

BUILDER: _____	PROPOSED RESIDENCE FOR: CURT WERNER & JOANNE CHRISTIE	DRAWN: PM	SCALE: 1:100	VO 01/02	Drawn PM	Date 08/05/25	VO	Drawn	Date
CLIENT(S): _____		DESIGNED: DP	SHEET: 1 OF 12						
		CHECKED: NAC	SIZE: A3						
	ADDRESS: 37 OAKOVER ST, EAST FREMANTLE, 6158	DATE: 08/05/25	RENOVATIONS						
DATE: _____		LAST OPENED: 14/05/2025	JOB NO: 170560						
		LAST EDITED BY: parkerm							

EXISTING FLOOR PLAN



ROOF & WALL TIMBER FRAME
TO CONFORM TO AS 1684

framing tie downs as per
engineers drawings, details
& specifications

FOOTINGS & SLABS refer
to engineers drawings,
details & specifications

provide termite treatment
to cavity boundary wall.
(refer to section for detail)

OWNER TO SUPPLY
& INSTALL STEPS
AFTER HANDOVER

OWNER TO MAKE GOOD
FLOORING AFTER HANDOVER

INSULATION NOTE:

R4.1 insulation to new ceiling areas
R2.0 insulation to new internal walls

CONCRETOR NOTE:

recess concrete slab 40mm to suit owners
new floor covering.

BRICK LAYER NOTE:

form openings to suit wet area niches
as indicated on room layout sheets

BRICK LAYER NOTE:

cavity wall insulation to all new external cavity walls

BRICK LAYER NOTE:

split bricks to all internal walls to
suit recessed concrete slab

TILE LAYER NOTE:

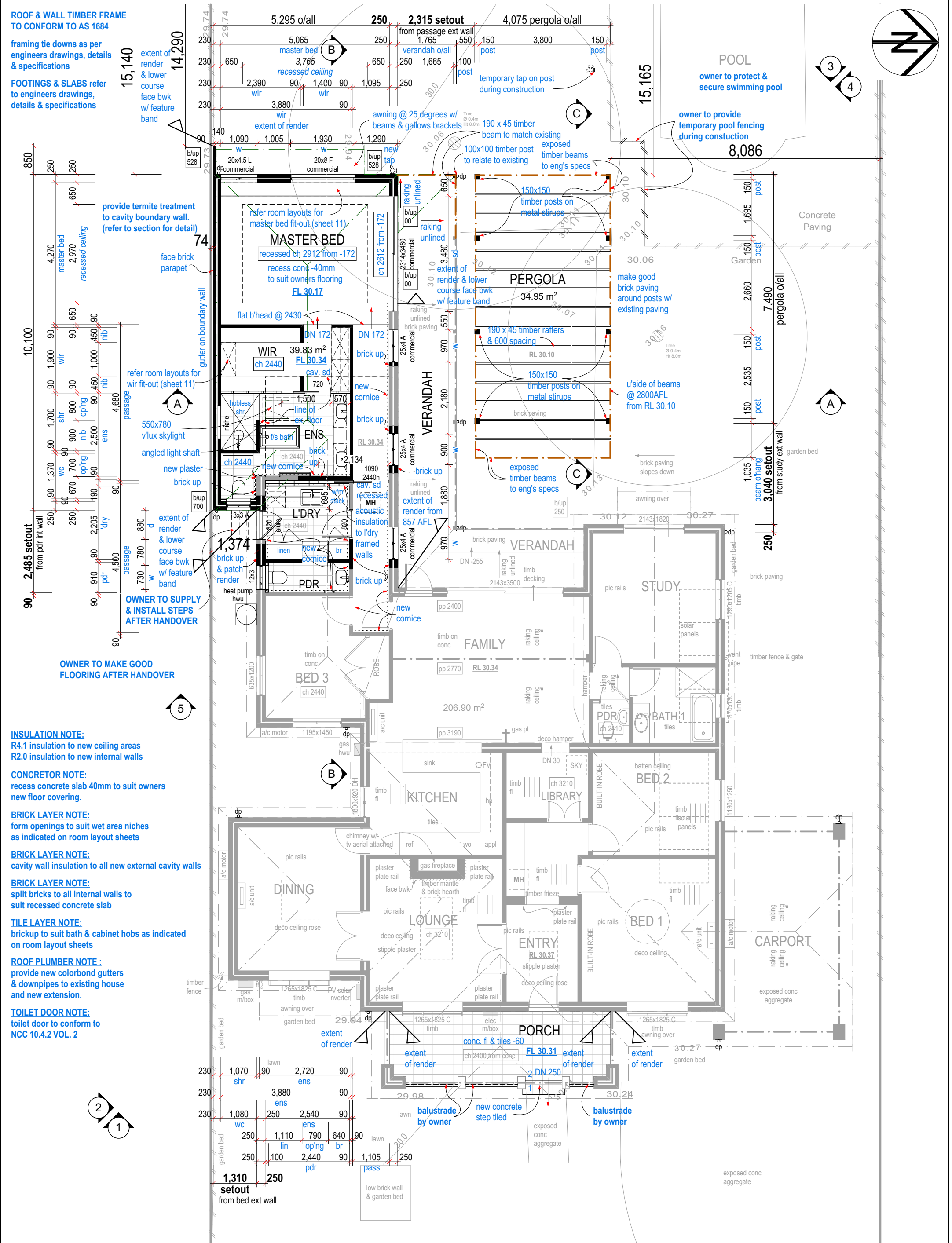
brickup to suit bath & cabinet hobs as indicated
on room layout sheets

ROOF PLUMBER NOTE :

provide new colorbond gutters
& downpipes to existing house
and new extension.

TOILET DOOR NOTE:

toilet door to conform to
NCC 10.4.2 VOL. 2



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CLIENT(S):	ADDRESS: 37 OAKOVER ST, EAST FREMANTLE, 6158		PROPOSED FLOOR PLAN		
DATE:					



SOUTH - ELEVATION 2



WEST - ELEVATION 3

PROPOSED RESIDENCE FOR:
CURT WERNER & JOAN

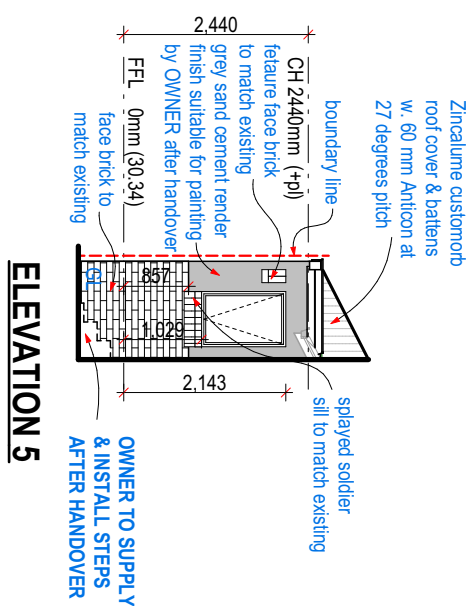
ADDRESS:
37 OAKOVER ST,
EAST FREMANTLE, 6158

SCALE: 1:100
SHEET: 3 OF 12
SIZE: A3
RENOVATIONS
JOB NO:
170560

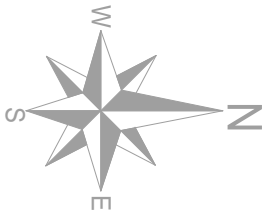
VO	Drawn	Date
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ELEVATIONS 1, 2 & 3





ELEVATION 5



DISCLAIMER:

Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

DISCLAIMER:

Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:

Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:

Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

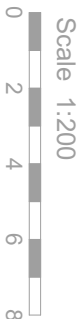
DISCLAIMER:

Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

AREA OF SHADOW CAST FROM EXISTING BUILDING & PROPOSED ADDITIONS ON THE 21st OF JUNE @ MIDDAY

EXPRESSED AS A PERCENTAGE = 8.4%

COTTAGE SURVEYS		87-89 Guthrie Street Osborne Park, WA 6017	
JOB #	504020	GPS	Lat: -32.042461 Long: 115.774666
CLIENT	Werner, Curt		
ADDRESS	#37 Oakover Street	LOT	Lot 284 (Plan 3286)
SUBURB	East Fremantle		
LGA	TOWN OF EAST FREMANTLE	AREA	1012m ² VOL 1773 FOL 584
DRAWN	J. Genovese	DATE	05 Jul 21
SSA	No		
ROADS	Bitumen	VEGETATION	Refer to Survey
KERBS	See Survey		
FOOTPATH	Bitumen		
SOIL	Sand		
DRAINAGE	Good		
VEGETATION	Refer to Survey		
ELEC.	U/Ground		
COMMS.	Yes		
WATER	Yes		
GAS	Check Allinta		
SEWER	Yes		
COASTAL	No		



LOT MISCLOSE
0.000 m

Oakover Street

Bitumen

OWNER TO SUPPLY & INSTALL
STORMWATER SOAKWELLS TO
LOCAL AUTHORITY REQUIREMENTS
& SPECIFICATIONS

STORMWATER DRAINAGE CALCULATIONS

Catchment Area: (total roof area) 45.83
Storage Capacity Required =
45.83 x 0.0125 (1 in 5 year event) = 0.573m³

Diameter	Depth	Volume	Quantity	Capacity
0.9	0.6	0.38	2	
TOTAL: 0.72				

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SCALE: 1:200

SHEET: 12 OF 12

SIZE: A3

RENOVATIONS

JOB NO:

170560

SITE PLAN

VO Drawn Date

01/02 PM 08/05/25

VO Drawn Date

01/02 PM 08/05/25



BUILD | RENOVATE | DEVELOP

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BUILT AROUND PEOPLE