE

CABLE PIT / BOX

CABLE DOME

CONSUMER POLE

LIGHT POLE

POWER POLE

STAY POLE

STAY WIRE ANCHOR

O/H POWER LINE

GAS

GAS MANHOLE

GAS MARKER

GAS METER

GAS VALVE

SEWERAGE

SEWER MANHOLE

PROPERTY CONNECTION

SEWER LINE

COMMUNICATIONS

COMMS MANHOLE

COMMS MARKER

COMMS CABLE PIT

WATER

FLUSH POINT

HYDRANT

STOP VALVE

TAP

WATER MARKER

WATER METER

UNDEFINED

UNDEFINED MANHOLE

UNDEFINED PIT

UNDEFINED SERVICE

SURVEY

DATUM

PEG FOUND

SURVEY STATION

TEMPORARY / BENCH MARK

OTHER

AWNING / EAVES

ROOF RIDGE

FLOOR RL

BOLLARD

WINDOW / DOOR

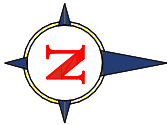
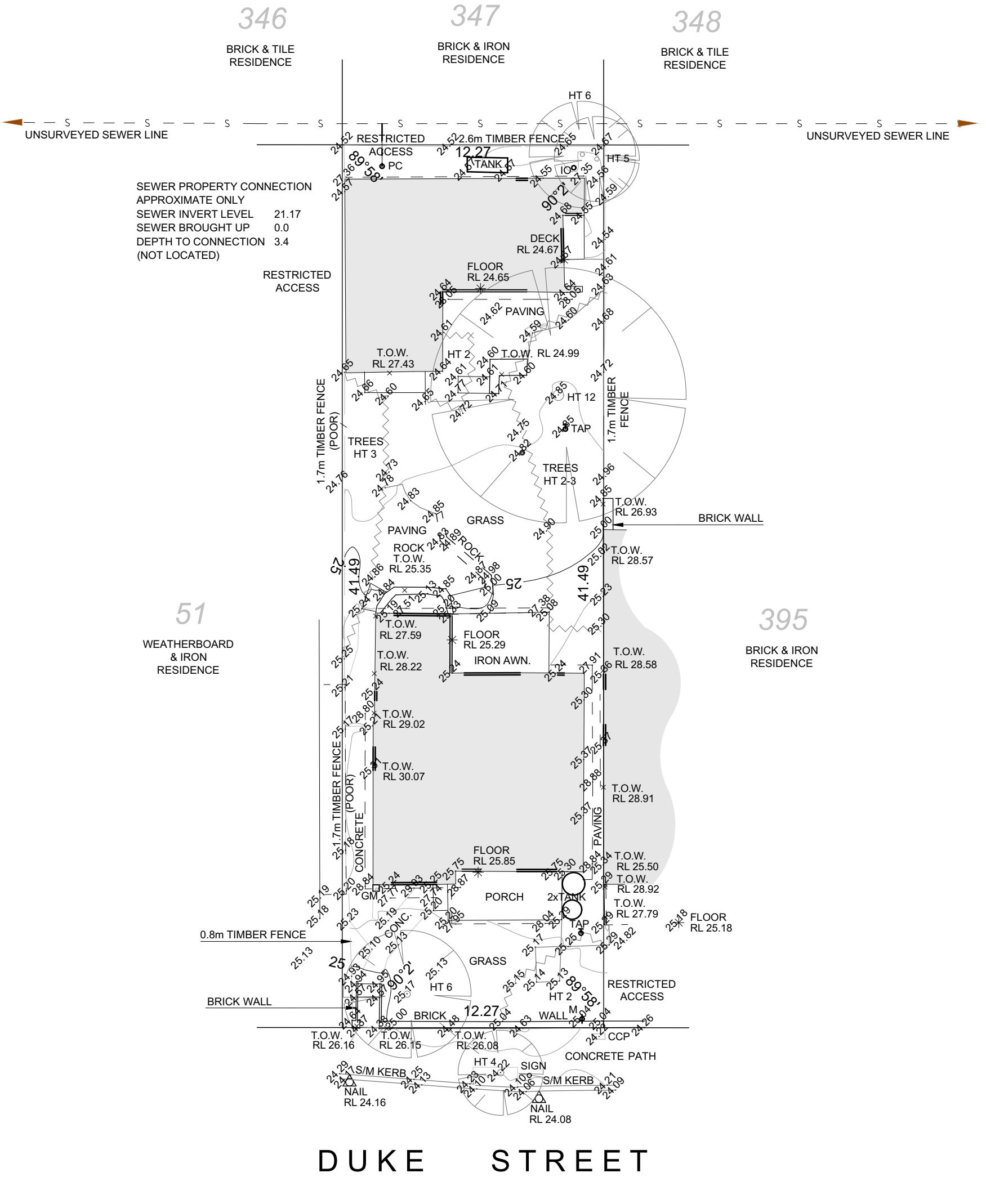
BANK - BOTTOM

BANK - TOP

LOT SERVICE RECORD

STATUS	LOCATED	NOT FOUND	NO SERVICE	CONFIRM
WATER	✓			
SEWER CONN.		✓		✓
GAS	✓			
COMMS	✓			
POWER U/G				
POWER O/H				

SERVICES MARKED CONFIRM REQUIRE BUILDER / CLIENT TO CONFIRM POSITION AND / OR AVAILABILITY ON SITE.



NOTE:
THIS PLAN HAS BEEN
PREPARED WITH 3D VALUES.

LOT DIMENSIONS SHOWN HAVE BEEN TAKEN FROM PLAN 1690. THE LINE WORK IS THE CALCULATED SURVEYED BOUNDARY. REFER TO BOUNDARY RE-ESTABLISHMENT PLAN 2400591-RP-001-A FOR BOUNDARY INFORMATION

NOTE:
AHD LEVEL DERIVED FROM STANDARD SURVEY MARK FREMANTLE 58 (RL 21.19m)

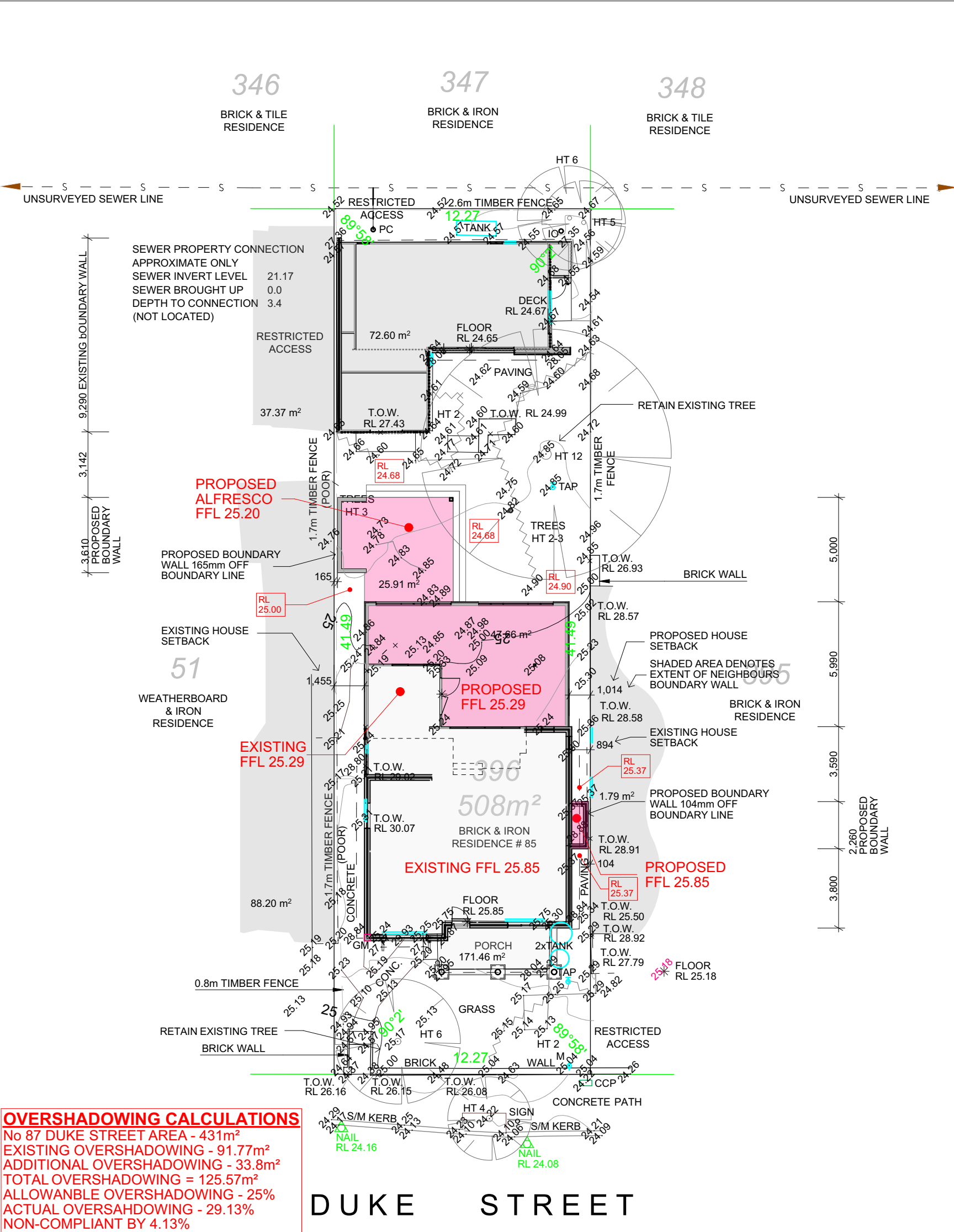
CONTOUR LEGEND - 0.2m INTERVALS
MAJOR CONTOURS 00
MINOR CONTOURS

LOT : 396 (# 85) DUKE STREET		CLIENT : RYAN COLE	
SUBURB : EAST FREMANTLE	PLAN 1690	SURVEYED ON : 13/06/2024	
AUTHORITY : TOWN OF EAST FREMANTLE	C/T : 1802 / 358	SURVEYOR : AD	DRAWN : JW
BUILDERS / CLIENTS: Boundary position for site survey has been verified by boundary re-establishment survey. The information shown on this plan is current at the time of survey. Features located are relative to true boundary position with varying accuracies determined by the nature and verticality of the feature identified. Utilities may vary from schematic presentation, clearances to be checked on site. Confirm service information with relevant Authorities. Refer to "Before You Dig Australia" for underground service confirmation. Consult Land Surveys on any anomaly before design and construction.		<div>Land Surveys</div> <div>19 Brennan Way BELMONT WA 6104 Telephone (08) 9477 4477 Fax (08) 9477 4499 admin@landsurveys.net.au</div>	
SCALE @ A3 : 1:200 ALL DISTANCES ARE IN METRES		JOB No : 2400591	PLAN: FS DRG: 002 REV: A SHEET 1 OF 1

SERVICE LEGEND				
DRAINAGE				
GRATE				
SIDE ENTRY PIT				
STORM WATER MANHOLE				
ELECTRICAL				
CABLE MANHOLE				
CABLE PIT / BOX				
CABLE DOME				
CONSUMER POLE				
LIGHT POLE				
POWER POLE				
STAY POLE				
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O/H POWER LINE				
GAS				
GAS MANHOLE				
GAS MARKER				
GAS METER				
GAS VALVE				
SEWERAGE				
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PROPERTY CONNECTION				
SEWER LINE				
COMMUNICATIONS				
COMMS MANHOLE				
COMMS MARKER				
COMMS CABLE PIT				
WATER				
FLUSH POINT				
HYDRANT				
STOP VALVE				
TAP				
WATER MARKER				
WATER METER				
UNDEFINED				
UNDEFINED MANHOLE				
UNDEFINED PIT				
UNDEFINED SERVICE				
SURVEY				
DATUM				
PEG FOUND				
SURVEY STATION				
TEMPORARY / BENCH MARK				
OTHER				
AWNING / EAVES				
ROOF RIDGE				
FLOOR RL				
BOLLARD				
WINDOW / DOOR				
BANK - BOTTOM				
BANK - TOP				
LOT SERVICE RECORD				
STATUS				
	LOCATED	NOT FOUND	NO SERVICE	CONFIRM
SERVICE				
WATER				
SEWER CONN.				
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SCALE @ A3 : 1:200			
ALL DISTANCES ARE IN METRES			



OVERSHADOWING CALCULATIONS
No 87 DUKE STREET AREA - 431m²
EXISTING OVERSHADOWING - 91.77m²
ADDITIONAL OVERSHADOWING - 33.8m²
TOTAL OVERSHADOWING = 125.57m²
ALLOWABLE OVERSHADOWING - 25%
ACTUAL OVERSAHDOWING - 29.13%
NON-COMPLIANT BY 4.13%

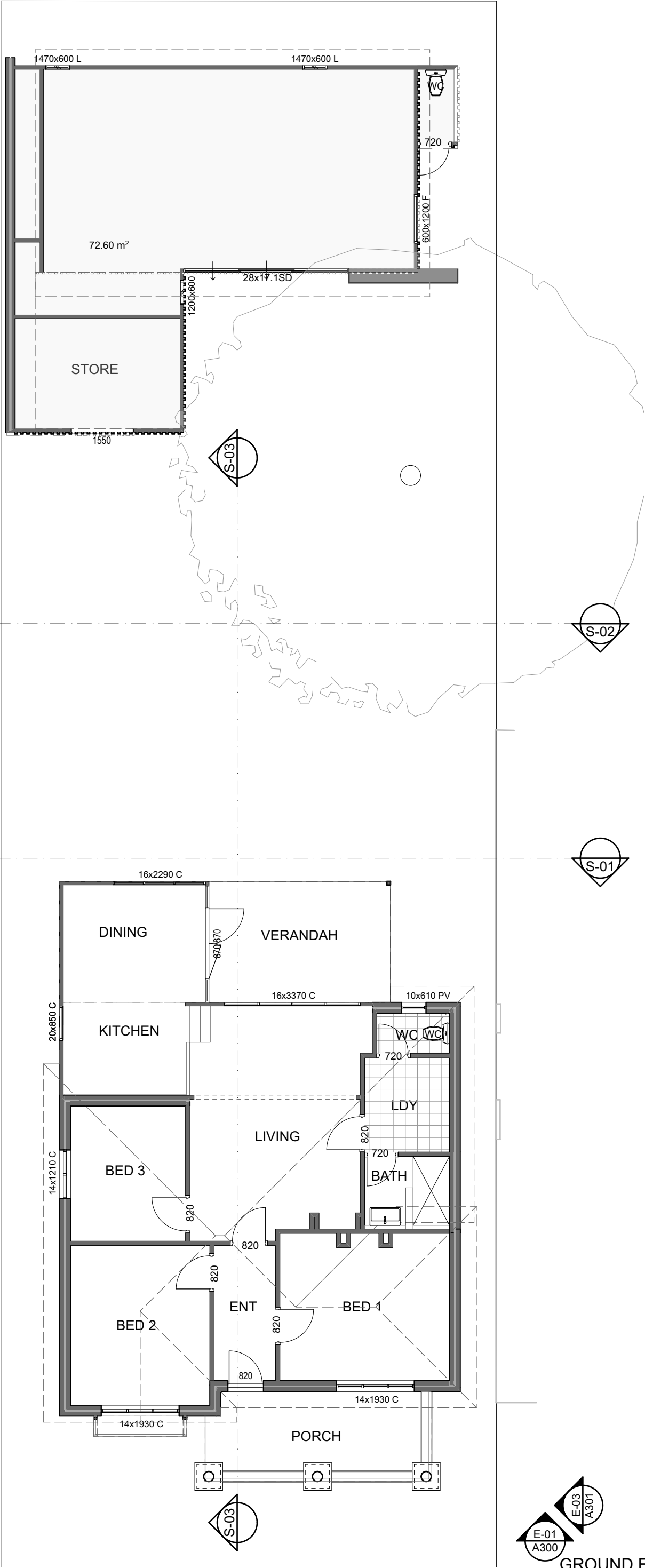
BOUNDARY WALL CALCULATIONS
BOUNDARY LENGTH - 41.49m
6m PRIMARY STREET SETBACK (35.49m)
1/3 OF BOUNDARY BEHIND PRIMARY STREET SETBACK = 11.829m
EXISTING BOUNDARY WALL - 9.29m
PROPOSED BOUNDARY WALL - 3.61m
TOTAL BOUNDARY WALL = 12.90m
NON-COMPLIANT - OVER BY 1.071m

OPENSACE CALCULATIONS
ZONING - R20
ALLOWABLE OPENSACE = 50% MIN
EXISTING STUDIO - 72.60m²
HOUSE (EXISTING AND PROPOSED ADDITION) - 158.81m²
TOTAL = 231.41m²
ACTUAL OPENSACE = 54.44%
COMPLIANT ✓

NOTE: AHD LEVEL DERIVED FROM STANDARD SURVEY MARK FREMANTLE 58 (RL 21.19m)		CONTOUR LEGEND - 0.2m INTERVALS	
		MAJOR CONTOURS	00
		MINOR CONTOURS	

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SURVEYED ON	: 13/06/2024		
SURVEYOR	: AD	DRAWN	: JW
19 Brennan Way BELMONT WA 6104 Telephone (08) 9477 4477 Fax (08) 9477 4499 admin@landsurveys.net.au			
JOB No :	PLAN:	DRG:	REV. SHEET
2400591	- FS	- 002	- A 1 OF 1

0.
-



GROUND FLOOR - EXISTING
1:100

PROPOSED RENOVATIONS

CLIENT:
H. YOUNG

SITE ADDRESS:
**LOT 396 (No 85) DUKE STREET EAST
FREMANTLE**

GROUND FLOOR - EXISTING

DRAWN: RICCADONNA DESIGN	A3	SCALE: AS SHOWN	Rev ID	Change	Date
STATUS: DA SUBMISSION	REVISION: E		A	Initial Concept	19.05.24
			B	Initial Design	08.09.24
			C	Client Amendment	17.07.24
			D	Client Amendment	28.08.24
			E	DA Submission	18.11.24
PUBLISH DATE: Tuesday, 26 November 2024					

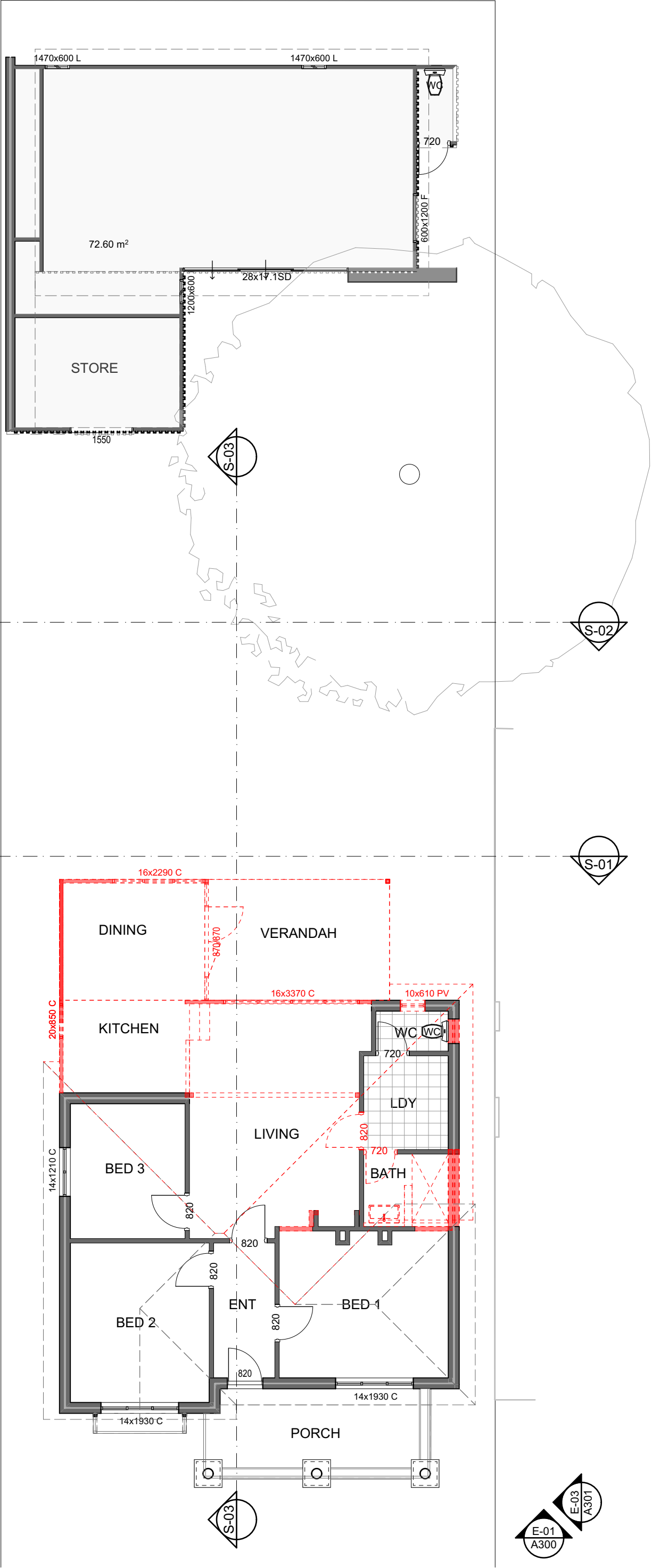
DRAWING NO.
A200

RyanCole
....building excellence

P.O. BOX 361 HILLARYS WA 6923
M : 0433 051 982
BUILDERS REC: #13054

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Project Partners
Refer to consultant documentation when directed
- Engineer - N/A
- Engineer - Structural Engineer
- Surveyor - N/A
- Interior Designer - TBC



PROPOSED RENOVATIONS

CLIENT:
H. YOUNG
SITE ADDRESS:
**LOT 396 (No 85) DUKE STREET EAST
FREMANTLE**

DRAWING TITLE:
GROUND FLOOR - DEMO

DRAWN: RICCADONNA DESIGN	A3	SCALE: AS SHOWN	Rev ID Change A Initial Concept B Client Amendment C Client Amendment D DA Submission	Date 19.06.24 08.07.24 17.07.24 28.08.24 18.11.24
STATUS: DA SUBMISSION		REVISION: E		
PUBLISH DATE: Tuesday, 26 November 2024				

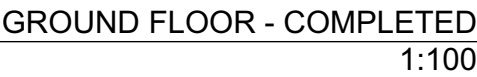


P.O. BOX 361 HILLARYS WA 6923
M : 0433 051 982
BUILDERS REG. # 13054

DRAWING NO.
A201

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- Certifier - N/A
- Engineer - Structural Engineer
- Surveyor - N/A
- Interior Designer - TBC



SITE ADDRESS:
LOT 396 (No 85) DUKE STREET EAST
FREMANTLE

DRAWN: RICCADONNA DESIGN	A3	SCALE: AS SHOWN
STATUS: DA SUBMISSION		REVISION: E
PUBLISH DATE: Tuesday, 26 November 2002		

P.O. BOX 361 HILLARYS WA 6923
M : 0433 051 982
BUILDERS REG. #13054

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GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS: UNLESS OTHERWISE SPECIFIED IN THE CONTRACT, AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK

A STANDARD APPLICABLE TO THE WORKS SHALL BE THE EDITION LAST PUBLISHED PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED

DIMENSIONS AND SCALED DRAWINGS: FIGURE DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. LARGER SCALED DRAWINGS SHOULD BE READ IN PREFERENCE TO SMALLER SCALED DRAWINGS. CONTRACTOR TO CHECK FOR DISCREPANCIES ALL FIGURED DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS
SITE MEASUREMENTS SUCH AS DOORS, WINDOWS, JOINERY, FIXED FURNITURE, FURNISHINGS, FENCING, PLANT EQUIPEMENT AND THE LIKE TO CONFIRM THE SUITABILITY OF THE DESIGN BEFORE COMMENCING FABRICATION AND IDENTIFY CHANGES REQUIRED TO DOCUMENTATION BEFORE FABRICATION

TIMBER CONSTRUCTION NOTES
ALL TIMBER TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS 1684 AND THE TIMBER STRUCTURES CODE AS 1720.1

ALL DIMENSIONS ARE SHOWN FROM BRICKWORK TO BRICKWORK AND CONCRETE TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HARDWALL PLASTER, SKIM COAT, EXTERNAL RENDER, STONE CLADDING, FLOOR FINISHES OR STAIR CLADDING

ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

FALLS TO SHOWER FLOORS 1:80
FALLS TO WET AREA FLOORS 1:100

TILE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIONS

CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS

PROVIDE ALL NECESSARY FIXINGS, FLASHINGS, PACKING AND SEALANTS REQUIRED TO ENSURE THE INSTALLATION IS COMPLETELY WATERTIGHT

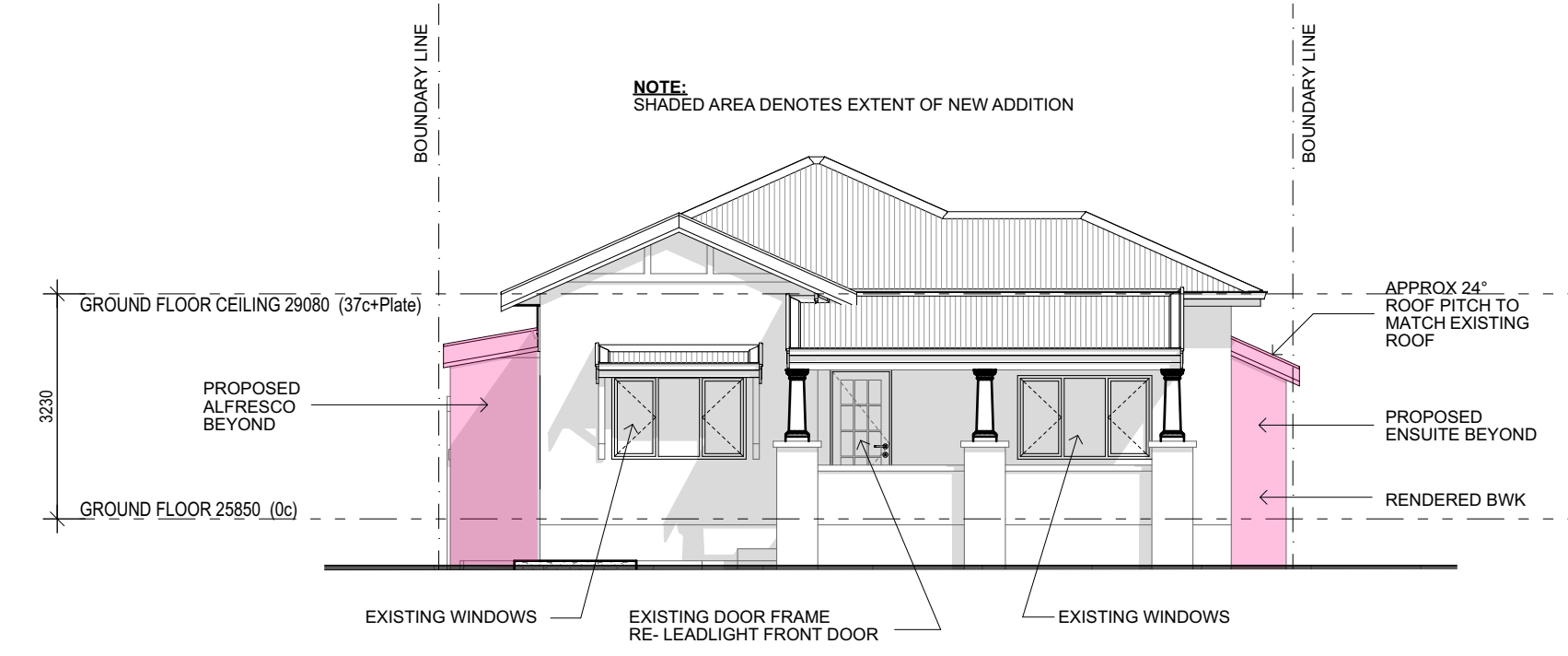
ALL GLAZING TO BE IN ACCORDANCE WITH AS1288
ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

BALUSTRADE NOTES
BALUSTRADE CONSTRUCTION TO COMPLY TO BCA PART 3.9.2
MINIMUM HEIGHT OF BALUSTRADE TO BE 1000MM ABOVE FLOOR LEVEL.
OPENINGS IN BALUSTRADE TO BE A MAXIMUM OF 125MM.

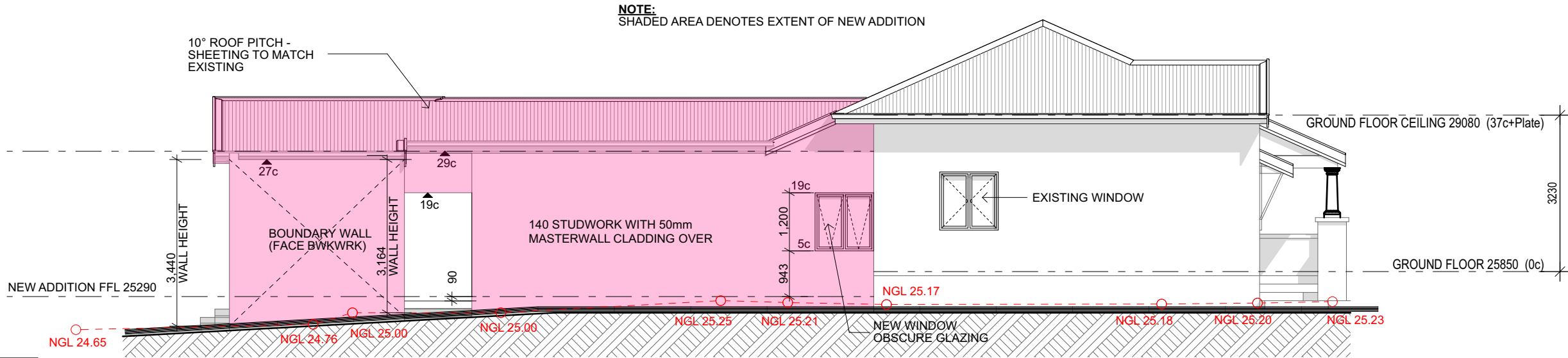
NOTE:
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TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

NOTE: REFER BUILDERS SPECIFICATION FOR ALL OWNER SUPPLIED AND INSTALLED ITEMS. CLARIFY EXACT SCOPE PRIOR TO ANY WORKS STARTING



E-01
-
STREET ELEVATION
1:100




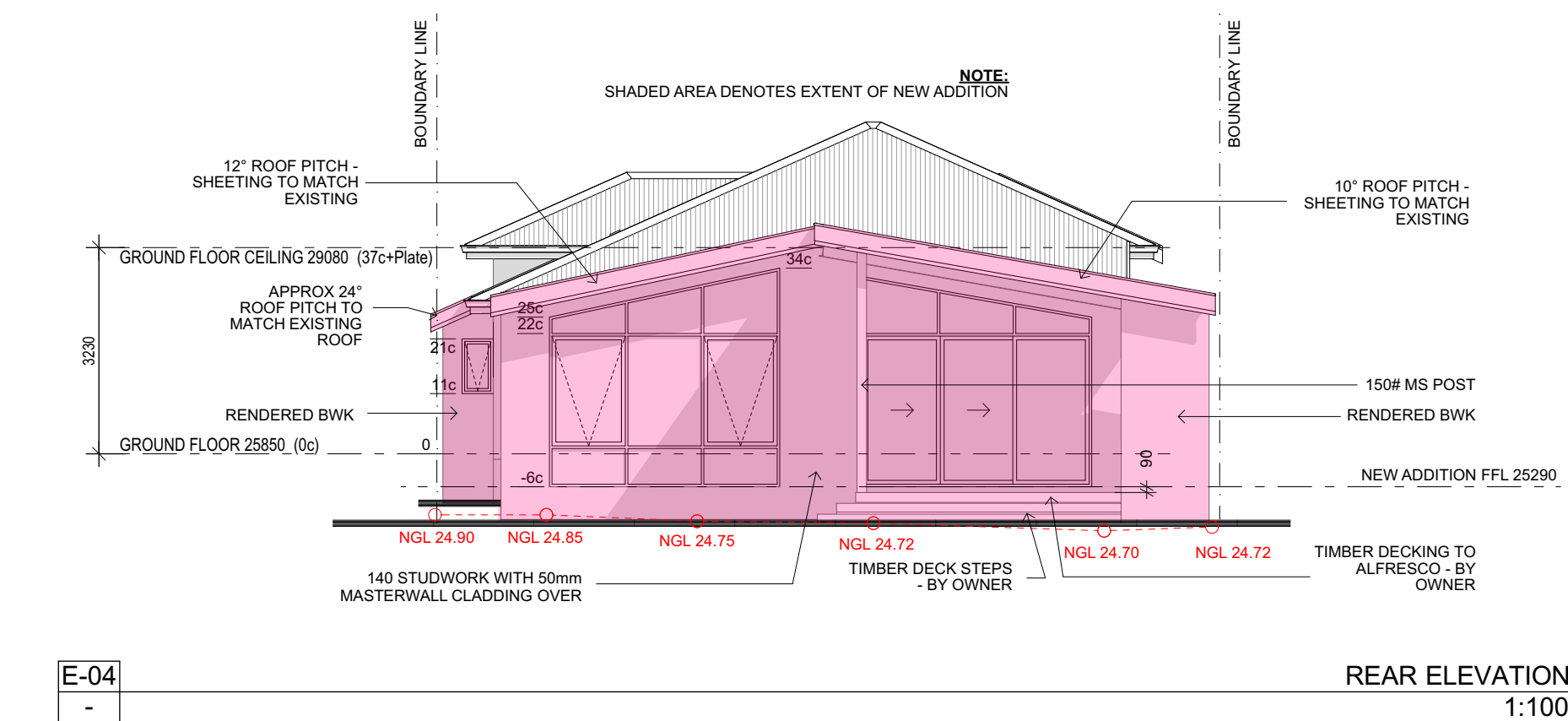
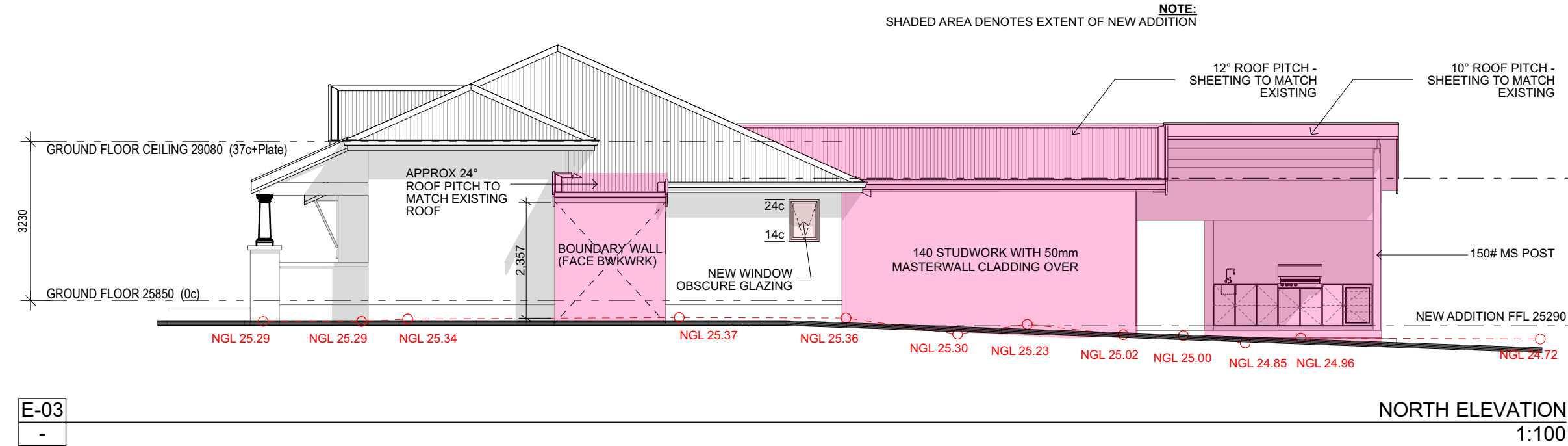
E-02
-
SOUTH ELEVATION
1:100

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- Landscape Designer - N/A
- Surveyor - N/A
- Interior Designer - TBC

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© COPYRIGHT	PROPOSED RENOVATIONS		DRAWING TITLE: ELEVATION 01 & 02					<div><div>RyanCole</div><div>....building excellence</div></div> <div>P.O. BOX 361 HILLARYS WA 6923 M : 0433 051 982</div> <div>BUILDERS REG. #13054</div> <div>DRAWING NO. A300</div>		
	CLIENT: H. YOUNG		DRAWN: RICCADONNA DESIGN	A3	SCALE: AS SHOWN	Rev ID	Change			Date
	SITE ADDRESS: LOT 396 (No 85) DUKE STREET EAST FREMANTLE		STATUS: DA SUBMISSION		E	A	Initial Concept			19.06.24
						B	Roof Option			08.07.24
			PUBLISH DATE: Tuesday, 26 November 2024			C	Client amendments			17.07.24
						D	Client amendments			28.08.24
			E	DA Submission		18.11.24				



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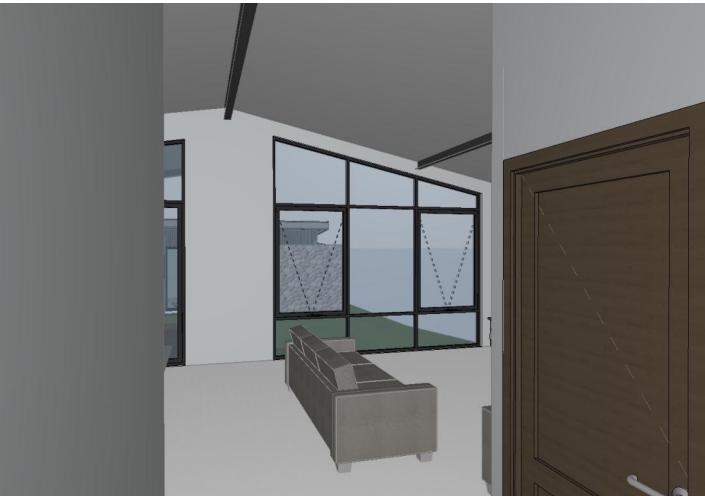
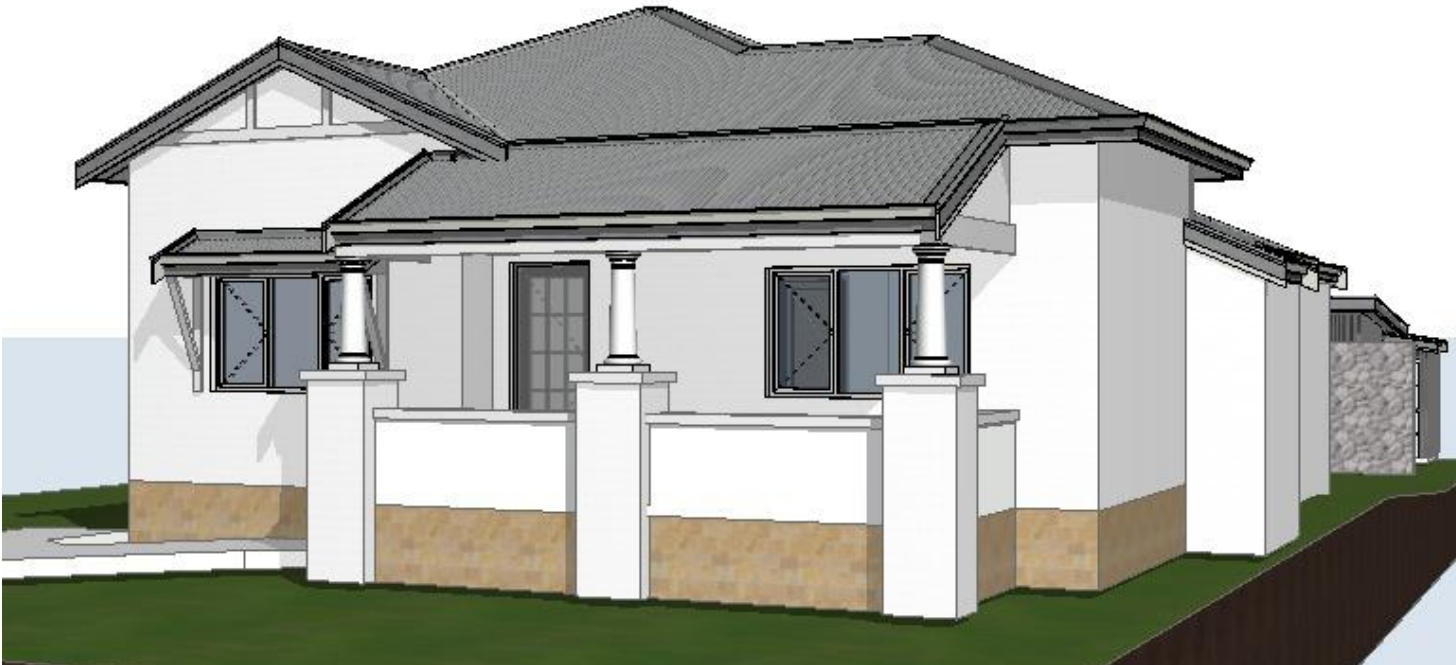
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© COPYRIGHT	PROPOSED RENOVATIONS		DRAWING TITLE: ELEVATION 03 & 04				 P.O. BOX 361 HILLARYS WA 6923 M : 0433 051 982 BUILDERS REG. #13054				DRAWING NO. A301
	CLIENT: H. YOUNG		DRAWN: RICCADONNA DESIGN		A3	SCALE: AS SHOWN					
	SITE ADDRESS: LOT 396 (No 85) DUKE STREET EAST FREMANTLE		STATUS: DA SUBMISSION		REVISION: E						
	PUBLISH DATE: Tuesday, 26 November 2024										



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- Interior Designer - TBC

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	CLIENT: H. YOUNG			DRAWN: RICCADONNA DESIGN	A3	SCALE: AS SHOWN	Rev ID	Change				Date		
	SITE ADDRESS: LOT 396 (No 85) DUKE STREET EAST FREMANTLE												STATUS: DA SUBMISSION	REVISION: E
	PUBLISH DATE: Tuesday, 26 November 2024													

GUTTERS/FASCIA
ZINCALUME FINISH TO MATCH
EXISTING HOME

WINDOW FRAMES
CHARCOAL LUSTRE

ROOF
CUSTOM ORB PROFILE
ZINCALUME FINISH TO MATCH
EXISTING HOME

STEELWORK
DULUX GRID

WALLS
RENDER FINISH
DULUX WHISPER WHITE


DECKING
MERBAU DECKING IN TEAK STAIN

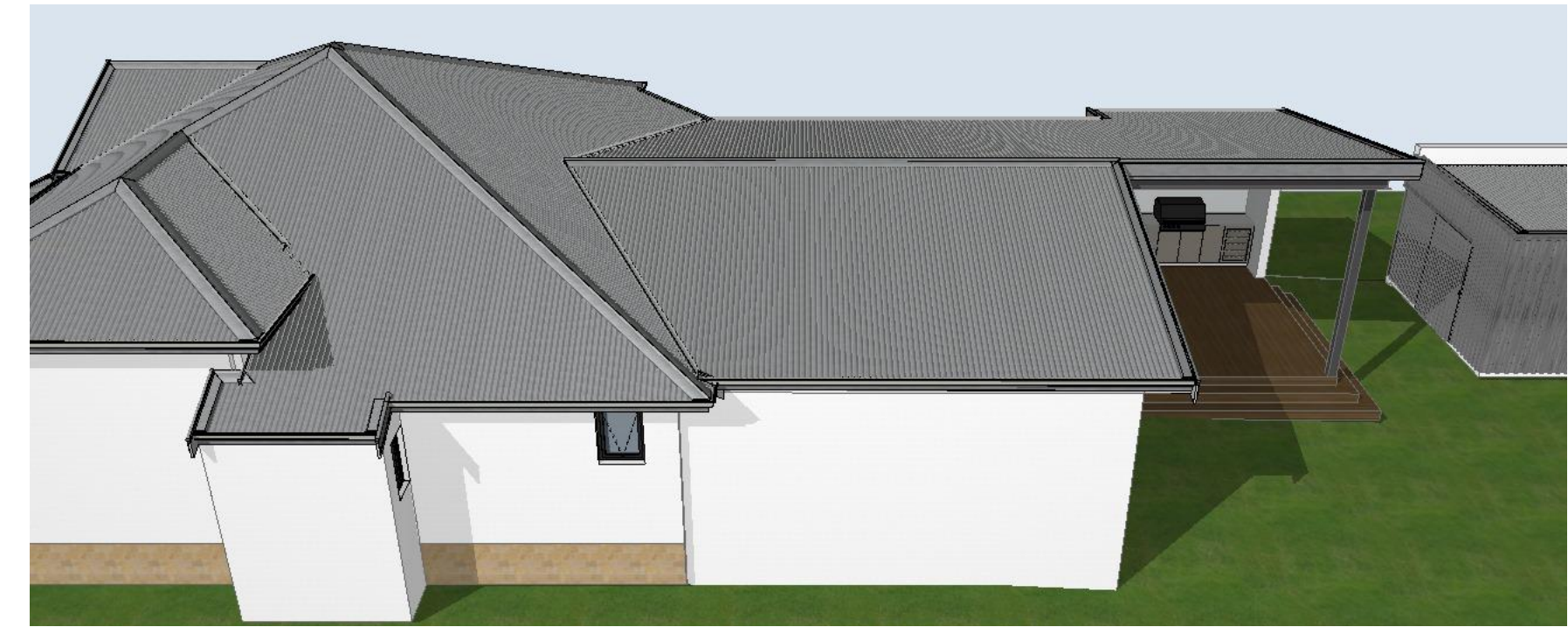
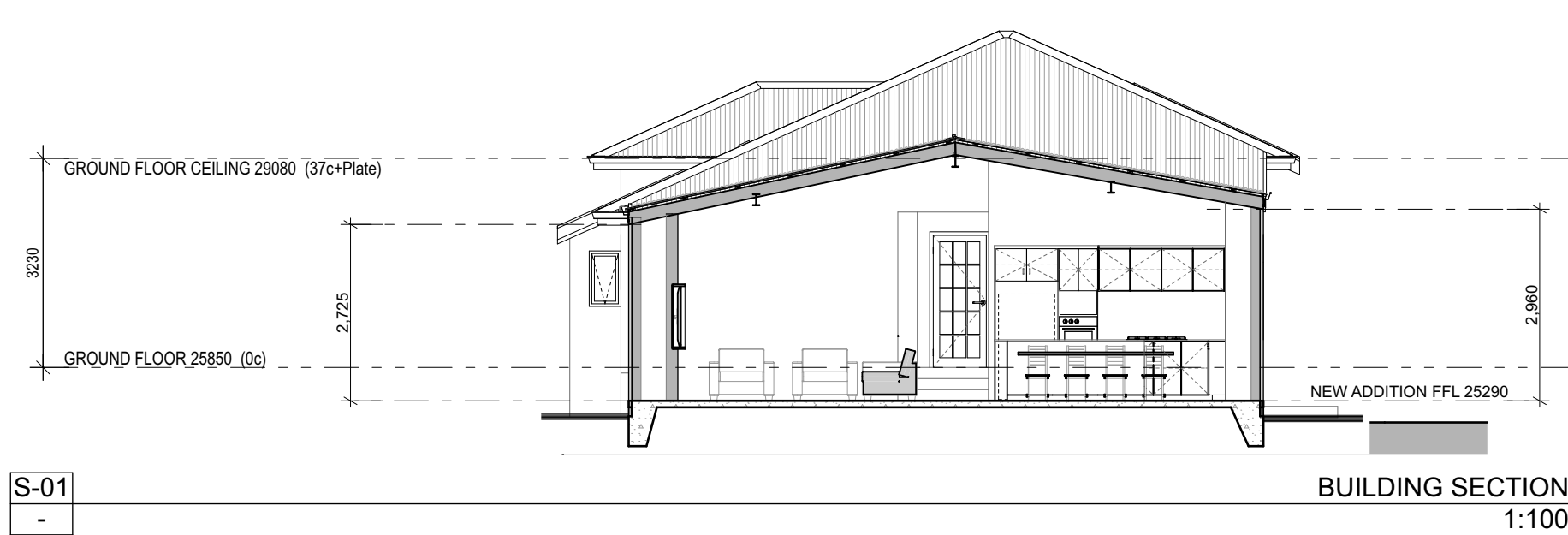


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- Surveyor - N/A
- Interior Designer - TBC

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	CLIENT: H. YOUNG			DRAWN: RICCADONNA DESIGN		A3	SCALE: AS SHOWN				Rev ID	Change	Date
	SITE ADDRESS: LOT 396 (No 85) DUKE STREET EAST FREMANTLE			STATUS: DA SUBMISSION			REVISION: <div>E</div>	A			Initial Concept	19.06.24	
				PUBLISH DATE: Tuesday, 26 November 2024		B		Roof Option			08.07.24		
						C		Client amendments			17.07.24		
								D			Client amendments	28.08.24	
			E	DA Submission	18.11.24								



GENERAL NOTES

IF IN DOUBT ASK - DO NOT SCALE

AUSTRALIAN STANDARDS: UNLESS OTHERWISE SPECIFIED IN THE CONTRACT, AND WHERE APPLICABLE, MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT STANDARD OF THE STANDARDS ASSOCIATION OF AUSTRALIA. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE THAT THE SUBCONTRACTORS ARE FAMILIAR WITH ALL RELEVANT AUSTRALIAN STANDARDS APPLICABLE TO THEIR WORK

A STANDARD APPLICABLE TO THE WORKS SHALL BE THE EDITION LAST PUBLISHED PRIOR TO THE CLOSING DATE FOR THE TENDERS UNLESS OTHERWISE SPECIFIED

DIMENSIONS AND SCALED DRAWINGS: FIGURE DIMENSIONS ON CONTRACT DOCUMENTS SHALL BE READ IN PREFERENCE TO SCALE. LARGER SCALED DRAWINGS SHOULD BE READ IN PREFERENCE TO SMALLER SCALED DRAWINGS. CONTRACTOR TO CHECK FOR DISCREPANCIES ALL FIGURED DIMENSIONS BEFORE COMMENCING ANY WORK OR SHOP DRAWINGS
SITE MEASUREMENTS SUCH AS DOORS, WINDOWS, JOINERY, FIXED FURNITURE, FURNISHINGS, FENCING, PLANT EQUIPEMENT AND THE LIKE TO CONFIRM THE SUITABILITY OF THE DESIGN BEFORE COMMENCING FABRICATION AND IDENTIFY CHANGES REQUIRED TO DOCUMENTATION BEFORE FABRICATION

TIMBER CONSTRUCTION NOTES
ALL TIMBER TO BE CARRIED OUT IN ACCORDANCE WITH THE NATIONAL TIMBER FRAMING CODE AS 1684 AND THE TIMBER STRUCTURES CODE AS 1720.1

ALL DIMENSIONS ARE SHOWN FROM BRICKWORK TO BRICKWORK AND CONCRETE TO CONCRETE. NO ALLOWANCE HAS BEEN MADE FOR HARDWALL PLASTER, SKIM COAT, EXTERNAL RENDER, STONE CLADDING, FLOOR FINISHES OR STAIR CLADDING

ALL WORKS SHALL BE CARRIED OUT IN A WORKMANLIKE MANNER

FALLS TO SHOWER FLOORS 1:80
FALLS TO WET AREA FLOORS 1:100

TILE LINES ARE INDICATIVE ONLY AND SUBJECT TO FINAL SELECTIONS

CABINETWORK AND ALL FIRST FIT PLUMBING SPUDS AND ELECTRICAL BOXES ARE DIMENSIONED FROM MAIN SLAB LEVELS - NOT SETDOWN LEVELS OR FINISHED FLOOR LEVELS

PROVIDE ALL NECESSARY FIXINGS, FLASHINGS, PACKING AND SEALANTS REQUIRED TO ENSURE THE INSTALLATION IS COMPLETELY WATERTIGHT

ALL GLAZING TO BE IN ACCORDANCE WITH AS1288
ALL DOORS AND WINDOWS TO BE FITTED WITH APPROVED SEALS

BALUSTRADE NOTES
BALUSTRADE CONSTRUCTION TO COMPLY TO BCA PART 3.9.2
MINIMUM HEIGHT OF BALUSTRADE TO BE 1000MM ABOVE FLOOR LEVEL.
OPENINGS IN BALUSTRADE TO BE A MAXIMUM OF 125MM.

NOTE:
THESE DOCUMENTS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DOCUMENTS AND SPECIFICATIONS


TERMITE TREATMENT NOTE:
REFER SPECIFICATIONS FOR ALL TERMITE TREATMENTS DETAILS AND LOCATIONS REQUIRED. INSTALL STRICTLY TO RELEVANT CODES AND REGULATIONS

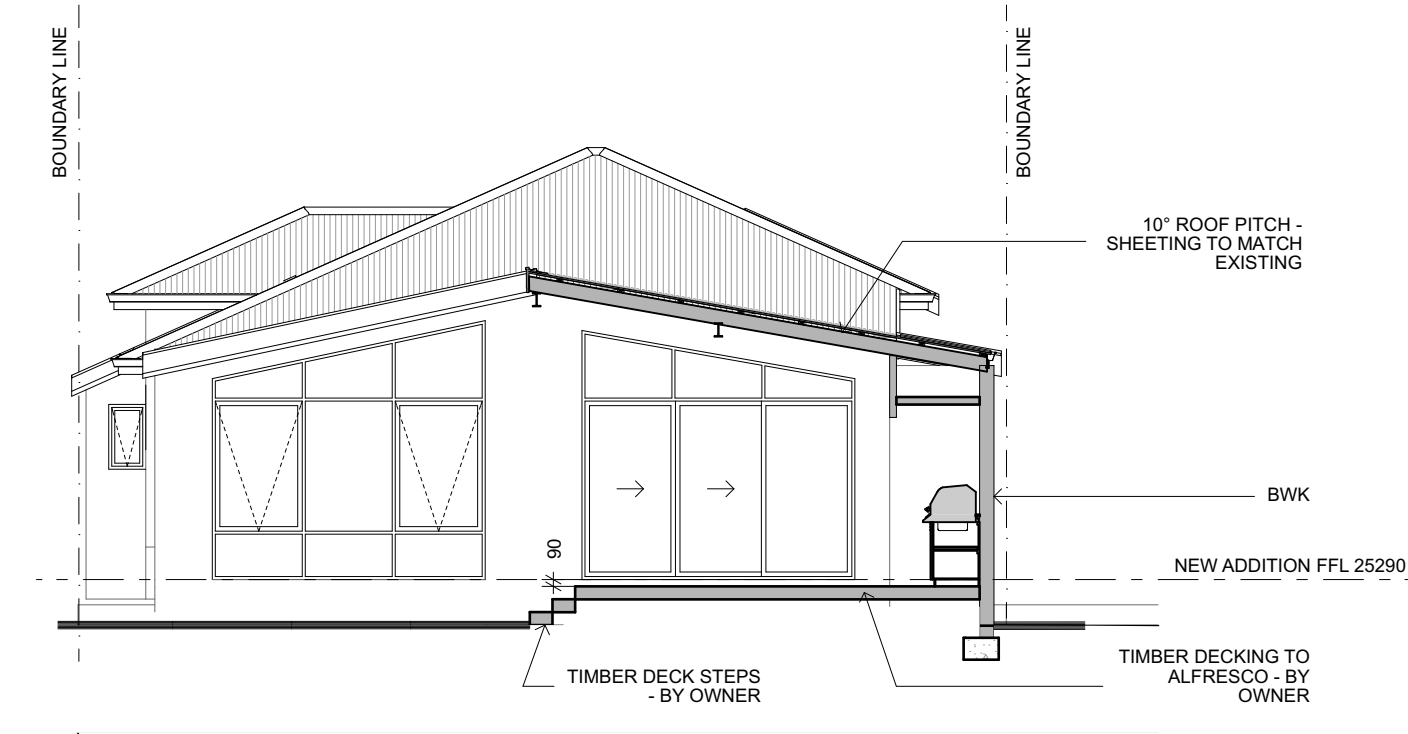
NOTE: REFER BUILDERS SPECIFICATION FOR ALL OWNER SUPPLIED AND INSTALLED ITEMS. CLARIFY EXACT SCOPE PRIOR TO ANY WORKS STARTING

NOTE
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the designer. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by Riccadonna Design and is to be used only for work when authorised in writing by the builder.
It is the contractors responsibility to confirm all measurements on site and locations of any services prior to work on site.
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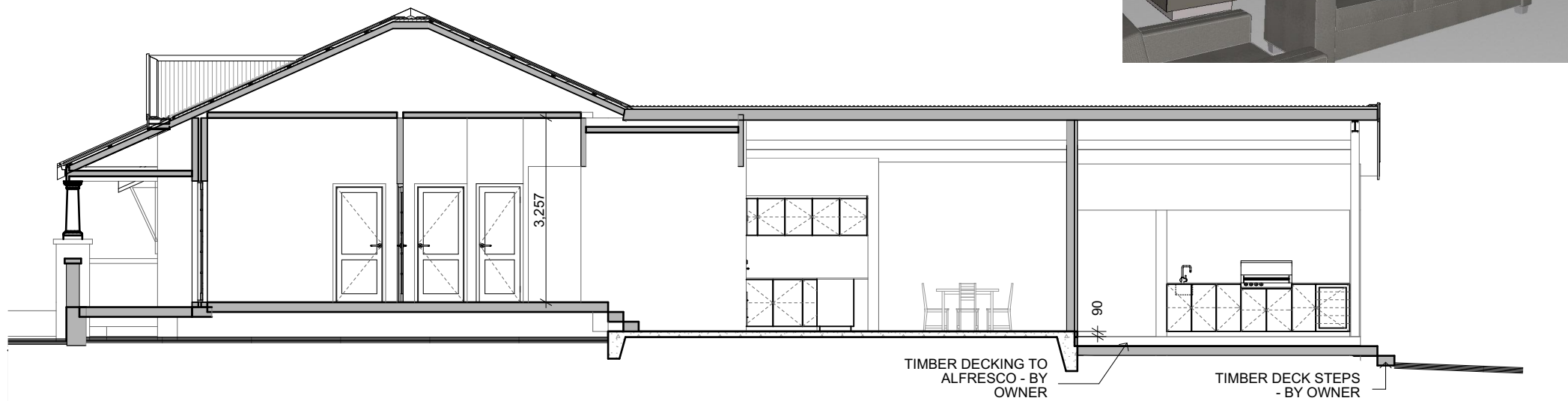
Project Partners
Refer to consultant documentation when directed
- Builder - TBC
- Certifier - N/A
- Engineer - #Structural Engineer
- Landscape Designer - N/A
- Surveyor - N/A
- Interior Designer - TBC

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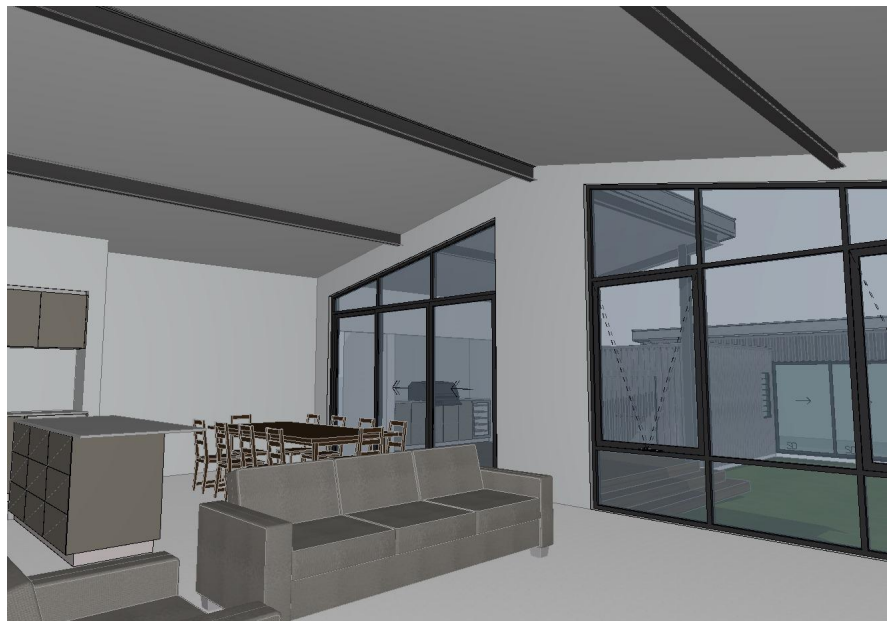
© COPYRIGHT	PROPOSED RENOVATIONS		DRAWING TITLE: S-01 SECTION					<div> P.O. BOX 361 HILLARYS WA 6923 M : 0433 051 982 BUILDERS REG. #13054</div> <div>DRAWING NO. A400</div>		
	CLIENT: H. YOUNG		DRAWN: RICCADONNA DESIGN	A3	SCALE: AS SHOWN	Rev ID	Change			Date
	SITE ADDRESS: LOT 396 (No 85) DUKE STREET EAST FREMANTLE		STATUS: DA SUBMISSION		REVISION: E	A	Initial Concept			19.06.24
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PUBLISH DATE: Tuesday, 26 November 2024										



S-02
-
BUILDING SECTION
1:100



S-03
-
BUILDING SECTION
1:100



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- Engineer - #Structural Engineer
- Landscape Designer - N/A
- Surveyor - N/A
- Interior Designer - TBC

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PROPOSED RENOVATIONS

CLIENT:

H. YOUNG

SITE ADDRESS:

**LOT 396 (No 85) DUKE STREET EAST
FREMANTLE**

DRAWING TITLE:

S-02 & S-03 SECTION

DRAWN:
RICCADONNA DESIGN

A3

SCALE:
AS SHOWN

STATUS:
DA SUBMISSION

REVISION:

E

PUBLISH DATE:

Tuesday, 26 November 2024

Rev ID	Change	Date
A	Initial Concept	19.06.24
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P.O. BOX 361 HILLARYS WA 6923
M : 0433 051 982

BUILDERS REG. #13054

DRAWING NO.

A401