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DUKE STREET EAST FREMANTLE

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Image 01 - Streetscape perspective from driveway



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05/06/2025
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NOTE:
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client:
RA JA
address:
57 DUKE STREET
EAST FREMANTLE, WA
lot/DP:
Lot: 382 // P: 1690 // T: 1840/37

No:	ISSUE:	DATE:
F	Pre DA Issue - 01	May, 2025
G	DA Issue - 01	May, 2025



issue:
g
project no:
2024/25 - 08

drawing:
Cover Page
+ Drawing Register
DA Issue
scale:
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sheet no:
01
of 10 Pages



Image 01 - Vertical Cladding. Perspective from corner of rear yard



Image 02 - Vertical Cladding. Perspective from corner of rear yard



Image 03 - Vertical Cladding. Perspective from driveway area



Image 04 - Vertical Cladding. Perspective from corner of rear yard (Aerial View)

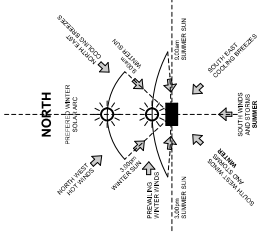
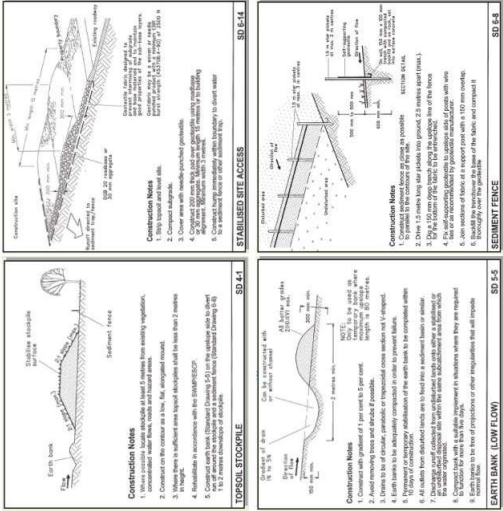


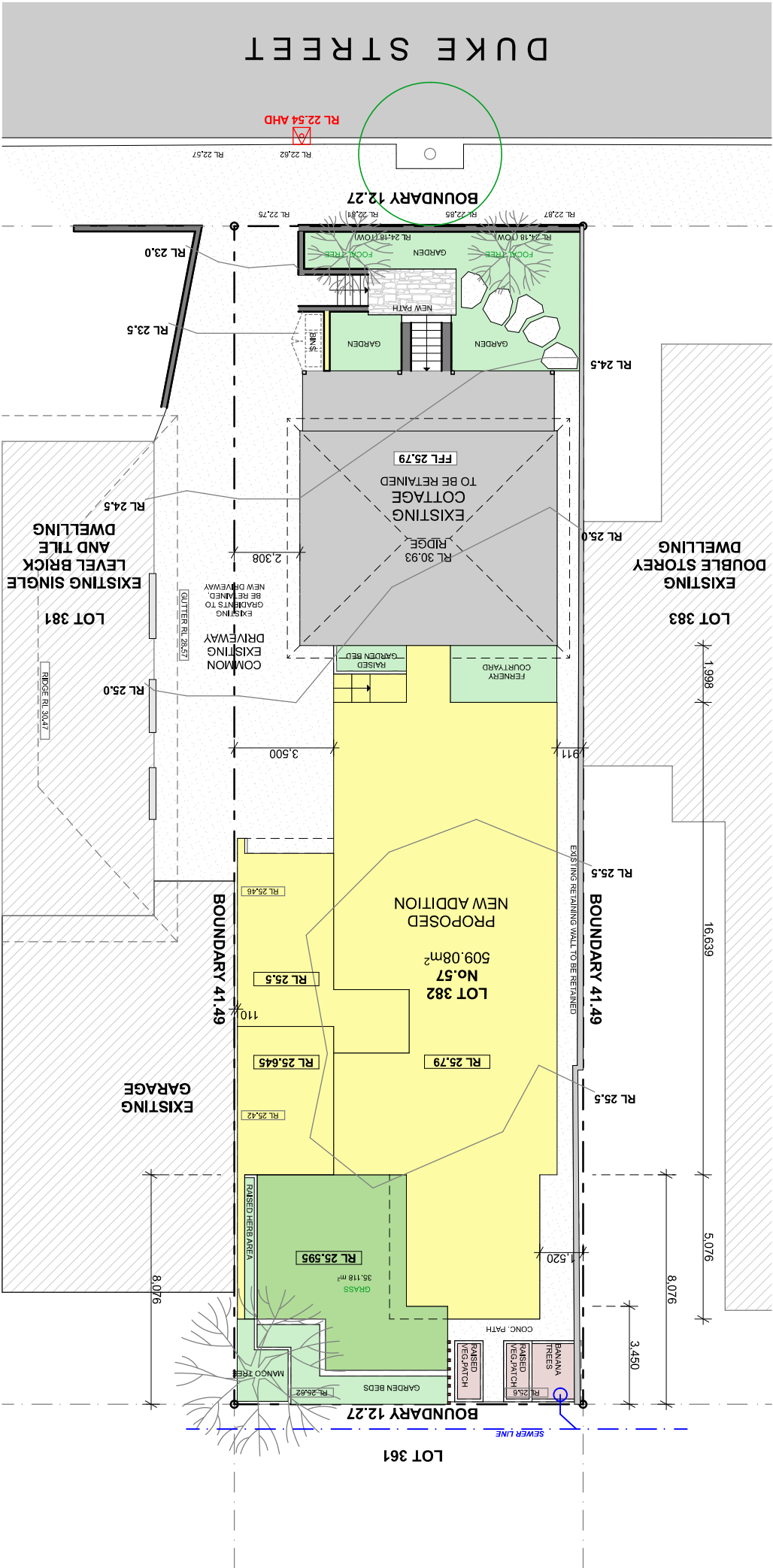
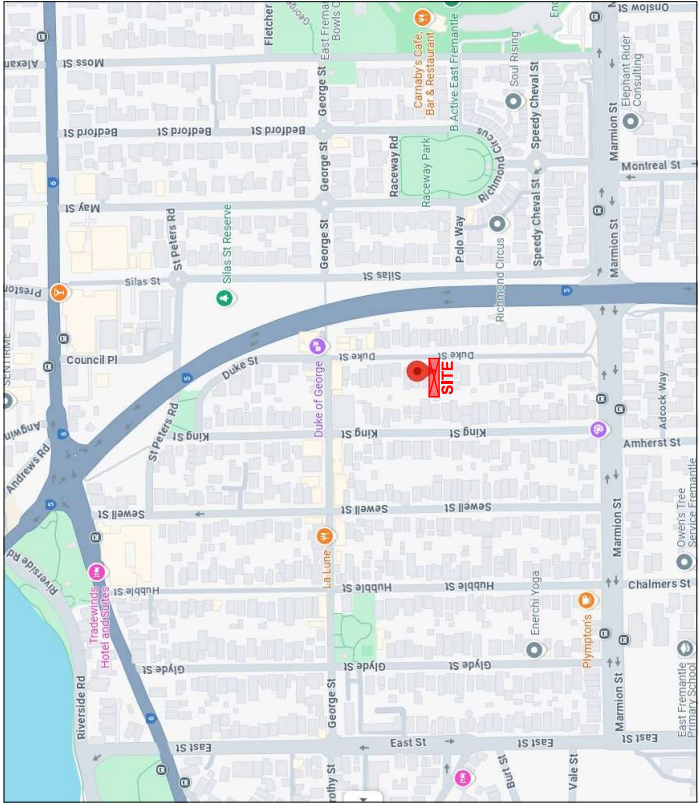
TABLE OF AREAS

SITE AREA	509.08m ²
FLOOR AREA	
EXISTING COTTAGE	68.4m ²
GROUND FLOOR ADDITION	151.36m ²
GARAGE	23.0m ²
ALFRESCO	15.8m ²
PORCH	18.0m ²
SIDE PORCH	2.5m ²
ATTIC	32.0m ²
SITE COVER	285.9m ² OR 56%
LANDSCAPING (EXCLUDES PATHS, DRIVEWAY AND ALFRESCO)	81.065m ² OR 15.9%



SEDIMENT CONTROL MEASURES

- ALL SEDIMENT CONTROL MEASURES ARE TO BE IN ACCORDANCE WITH LOCAL COUNCIL GUIDELINES. ENCLOSE ALL NEW WORK AREAS WITH SEDIMENT FENCING, MONITOR AND CHECK REGULARLY.
- Provide Sediment control fencing to site perimeter as required by governing body.
 - Provide temporary silt trap to run off areas.
 - Provide temporary construction exits.
 - Erosion sediment control measures are to be maintained throughout the duration of the works and not to be removed before the surface has been fully stabilised
 - Protection measures are to be checked regularly and after all rainfall events
 - Connect roof gutters to inground stormwater system or tanking system when installed.
 - No vehicle crossing or stockpiling of material on vegetation buffer.
 - All sedimentation control structures to be inspected and maintained by site manager daily
 - All sediment retaining structures to be cleaned on reaching 50% storage capacity
 - All existing vegetation will be retained outside the construction site.
 - Clean sediment from footpaths, driveways and roads daily.
 - Roof drainage via sealed pipeline to street gutter on roof completion.



Shop drawings. Report any discrepancies or omissions immediately. The architect/building designer takes no responsibility for additional work undertaken on site that has not been documented or approved by local authorities. For Alterations and Additions, all Dimensions and R_ts shown are indicative only, builder to check prior to commencement of work and adjust if necessary once approved and confirmed by Designer.

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lot/DP: EAST FREMANTLE, WA

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May. 2023

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2024/25 - 08

DA Issue

sheet no:

40

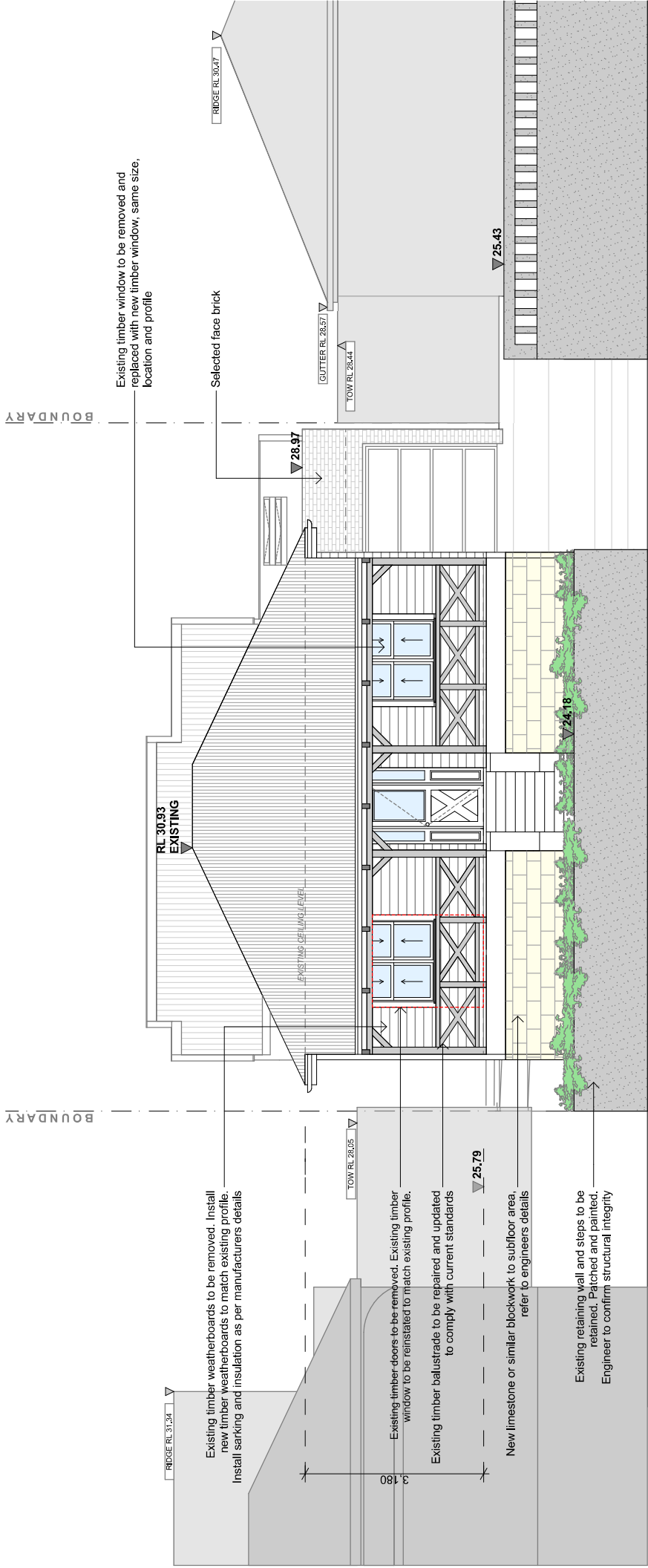
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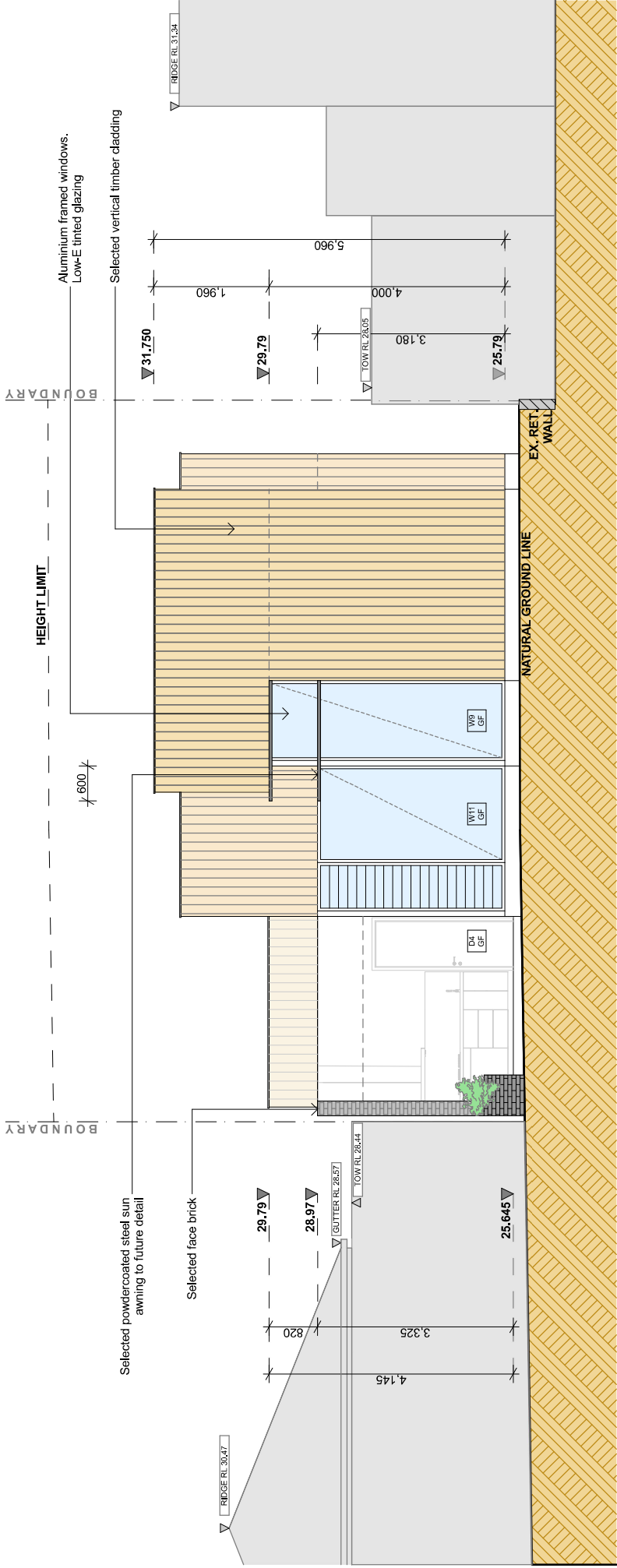
Ground Floor Plan
1:100

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05/06/2025

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East + Streetscape Elevation
1:100



West Elevation
1:100

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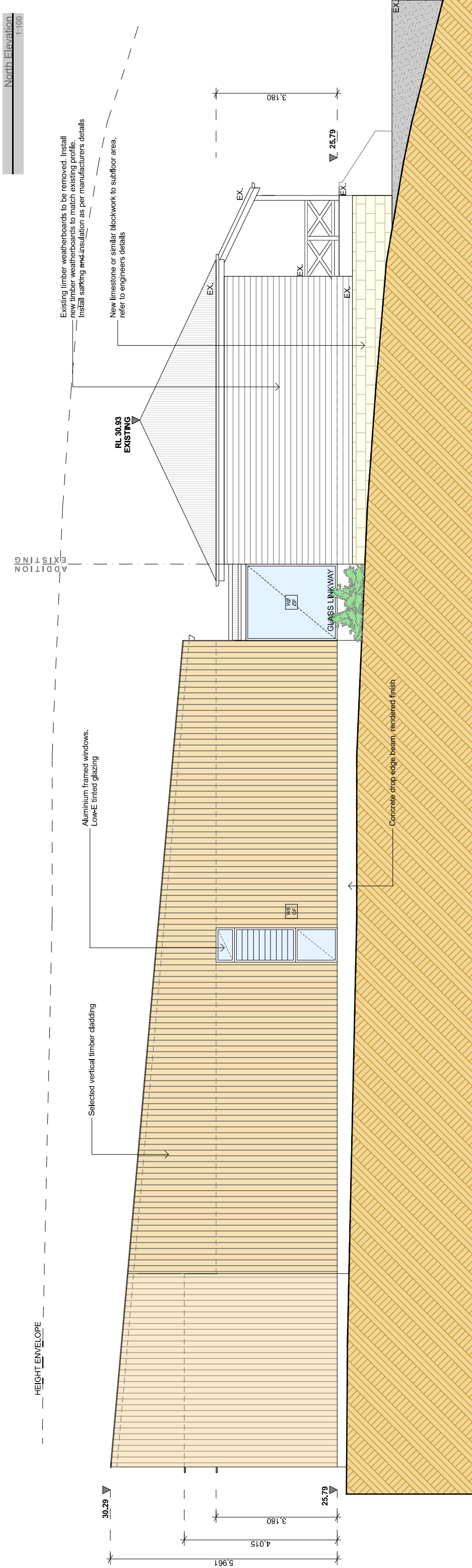
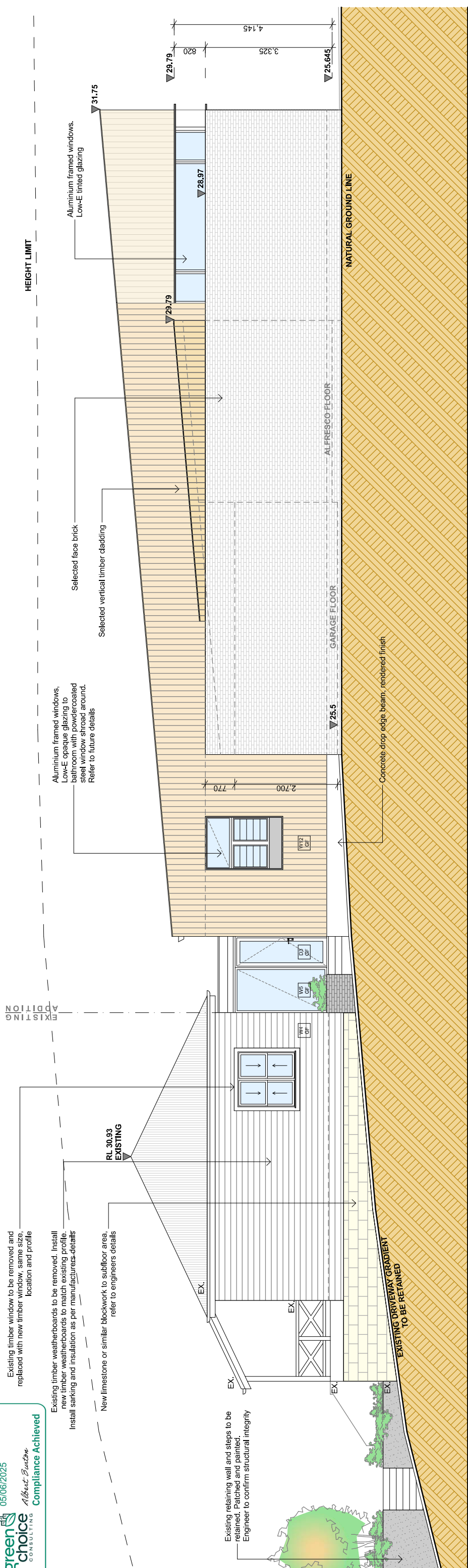
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May, 2025
May, 2025

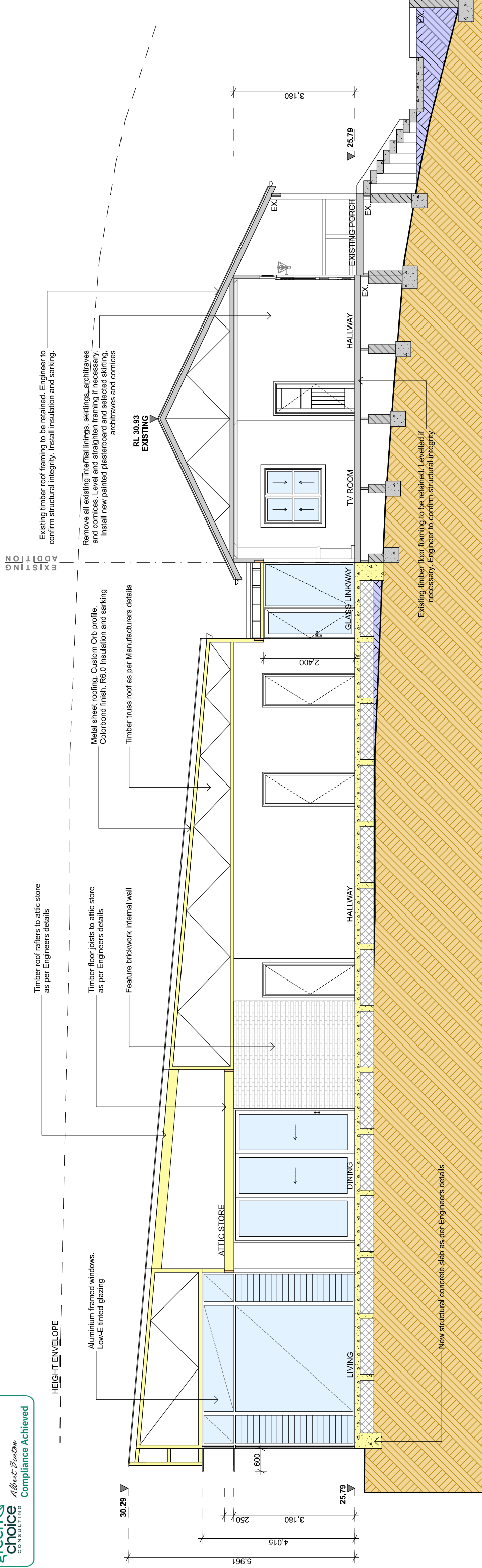


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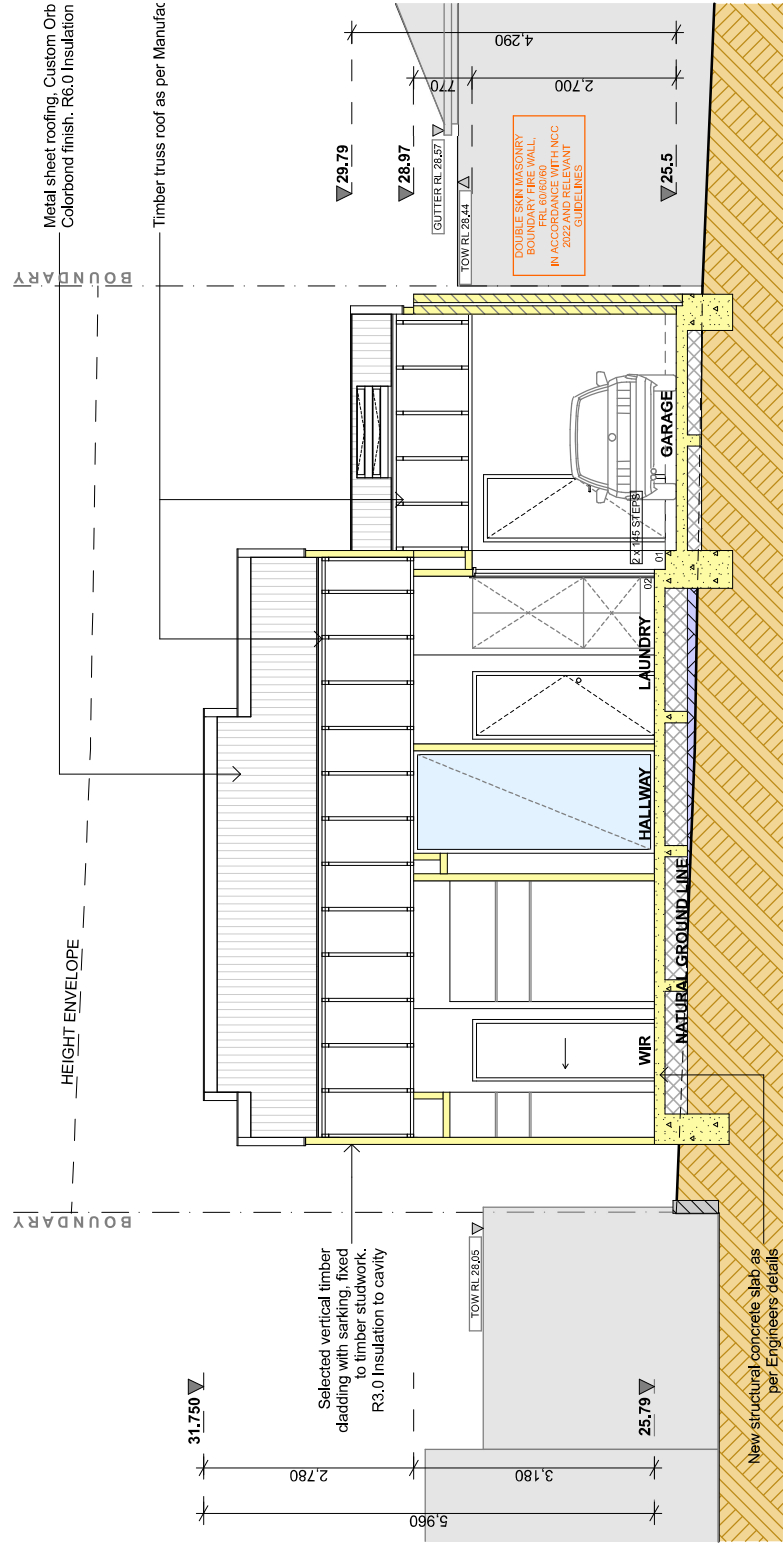
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Elevations
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scale:
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sheet no:
05
of 10 Pages

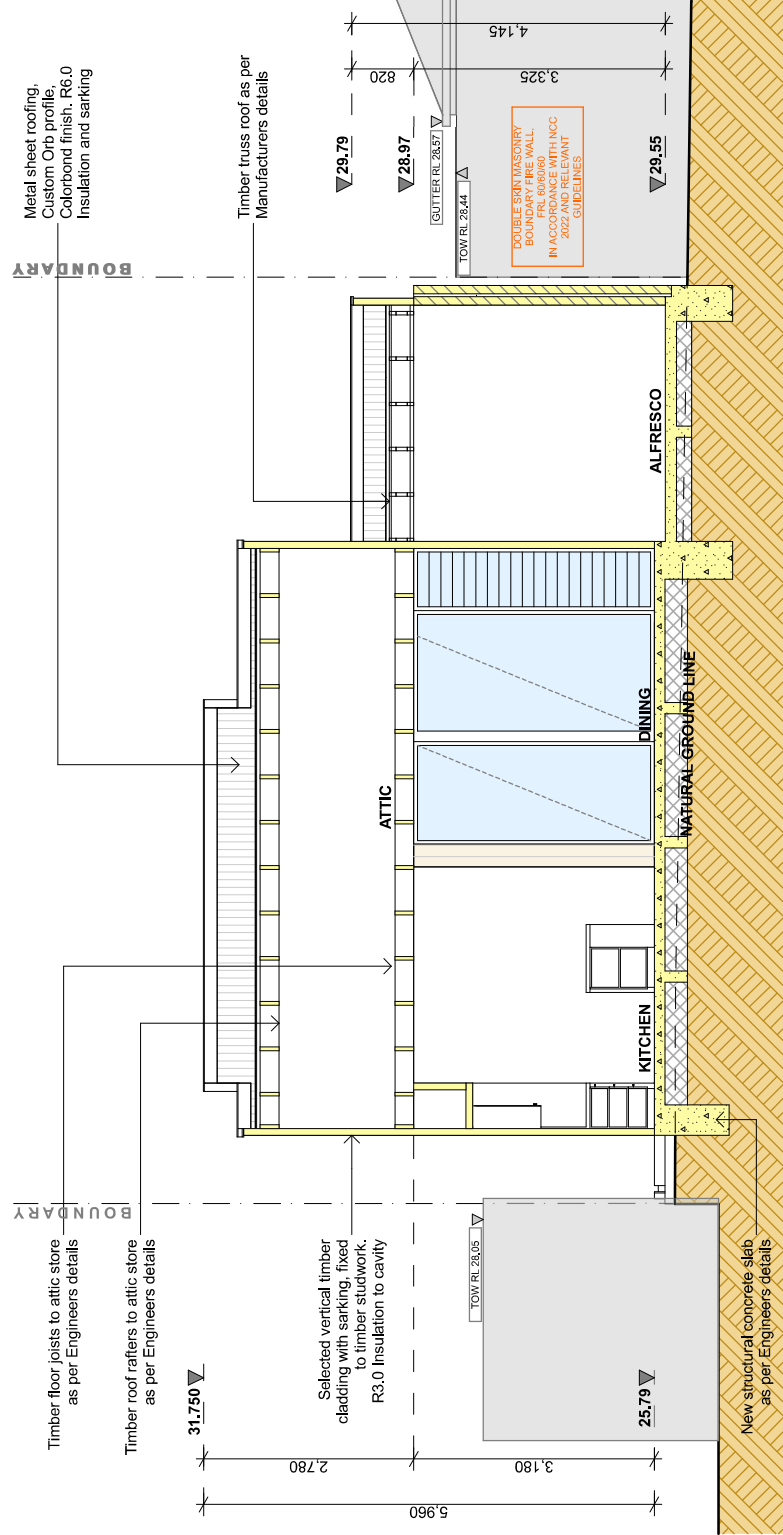




Section 01
1:100



Section 02
1:100



Section 03
1:100

DEMOLITION NOTE

Demolition work is carried out in accordance with Australian Standard AS2601: The demolition of structures (AS 2601)

ASBESTOS NOTE

If asbestos is encountered during construction or demolition work, measures must be in place in accordance with relevant guidelines. Work must not commence until all the necessary safeguards required by authorities are fully in place. Contractors who are licensed for asbestos disposal by authorities must only carry out the removal and disposal of asbestos from demolition and construction sites.

Prior to commencing work on demolition sites where buildings containing asbestos are to be demolished, a commercially manufactured sign containing the words "DANGER ASBESTOS REMOVAL IN PROGRESS" measuring 400mm x 300mm (see below) is to be erected in a prominent visible position on the site in accordance with AS1319 "Safety Signs for the Occupational Environment".

The applicant shall notify adjoining residents in writing five (5) working days prior to the demolition of asbestos buildings.

Asbestos waste must only be disposed of at a landfill authorised to receive such waste and transported safely and securely in accordance with the relevant guidelines.

NOTES:

STORMWATER:

Roof water from the proposed new work is to be directed to the proposed water tank with a minimum capacity of 3,000 litres and being reticulated to 3 x external landscaping taps, with a mains water top up being installed to maintain between 10% and 15% of the tank capacity.

The water tank and plumbing is to be designed in accordance with the Plumbing Code of Australia (National Construction Code Volume 3).

Overflows from the roof water tank and any additional discharge controls (if required) are to be directed to Council's drainage system by means of an interallotment drainage line or underground pipe directly to the street gutter.

Full details are to be included in documentation for a Construction Certificate application.

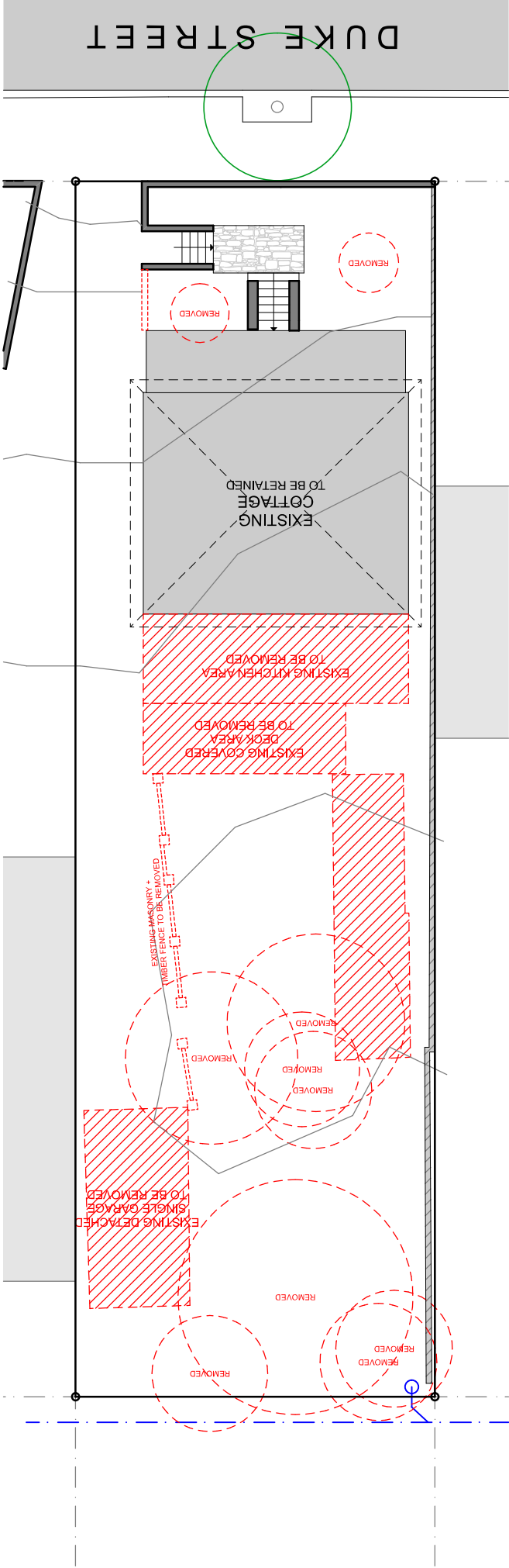
Stormwater Lines shown above are diagrammatic and for conceptual purposes only. All existing and proposed stormwater lines are to be located within the boundary.



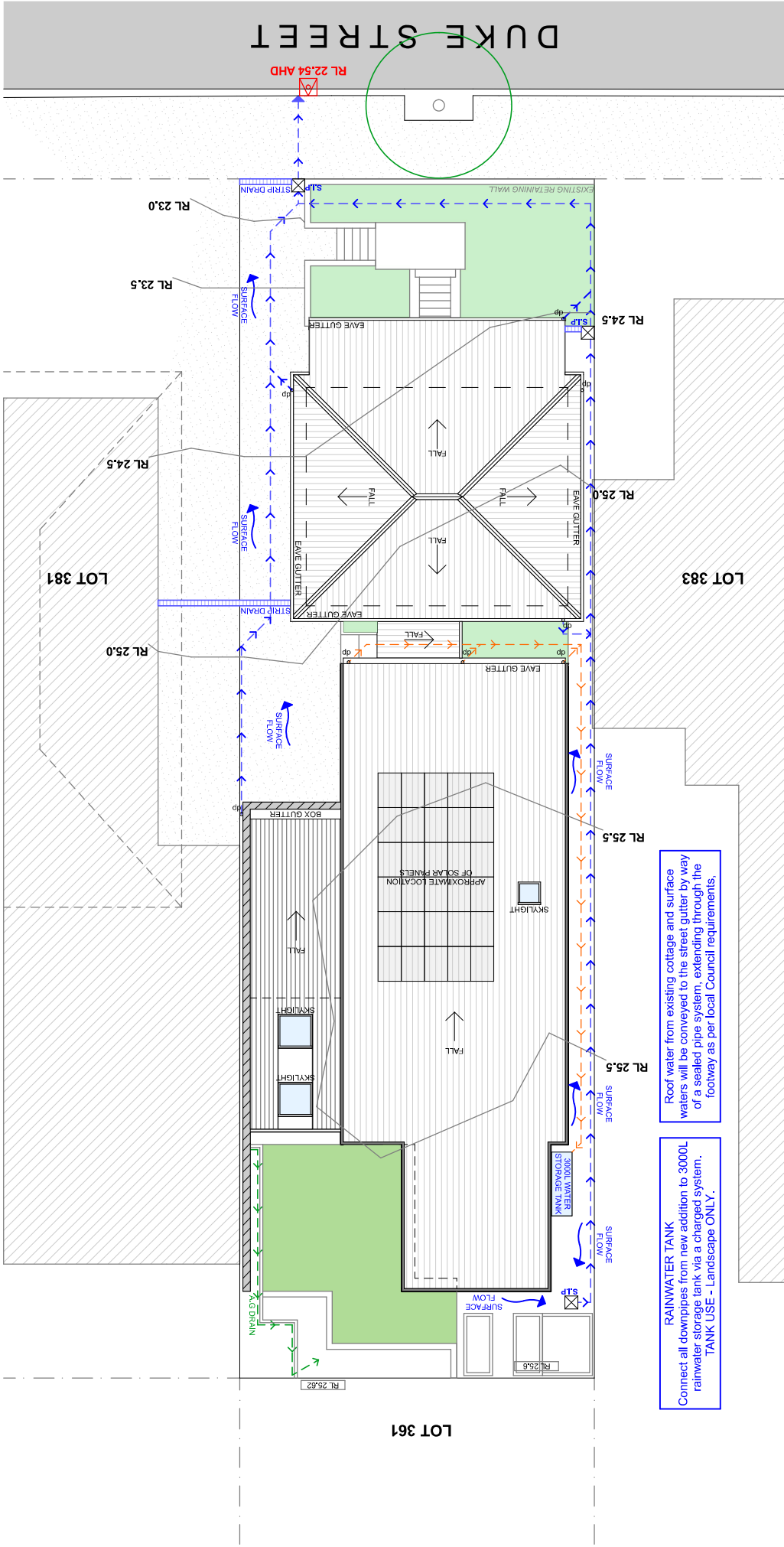
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Demolition Plan 1:100



Roof + Stormwater Plan 1:100

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No: F G
ISSUE: Pre DA Issue - 01 DA Issue - 01
DATE: May, 2025 May, 2025

drawing: Roof+Stormwater Plan and Demolition Plan
DA Issue
scale: As Shown at A3

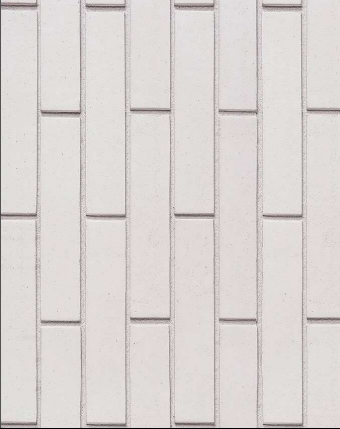
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CONCEPTUAL
IMAGES



MATERIALS
+ COLOURS



MATERIAL - Feature Brick



MATERIAL - Slimline White Brick



MATERIAL - Urbanstone



MONUMENT



Colorbond

MATERIAL - Feature Brick
Selected Slimline White Brick
La Paloma Grande 50 - URBANSTONE
Blade and Garage Walls

COLOUR
MONUMENT - Colorbond
Aluminium Window Frames, New Addition
Roof Colour, New Addition Capping,
New Addition Gutters

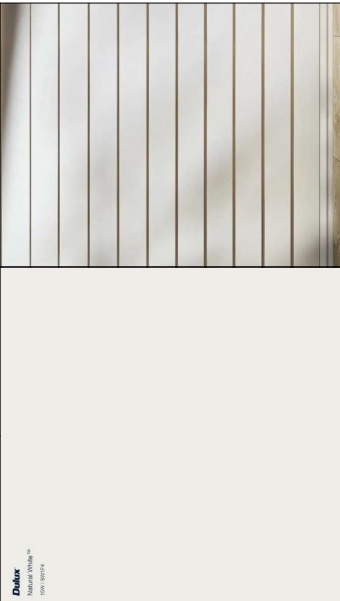
MATERIAL
Natural Timber External Cladding
Vertical Profile
Species - To be advised



Dulux
Natural White™
Paint System



Limestone Blockwork



Dulux
Natural White™
Paint System



Colorbond



Dulux
Natural White™
Paint System

COLOUR
SURFMIST - Colorbond
Cottage Roof and Gutter Colour

MATERIAL
Limestone Blockwork
Cottage subfloor external
walls

COLOUR
Natural White - Dulux
Cottage Cladding Colour, Cottage
Posts, Trims, Fascia + Balustrade
Colour, & Timber Window Colour

MATERIAL
Horizontal Composite Painted
Weatherboards
Supplier - To be advised



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05/06/2025
Albert Burton
Compliance Achieved

PRECEDENT
IMAGES

