



CLIENT:

WILLOUGHBY & ROCHE

SITE ADDRESS:

LOT 3 (#5) OSBORNE ROAD EAST
FREMANTLE WA 6158

- SHEET 01 - COVER SHEET
- SHEET 02 - EXISTING SITE
- SHEET 03 - SITE PLAN
- SHEET 04 - FLOOR PLAN GF
- SHEET 05 - FLOOR PLAN FF
- SHEET 06 - ELEVATIONS



<u>AREA</u>	<u>ESTABLISHED</u>		
<u>SEWERAGE</u>	YES	<u>DEPTH</u>	2.88
<u>WATER</u>	TBC	<u>PRELAI</u>	NO
<u>ELECTRICAL</u>	TBC	U/G	
<u>TELECOM</u>	YES, TBC		
<u>GAS</u>	TBC		
<u>DRAFTED</u>	SSW	<u>SURVEYOR</u>	MR

SURVEY	
* DATUM	
o PF PEG FOUND	
o PG PEG GONE	

 SEW SEWER MANHOLE
 IO INSPECTION OPENING
 IS INSPECTION SHAFT

- M WATER METER
- H HYDRANT
- F FLUSH POINT
- V STOP VALVE

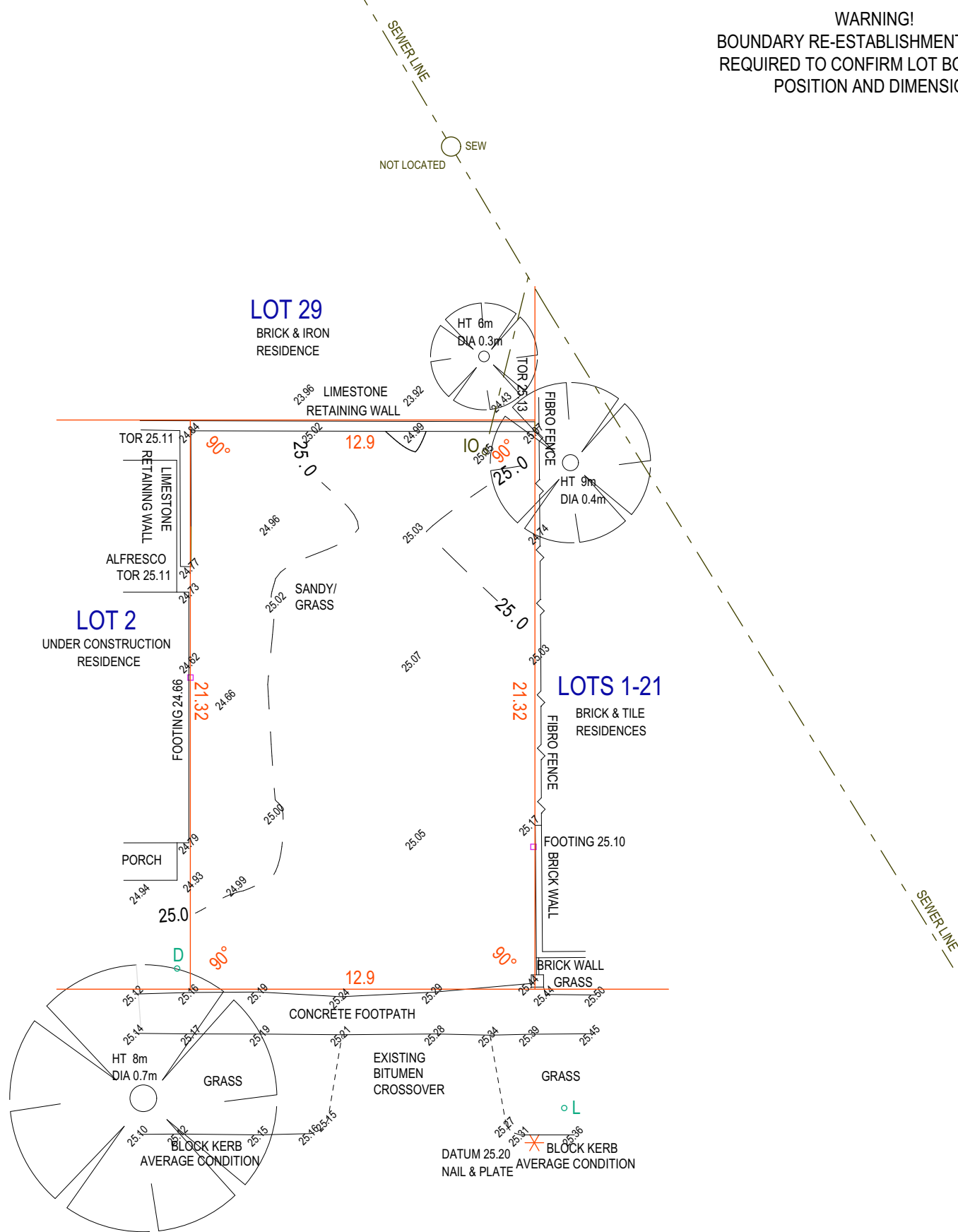
- D POWER DOME/PILLAR
- P POWER POLE
- L LAMP POST
- C CONSUMER POLE
- A STAY WIRE ANCHOR

- STORMWATER MANHOLE
- GRATE
- SIDE ENTRY PIT

- G GAS METER
- S SERVICE VALVE

COMMUNICATION PI
TELSTRA MANHOLE

APPROXIMATE ONLY
SEW INV. 21.27
UP. 0.90
DEPTH. 2.88



OSBORNE ROAD

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY
REQUIRED TO CONFIRM LOT BOUNDARY
POSITION AND DIMENSIONS.

+24

CLIENT: HIGH STREET BUILDERS			TSA SURVEYS CONSULTING SURVEYORS A U4/3 Wicks Street, Bayswater WA 6053 P PO Box 102, Bassendean WA 6934 M 0433 304 648 E admin@tsasurveys.com.au W www.tsasurveys.com.au ABN 56 645 650 666 IMPORTANT NOTES: 1. The information on this drawing is current at the date of survey. 2. All services are to be confirmed with relevant authorities. 3. This include without limitation; Sewerage / Water / Drainage / Electrical / Gas & Communications 4. Further Limitations / Interests / Encumbrances / Notifications may be listed on the Certificate of Title. 5. Original lot dimensions taken from Landgate Survey Plans. 6. Boundary Re-establishment Survey required to confirm lot boundary position and dimensions. 7. The sole purpose of this plan is for presentation to WAPC for process of application for subdivision to produce a conditional approval. 8. Final lot numbers, dimensions and areas may vary due to WAPC requirements, government authority conditions and final field survey. 9. This plan is for the purpose of application and in no way represents WAPC conditional approval. 10. TSA Surveys does not accept liability for loss or damage to any person or corporation who may rely on this plan for any purpose. 11. Permission is required from TSA Surveys for the reproduction or copying of this plan. Scale: 1:200 at A3 0 5 7.5 10 15					
ADDRESS: LOT 3 (#5) OSBORNE ROAD, EAST FREMANTLE								
PLAN: SP81535	C/T: 2982/830	AUTHORITY: TOWN OF EAST FREMANTLE						
DATE: 24/06/2025		JOB REFERENCE: TSA7555 - FS						
H. Grid : LOCAL V. Datum : AHD	Local level : 26.53 A.H.D. level : 26.53	A.H.D. value derived from : 0741 SEWER M/H Distance from Datum : 31.85m						
VERSION	DATE	DESCRIPTION	APPROVED BY					
HS HIGH STREET BUILDERS © Copyright 2014 THIS IS ONE OF THE DRAWINGS REFERED TO IN THE CONTRACT : OWNERDATE..... OWNERDATE..... BUILDERDATE.....			VARIATIONS: REV: DESCRIPTION: INT: DATE: '1' CONCEPT DESIGN NE 02.08.23 '2' ELEVATIONAMENDMENT NE 19.02.25 '3' ELEVATIONAMENDMENT 2 NE 21.03.25 '4' ELEVATIONAMENDMENT 3 NE 13.05.25 '5' DA DRAWINGS TL 24.11.25 '6' '7' '8' '9'			CLIENT: WILLOUGHBY & ROCHE SITE ADDRESS: LOT 3 (#5) OSBORNE ROAD EAST FREMANTLE WA 6158 DESIGNER: NICK EVANS PHONE: 0418 113 422		
			CLIENT: OSBORNE MASONRY HOUSE					
			EXISTING SITE					
			DATE: 12/12/2025 SCALE: 1:200		SHEET N°: 02 of 18			
			REVISION N°: 05		JOB N°: 23032			



LOT 29:
OVERSHADOW = 4.62m²
LOT 29 AREA = 1180m²
OVERSHADO % = 0.003%

LOT 2:
OVERSHADOW = 100.57m²
LOT 2 AREA = 192m²
OVERSHADOW % = 52.38%

ZONING R30
LOT SIZE = 275m²
BUILT AREA = 158.38m²
SITE COVER ALLOWANCE = 55%
PROPOSED SITE COVER = 57.59%

AREA	ESTABLISHED		
SEWERAGE	YES	DEPTH	2.88
WATER	TBC	PRELAI	NO
ELECTRICAL	TBC	U/G	
TELECOM	YES, TBC		
GAS	TBC		
DRAFTED	SSW	SURVEYOR	MR

SURVEY	
*	DATUM
oPF	PEG FOUND
oPG	PEG GONE

○ SEW SEWER MANHOLE
○ IO INSPECTION OPENING
○ IS INSPECTION SHAFT

- M WATER METER
- H HYDRANT
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- D POWER DOME/PILLAR
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APPROXIMATE ONLY
SEW INV. 21.27
UP. 0.90
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REQUIRED TO CONFIRM LOT BOUNDARY
POSITION AND DIMENSIONS.

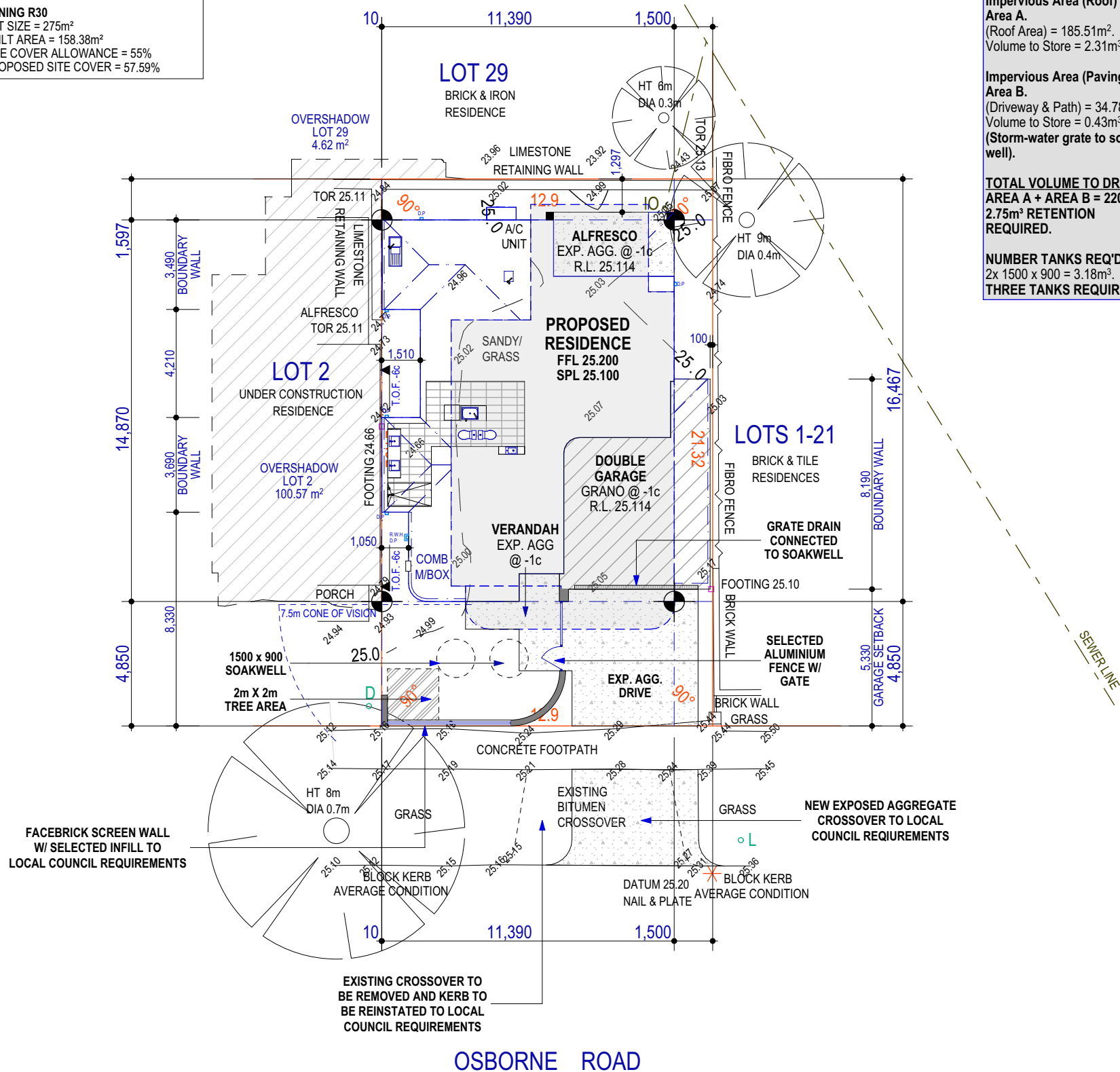
As per Town of East Fremantle
Calculator
(Impervious area x 0.0125m)

Impervious Area (Roof)
Area A.
(Roof Area) = 185.51m^2 .
Volume to Store = 2.31m^3 .

Area B.
(Driveway & Path) = 34.78m^2
Volume to Store = 0.43m^3 .
(Storm-water grate to soak well).

TOTAL VOLUME TO DRAIN
AREA A + AREA B = 220.29m².
2.75m³ RETENTION
REQUIRED.

NUMBER TANKS REQ'D =
 $2 \times 1500 \times 900 = 3.18\text{m}^3$.
THREE TANKS REQUIRED



OSBORNE ROAD

CLIENT:
HIGH STREET BUILDERS

ADDRESS:
LOT 3 (#5) OSBORNE ROAD, EAST FREMANTLE

PLAN:	C/T:	AUTHORITY:
SP81535	2982/830	TOWN OF EAST FREMANTLE

DATE: 24/06/2025 JOB REFERENCE: TSA7555 - FS

H. Grid : LOCAL	Local level : 26.53	A.H.D. value	SEWER M/H	Distance
V. Datum : AHD	A.H.D. level : 26.53	derived from :	0741	from Datum : 31.85m

VERSION	DATE	DESCRIPTION	APPROVED BY

THIS IS ONE OF THE DRAWINGS
REFERRED TO IN THE CONTRACT

OWNER _____ DATE _____

HIGH STREET

THOMPSON STREET BUILDERS

© Copyright 2014 BUILDER DATE:



A| U4/3 Wicks Street, Bayswater WA 6053

P| PO Box 102, Bassendean WA 6934

M| 0433 304 648

E| admin@tsasurveys.com.au

W| www.tsasurveys.com.au

ABN| 56 645 650 666

REV:	DESCRIPTION:	INT:
'1'	CONCEPT DESIGN	02.08.23
'2'	ELEVATION AMENDMENT	19.02.25
'3'	ELEVATION AMENDMENT 2	21.03.25
'4'	ELEVATION AMENDMENT 3	13.05.25
'5'	DA DRAWINGS	24.11.25

IMPORTANT NOTES:

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Scale: 1:200 at A3

CLIENT:

WILLOUGHBY & ROCHE

SITE ADDRESS:
LOT 3 (#5) OSBORNE ROAD
EAST FREMANTLE WA 6158

DESIGNER: **NICK EVANS** | PHONE: 0418 113 422

OSBORNE MASONRY HOUSE
SITE PLAN

DATE: 12/12/2025	SHEET N°:
SCALE: 1:200	03 of 18

REVISION N°: 05	JOB N°: 23032
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GROUND FLOOR EXTERNAL WALLS CONSISTS OF **230mm WIDE CAVITY BRICK CONST.**, UNLESS NOTED OTHERWISE. **90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.**

ALL INTERNAL WALLS ARE PLASTERED
UNLESS NOTED OTHERWISE.

DOWNPIPES & FLOOR WASTES POSITIONED
AT PLUMBERS DISCRETION. FINAL POSITION
MAY VARY TO PLAN.

CEILING INSULATION TO HOUSE & GARAGE TO
BCA REQUIREMENTS AS PER. ADDENDA.

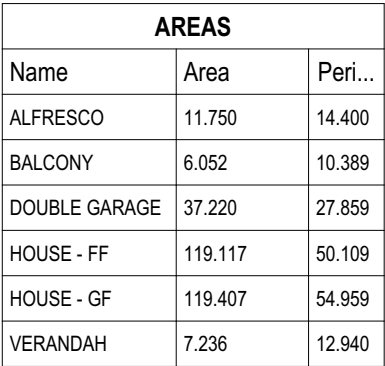
34c CEILINGS TO GROUND FLOOR UNLESS OTHERWISE NOTED.

ALL CAVITY CLOSERS AND STRUCTURAL COLUMNS TO BE FLASHED WITH ALCORE FLASHING AS PER AUSTRALIAN STANDARDS.

**ACRYLIC RENDER NOTE: EXTENT OF
ACRYLIC RENDER AS PER ELEVATIONS
INCLUDING GARAGE INTERNAL**

ALL ENGINEERS NOTATIONS, BEAM LAYOUTS & STRUCTURAL COLUMNS AS PER ENGINEERS DRAWINGS.

SITE CLASSIFICATION	: A
FOOTING DETAIL	: ENG'S
WIND CATEGORY	: N1
COASTAL CONDITIONS	: NO



AREAS		
Name	Area	Peri...
ALFRESCO	11.750	14.400
BALCONY	6.052	10.389
DOUBLE GARAGE	37.220	27.859
HOUSE - FF	119.117	50.109
HOUSE - GF	119.407	54.959
VERANDAH	7.236	12.940

[illegible]

NOTES:
GROUND FLOOR EXTERNAL WALLS CONSISTS OF **230mm WIDE CAVITY BRICK** CONST., UNLESS NOTED OTHERWISE. **90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.**

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DOWNPipes & FLOOR WASTES POSITIONED AT PLUMBERS DISCRETION. FINAL POSITION MAY VARY TO PLAN.

CEILING INSULATION TO HOUSE & GARAGE TO BCA REQUIREMENTS AS PER. ADDENDA.

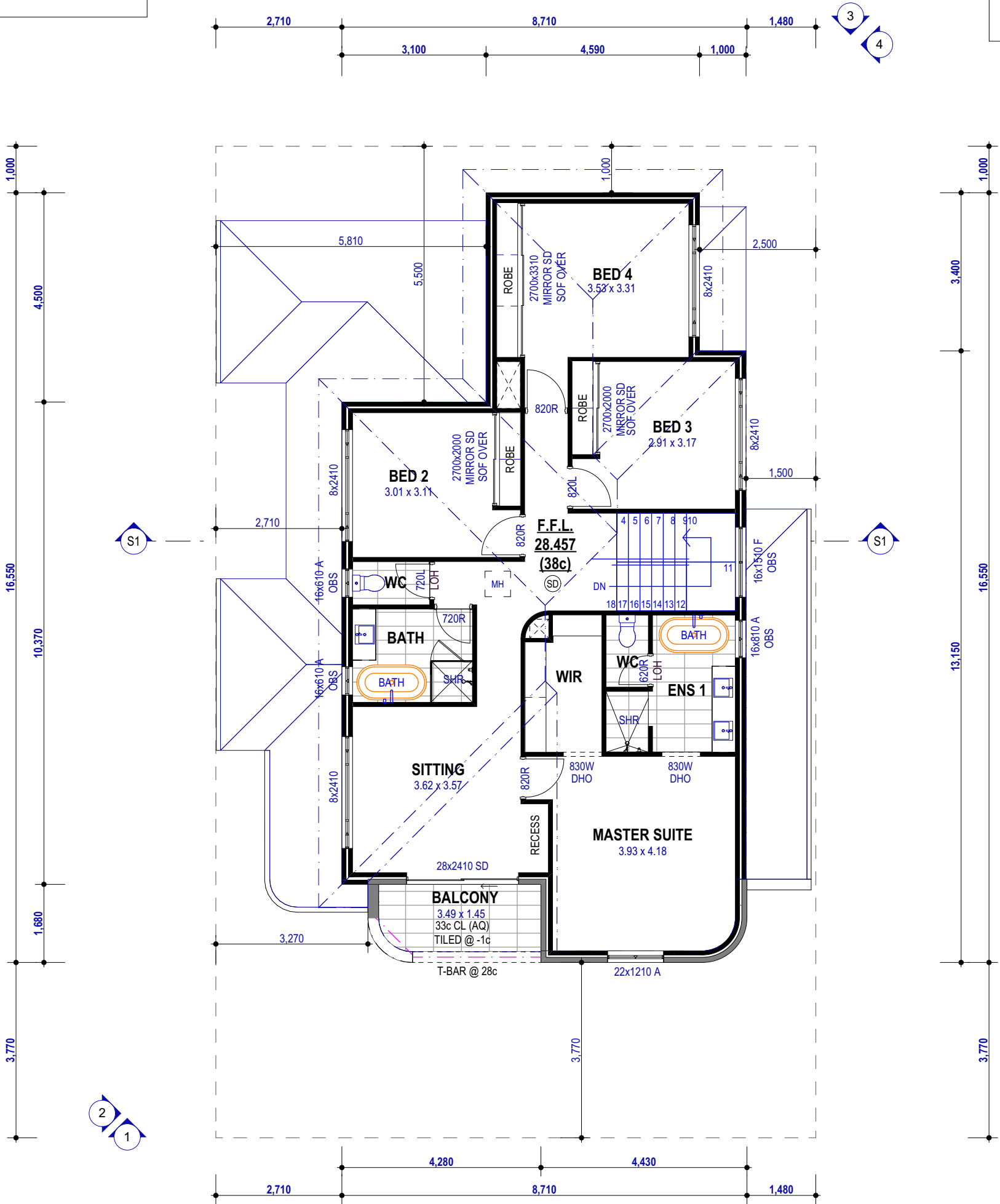
33c CEILINGS TO FIRST FLOOR UNLESS OTHERWISE NOTED.

BRICK LAYER NOTES:
ACRYLIC RENDER NOTE: EXTENT OF ACRYLIC RENDER TO FRONT ELEVATION. CONTRASTING COLOUR AS PER ELEVATIONS

ENGINEERS NOTE:
ALL ENGINEERS NOTATIONS, BEAM LAYOUTS & STRUCTURAL COLUMNS AS PER ENGINEERS DRAWINGS.

FIXING CARPENTER:
ROBES & WIR
1x SHELF & RAIL @ 1750 AFL
LINEN
4x 450w SHELVES

SITE CLASSIFICATION : **A**
FOOTING DETAIL : **ENG'S**
WIND CATEGORY : **N1**
COASTAL CONDITIONS : **NO**



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Name	Area	Peri...
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HOUSE - FF	119.117	50.109
HOUSE - GF	119.407	54.959
VERANDAH	7.236	12.940
	300.782 m²	



HIGH STREET
BUILDERS

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BUILDERDATE.....

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'5'	DA DRAWINGS	TL	24.11.25
'6'			
'7'			
'8'			
'9'			

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WILLOUGHBY & ROCHE

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EAST FREMANTLE WA 6158**

DESIGNER: **NICK EVANS** PHONE: 0418 113 422

OSBORNE MASONRY HOUSE

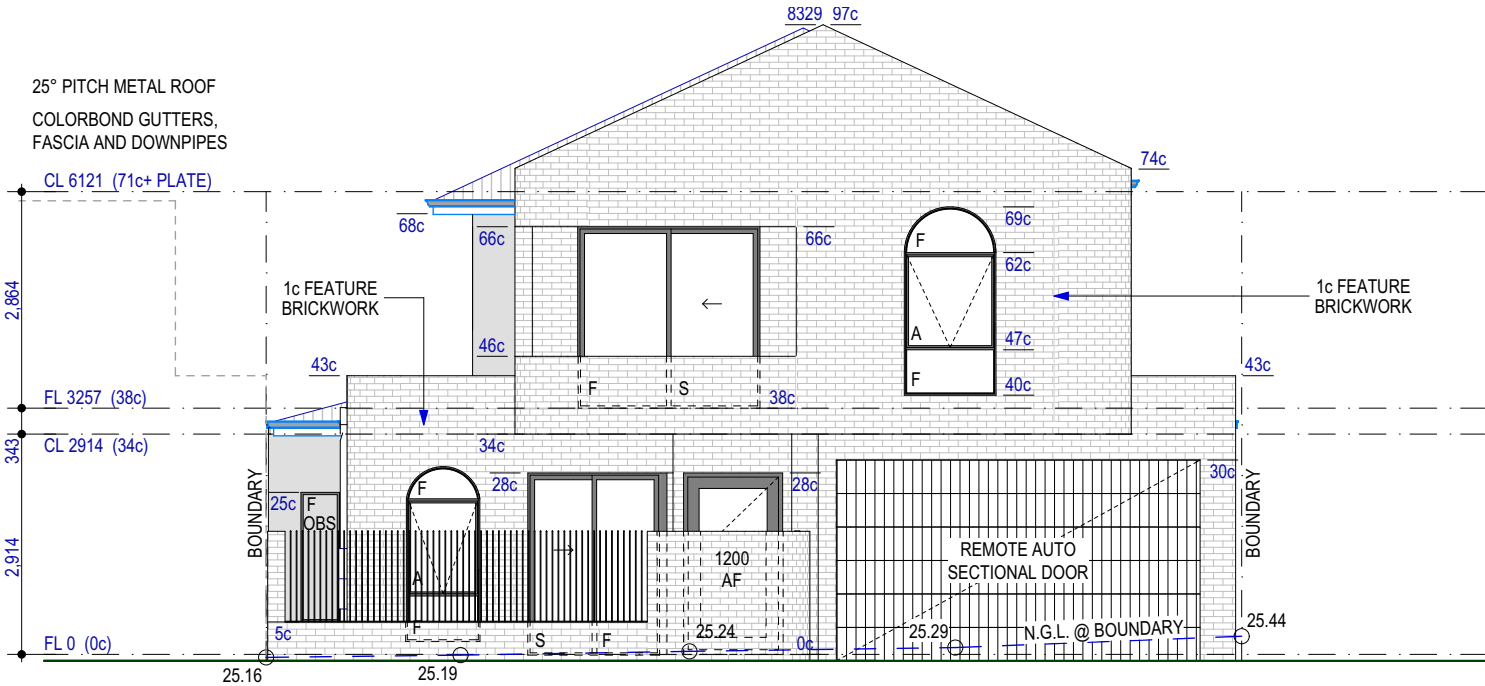
FLOOR PLAN FF

DATE: 12/12/2025
SCALE: 1:1, 1:100

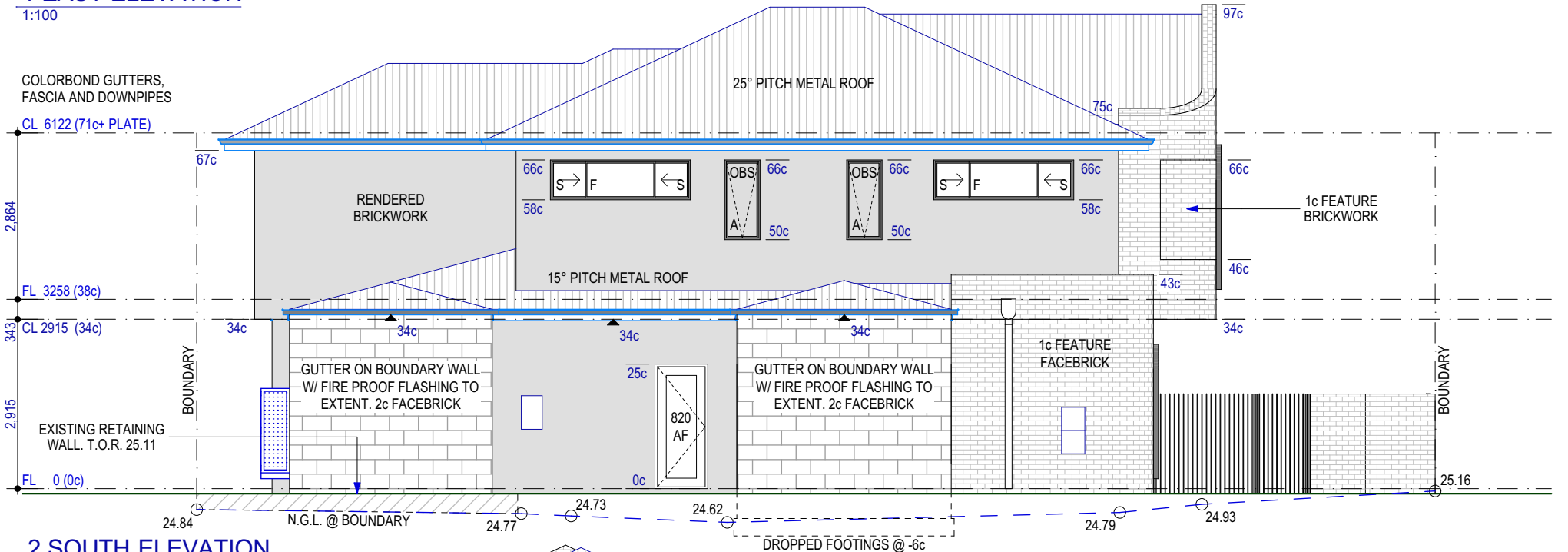
SHEET N°:
05 of **18**

REVISION N°:
05

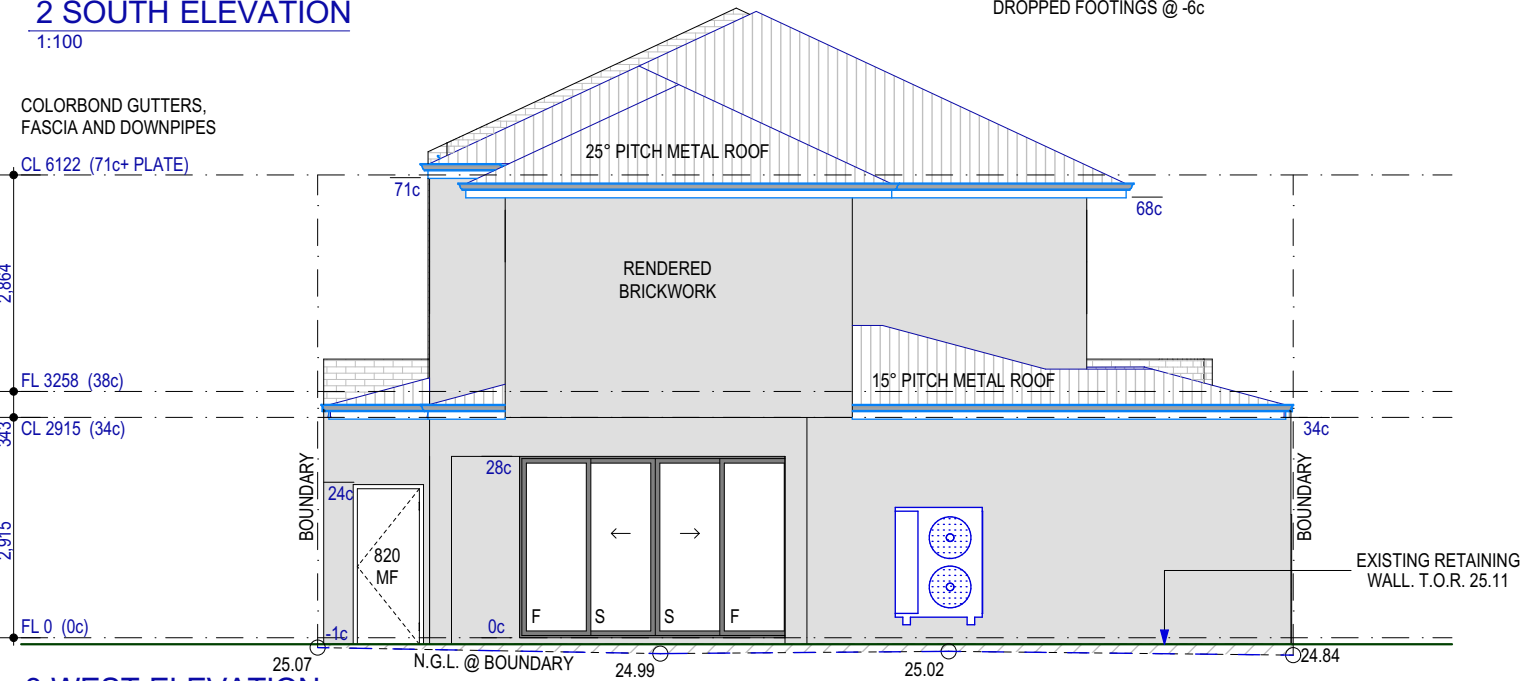
JOB N°:
23032



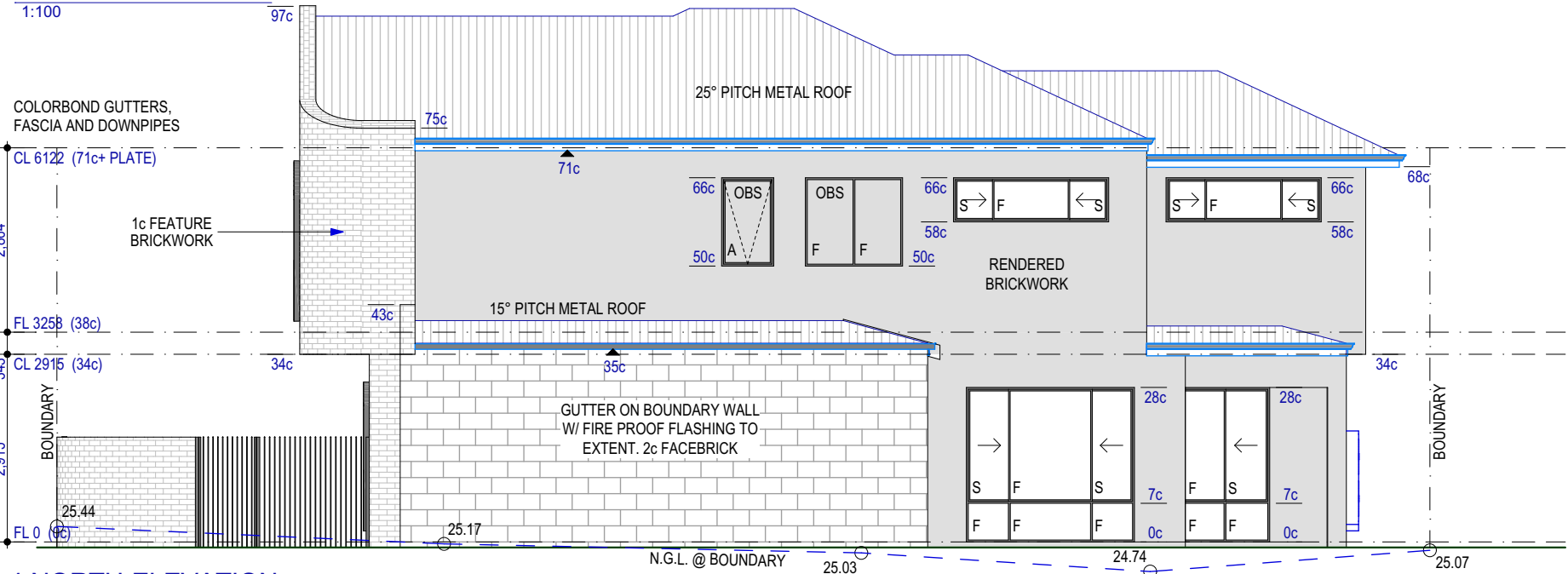
1 EAST ELEVATION
1:100



2 SOUTH ELEVATION
1:100



3 WEST ELEVATION
1:100



4 NORTH ELEVATION
1:100