

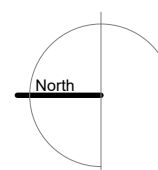
works within proximity of property boundary



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REVISION

1.02



B

24.09.2025

NOTE:
Concept only
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GARDEN ARBOR
WITH S/S WIRES
@300mm SPACING

OPPORTUNITY FOR
A SAUNA - REVEL
ECLIPSE 2 FULL
SPECTRUM SAUNA

BUILT IN
MICROCEMENT
SEAT
HIDDEN FLIP POOL
BLANKET

POOL 3700X3700MM
- REFER TO POOL
PLANS ON 5.01 AND
5.02

BUILT IN FIREPLACE -
ESCEA OUTDOOR
KITCHEN

SLIM LINE POOL
FENCE - POWDER
COATED IN WHITE

LAWN AREA -
APPROX 51SQM

GARDEN TRELLIS
ABOVE WITH
WISTERIA AND
CANISTER GARDEN
LIGHTING

RETAINING WALL
AND SEAT AROUND
BESPOKE TIMBER
TABLE - CUT
AROUND EXISTING
TREE

NEW PAVEMENT TO
ALFRESCO AREA -
REFER TO LEGEND

DRAINAGE TO BE
CUT INTO SLAB

NEW PLANTING
BEHIND MAGNOLIAS
- BAY LAUREL AS
OPTION - TO
CONFIRM

RETAIN PAVEMENT
TO SIDE OF HOUSE

GARDEN SHED 5800
X 6800

PUMPS AND
FILTRATION AREA

ESPELLIAR LEMONS
OR PEARS TO SIDE
OF SHED

SLIDING DOORS TO
SHED

ENDICOTT SMALL
FORMAT PAVER

ALLOW FOR
DRAINAGE OF
SHOWER

JOIN LINE

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CLIENT

Peden

DRAWING

CONCEPT PLAN

SCALE

1:100 @ A3

DRAWING

3.01

REVISION

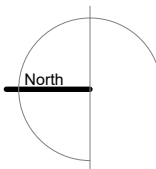
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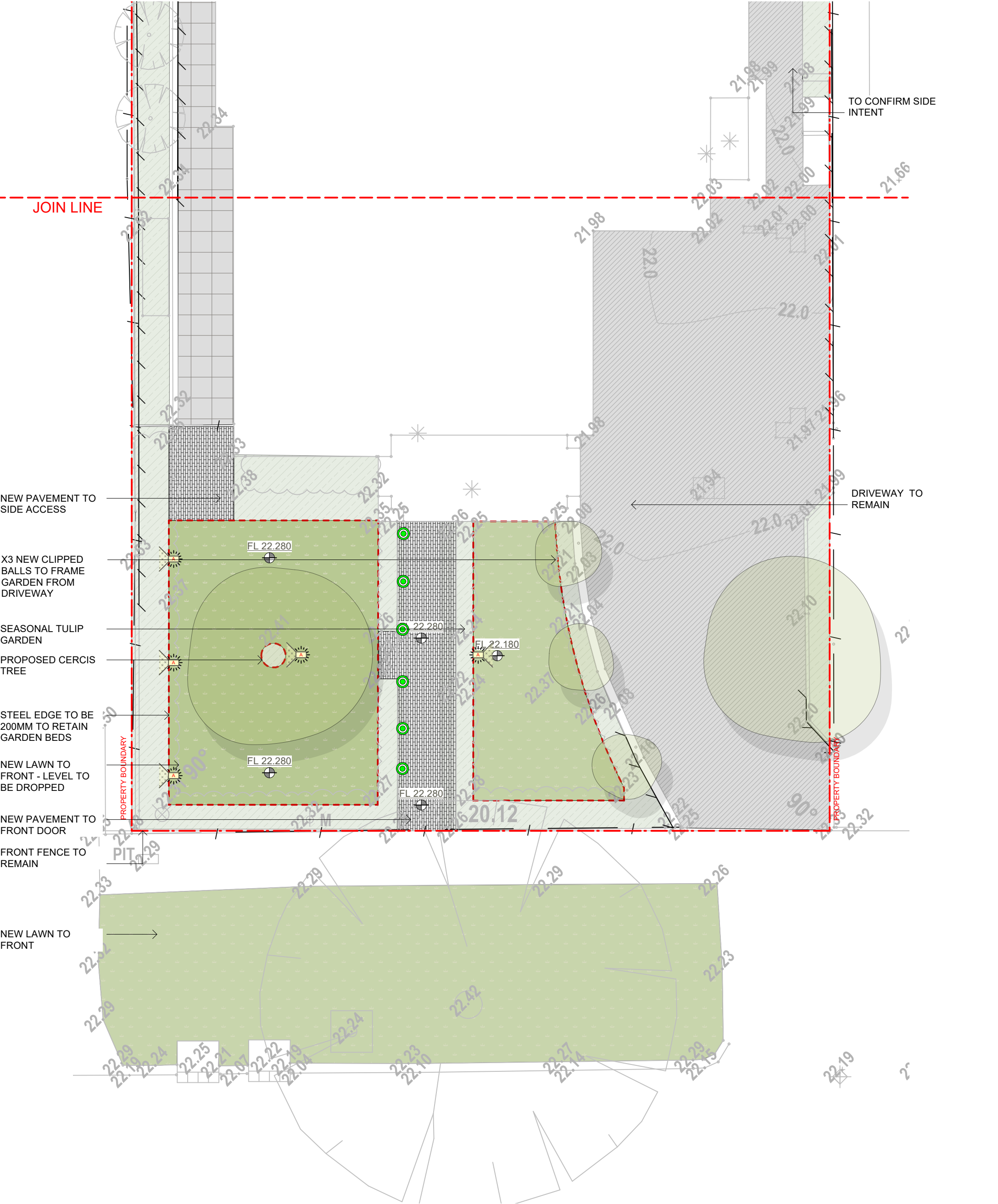
36 Dalgety Street, East Fremantle

PROJECT NUMBER

0108_LS



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DRAWING

CONCEPT PLAN

SCALE

1:100 @ A3

DRAWING

3.02

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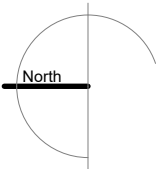
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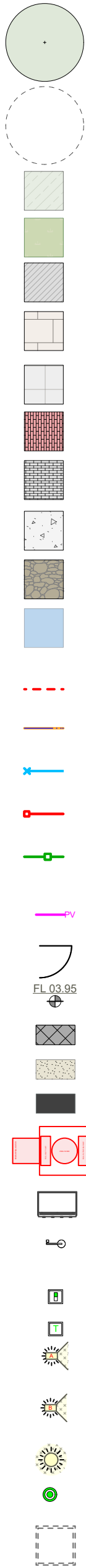
36 Dalgety Street, East Fremantle

PROJECT NUMBER

0108_LS

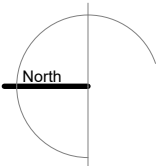


LEGEND



- PROPOSED TREES AS SHOWN
- EXISTING TREE TO BE RETAINED
- PLANTED AREAS
- INSTANT SOFT LEAF BUFFALO TURF AS SUPPLIED BY COMPLETE TURF CARABOODA
- PAVEMENT 05 - EXISTING
- PAVEMENT 01 - TECHNIFIRMA RAE BY ECO OUTDOOR. 9MM X 1198 X 598MM ON ALFRESCO
- PAVEMENT 02 - TECHNIFRIMA RAE BY ECO OUTDOOR 20 X 1198 X 598MM FOR EXTERNAL AREAS
- PAVEMENT 03 - ARRATO COTTO BY ECO OUTDOOR 30X70X35MM - STRETCH BOND LAY
- PAVEMENT 04 - ANGOURI BATON - BY ECO OUTDOOR - 50X200X30MM - LAY ON SLAB
- SLAB TO SHED
- 75mm STONE MULCH ON GEO-TEXTILE FABRIC
- POOL WATER
- 90mm x 45mm x 5mm MILD STEEL TURF EDGING SECURED WITH STEEL PIN AT 3M C/S
- STAINLESS STEEL TRELLIS
- FRAMELESS GLASS POOL FENCING & GATES
- STEEL POOL FENCING & GATES
- TIMBER SCREEN 1800MM HIGH - WEATHERTEX TO MATCH SHED
- 90mm CLASS 9 PVC SLEEVE
- FENCING AND GATES
- PROPOSED LEVELS
- PROPOSED WALL
- PROPOSED SEAT
- PROPOSED BENCHTOP
- POOL PUMPS AND FILTRATION
- BBQ AND GRILL
- LENNOX FREESTANDING OUTDOOR SHOWER BY BROOKLYN COOPER
- SUGGESTED LIGHTING SWITCH LOCATION
- LIGHTING TRANSFORMER
- HV1427T-SSBLK - Tivah Black 316 Stainless Steel TRI Colour LED Garden Spike Light - 5watt
- HV1426NW-BLK- Mini Tivah Aluminium Black 3w MR11 Garden Spike Light
- INGROUND LIGHT - HV2921-HV2924 - Pinta Black Step Lights with Eyelid
- HV19022T-BLK - Ollo Black TRI Colour LED Step or Inground Light to TRELLIS
- POOL SHELL

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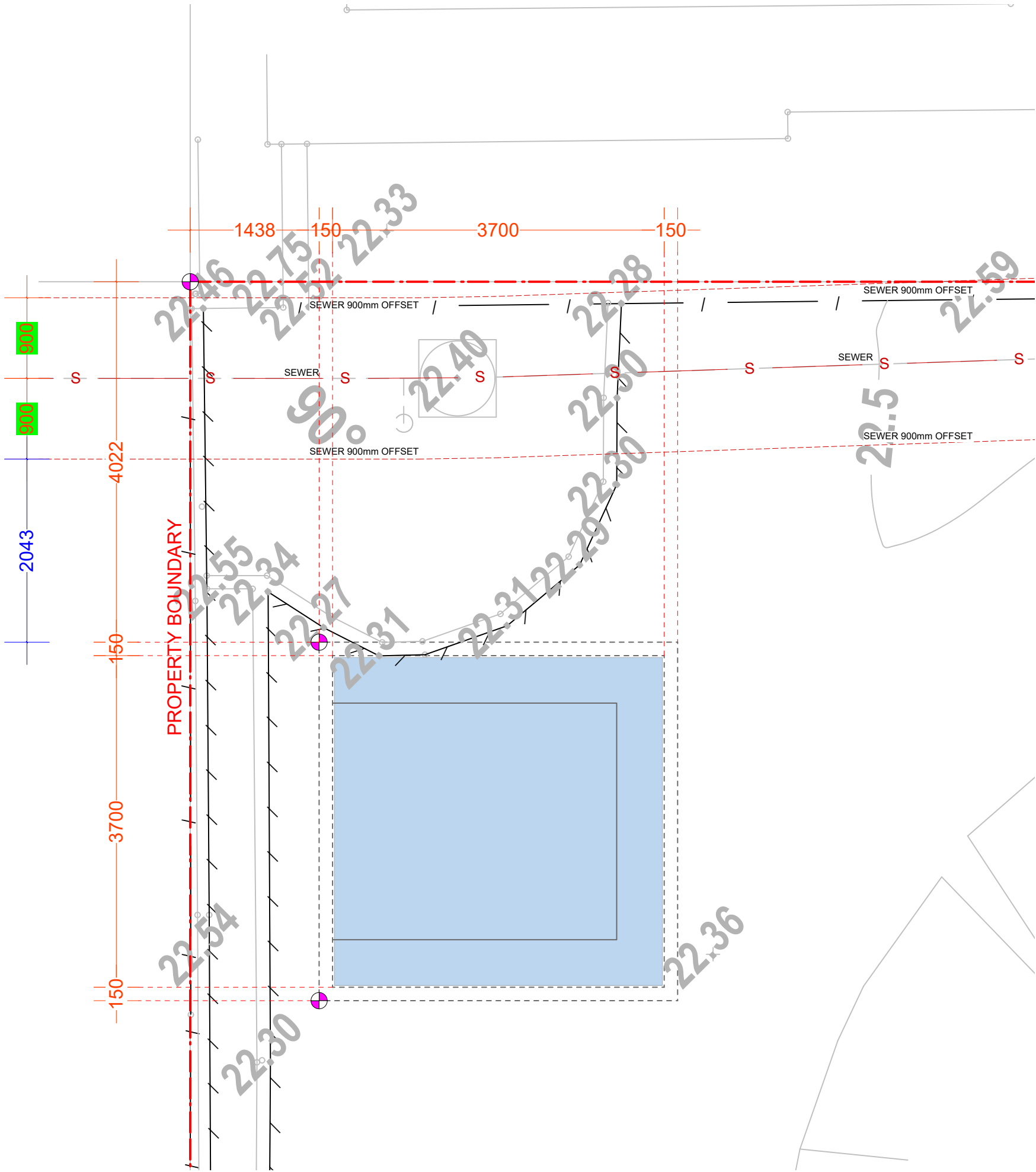


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NOTE:
POOL SET OUT TO BE CONFIRMED ON SITE WITH CLIENT AND LANDSCAPE ARCHITECT

POOL SET OUT DIMENSIONS ARE FROM THE EDGE OF POOL SHELL

TO CONFIRM IF SCREW PILES ARE REQUIRED DUE TO POOL BEING 2043 OFF 900MM OFFSET AND 2942MM OFF SEWER



36 Dalgety Street, East Fremantle

PROJECT NUMBER

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DRAWING

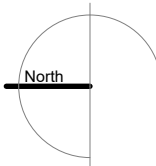
POOL LOCATION PLAN

SCALE

1:200 @ A3

DRAWING

5.01



REVISION

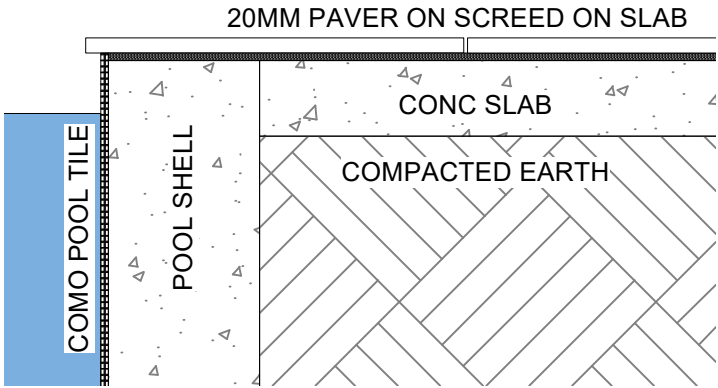
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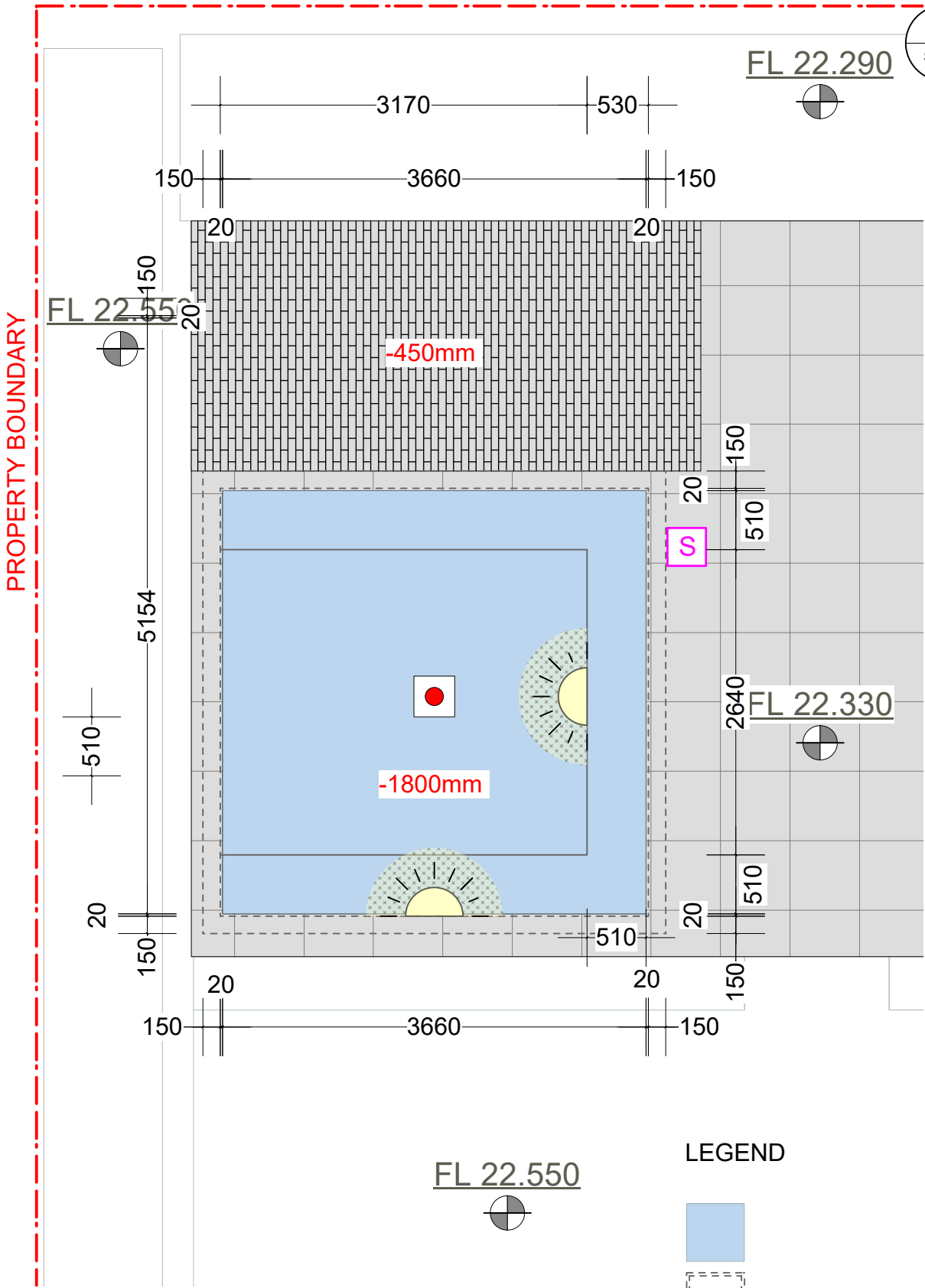
POOL NOTES:

- Include 2x Pool Lights
- All internal pool fittings by Flolux - stainless steel - "FloJet", "FloSuction", "FloAir", "FloFloor"
- All metal to be grounded - All metal items within 1.50 metres from the pool edge must be electrically bonded to the main earthing system of the premises to comply with AS 3000:2018
- Engineering of pool and excavation works with consideration given to existing built form and building licence by builder
- Pool Fencing and all boundary fencing to AS 1926.1-2012
- All boundary fencing within pool areas to be 1800mm high from internal finish levels.
- All plants within or adjacent to pool area to comply with AS 1926.1-2012



1 POOL HEADER TYP DETAIL

5.02 Scale: 1:10



LEGEND



POOL WATER



POOL SHELL



PROPOSED POOL SKIMMER BOX WITH CONCEALED STONE LID



PROPOSED POOL LIGHTS



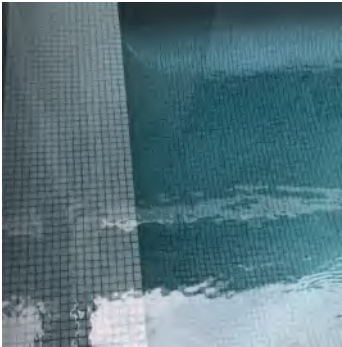
PROPOSED DEPTH FROM TOP OF POOL DECK LEVEL



INTERNAL STEP



INTERNAL FLOOR CLEANING

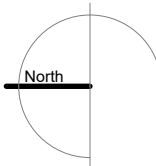


POOL TILE:
Pool Tile Selection - Como Tile 25X25mm GLASS - By Amalfi
Grout Selection - LONDON GREY 119
FULLY TILE POOL



CLIENT Peden
36 Dalgety Street, East Fremantle
PROJECT NUMBER 0108_LS

DRAWING POOL LAYOUT PLAN
SCALE 1:50 @ A3
DRAWING 5.02



REVISION
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24.09.2025

General Pool Safety Compliance in Australia:

All pools must comply with the Australian Standard AS 1926.1-2012 (Swimming Pool Safety – Part 1: Safety Barriers for Pools) and AS 1926.2-2007 (Swimming Pool Safety – Part 2: Location of Safety Barriers for Pools) to ensure safe pool environments and prevent unsupervised access.

The design and construction of the pool area, including the fencing, gates, and barriers, must meet the National Construction Code (NCC) and relevant State/Territory regulations, which can vary. Always consult local authorities for specific compliance requirements.

Swimming Pool Barrier Requirements (AS 1926.1-2012):

Height of Pool Barrier: The pool barrier must be at least 1.8 meters high from the outside of the fence or boundary (on the pool side). A 900mm Non-Climbable Zone (NCZ) at the top of the barrier must be maintained. On the non-pool side, the barrier should be at least 1.2 meters high with no steps, retaining walls, or other objects that could reduce the height of the barrier within 500mm of the barrier.

Gate Requirements: Pool gates must self-close and self-latch from any position. The latch should be at least 1.5 meters above ground level to prevent easy access by children.

Non-Climbable Zone (NCZ): The NCZ prevents children from climbing over the pool fence or barrier. Objects such as trees, plantings, and furniture must not be placed within this zone (900mm from the top of the fence) to maintain the integrity of the barrier.

Swimming Pool Covers: If using pool covers, they must be securely fastened and meet compliance standards regarding strength and safety.

Compliance in Western Australia (WA):

Western Australia follows similar National Pool Safety Laws in line with the Australian Standards but has specific additional requirements for the design and maintenance of pool barriers.

Building Codes and Permits:

Pool barriers and fences must be constructed according to the Building Code of Australia (BCA), which aligns with the NCC, and a Building Permit must be obtained before the installation of pool fences. The application of this permit will be reviewed by local councils to ensure compliance.

Local Government Regulations: Local councils in WA may have additional requirements. It is essential to consult your local council regarding pool safety and barrier specifications.

Grandfather Clause: Older pools built before 2010 may be "grandfathered" under previous safety laws, but any major renovations or new pool installations must comply with current pool fencing and barrier standards.

Maintenance of Pool Barriers:

Ongoing Inspections: Pool barriers should be regularly inspected to ensure that they remain compliant with safety standards. Any issues, such as damage to the fence or gate malfunction, should be promptly repaired. It's recommended that pool owners inspect barriers and gates at least annually to ensure compliance.

Obstruction-Free: Ensure that the barrier area remains free from obstructions (e.g., garden beds, ladders, or furniture) that could be used to climb over the barrier. If trees or shrubs are planted near the pool area, ensure they do not infringe upon the Non-Climbable Zone.

Pool Water Safety and Environmental Considerations:

Pools must also comply with local water quality standards. This includes proper filtration, chemical balancing (chlorine or salt), and regular maintenance to ensure water remains safe for swimming. All pool equipment should be maintained and operate in line with the manufacturer's specifications.

Professional Inspections and Certification:

Pool fences and safety barriers must be inspected by a qualified pool safety inspector for compliance, especially in Western Australia, where a Certificate of Compliance is required upon completion of construction or renovations. Pool inspections are necessary when a property is sold or transferred to a new owner.

POOL SAFETY BARRIERS

All pool safety barriers must comply with AS 1926.1-2012, AS 1926.2-2007, and AS 1926-2024, including Amendments No. 1 and 2.

Boundary Fence Requirements

Pool-Side Boundary Fence:

Minimum height of 1800 mm.

Include a 900 mm Non-Climbable Zone (NCZ Type 5) located at the top inside edge of the barrier.

Non-Pool Side Boundary Fence:

Minimum height of 1200 mm.

Ensure there are no steps, retaining walls, objects, or level changes within 500 mm on either side of the barrier that could reduce its effective height.

Non-Climbable Zone (NCZ) Requirements

All NCZs must comply with AS 1926-2024 and are defined as follows:

NCZ 1: A 900 mm vertical area located on the outside of the pool barrier, extending downward from the top of the barrier.

NCZ 2: A 900 mm horizontal area on the outside of the barrier, extending outwards from the top of the pool barrier.

NCZ 3: A quadrant arc extending 900 mm both vertically and horizontally, measured from the top outside corner of the barrier.

NCZ 4: Applies to boundary fences at least 1800 mm high. It is a 900 mm vertical area located on the inside (pool side) of the barrier, extending downward from the top of the barrier.

NCZ 5: Applies specifically to boundary fences at least 1800 mm high. It is a 900 mm vertical non-climbable area located at the top inside edge of the barrier.

Plant Maintenance Requirements

All plants near the pool must be maintained to prevent growth that would breach the Non-Climbable Zone (NCZ) requirements.

Plants must not provide footholds or means for climbing that could reduce the effectiveness of the pool safety barrier.

Responsibility for the ongoing maintenance of plants to comply with this standard lies with the client.

Additional Requirements

Gate latches must comply with AS 1926.1 and must be located at least 1500 mm above ground level or shielded to prevent access by young children.

All materials and components must be durable and maintained in good condition.

Ensure no gaps or openings in the barrier exceed 100 mm in width.

Pool barriers must be free from footholds or protrusions that could allow climbing.

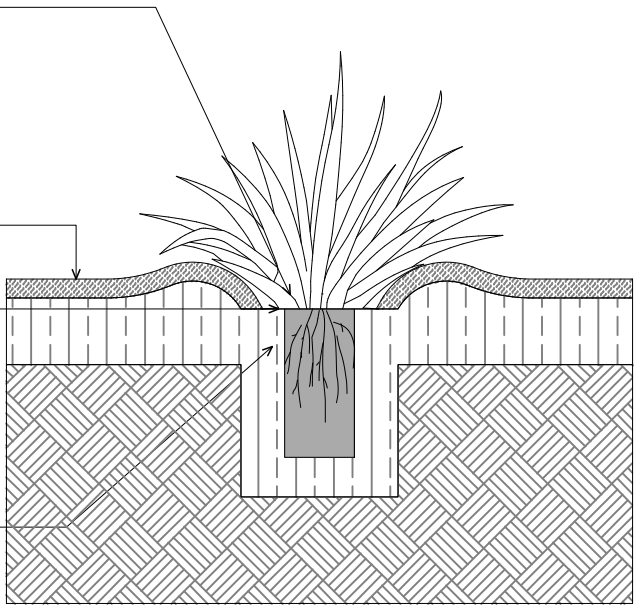
<div><div>YOXALL</div><div>LANDSCAPE ARCHITECTURE</div><div>copyright: YOXALL LANDSCAPE ARCHITECTURE</div></div>	CLIENT	Peden	DRAWING	POOL NOTES	<div><div></div><div>North</div></div>	REVISION
	36 Dalgety Street, East Fremantle		SCALE	1:100 @ A3		B
	PROJECT NUMBER	0108_LS	DRAWING	5.03		24.09.2025

PLANTS SHOULD BE PLACED SO THAT THE TOP OF THE ROOTBALL IS THE SAME LEVEL AS FINISHED SOIL LEVEL AND THAT THE SOIL OR MULCH SHOULD NOT COVER PLANTS STEM, TO AVOID CROWN ROT

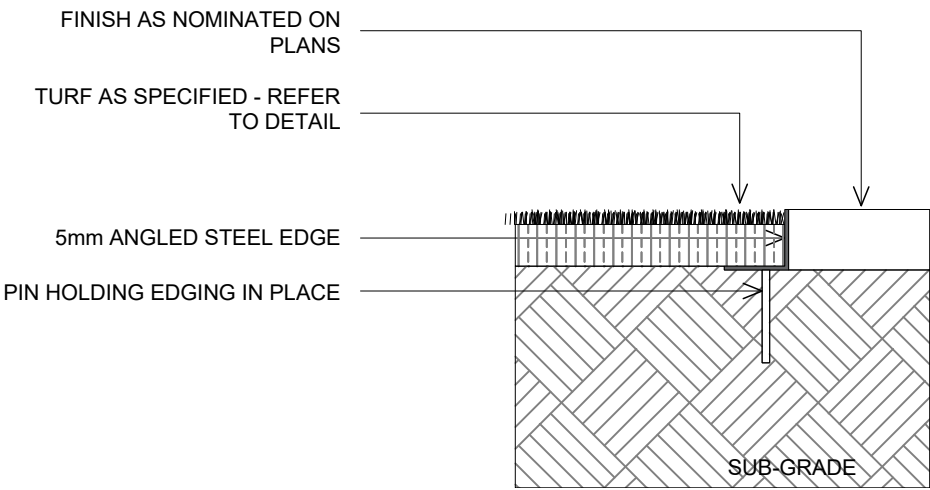
MULCHED WITH 'FINE BLACK' MULCH AS SUPPLIED TO A MINIMUM DEPTH OF 75MM

MULCH DEPRESSION AROUND BASE TO ACT AS RESERVOIR

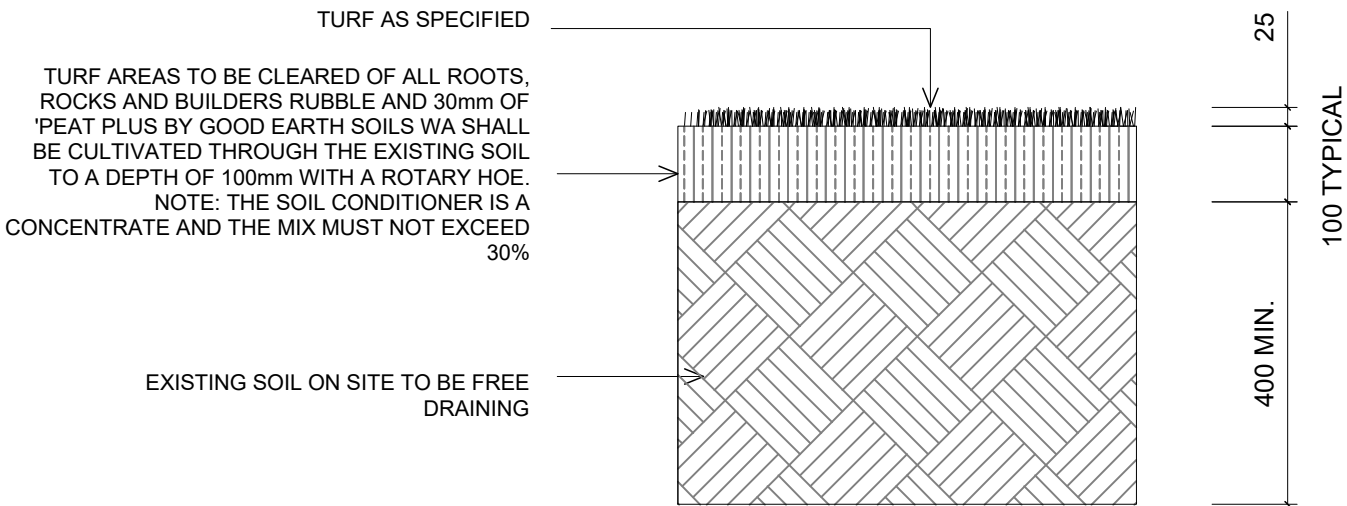
DIG IN ORGANIC MATTER TO 50-75MM DEPTH INTO EXISTING SOIL BEFORE PLANTING. ONCE ROOTBAL HAS BEEN POSTIONED, BACKFILL WITH 100MM OF FRESH IMPORTED SOIL



1 **TYPICAL PLANTING DETAIL**
8.01 Scale: 1:20



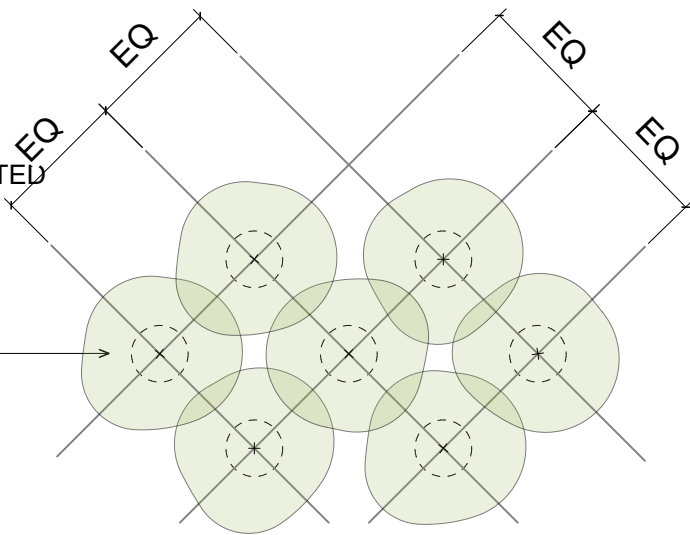
2 **TYPICAL LAWN EDGE**
8.01 Scale: 1:10



4 **TYPICAL ROLL ON LAWN**
8.01 Scale: 1:10

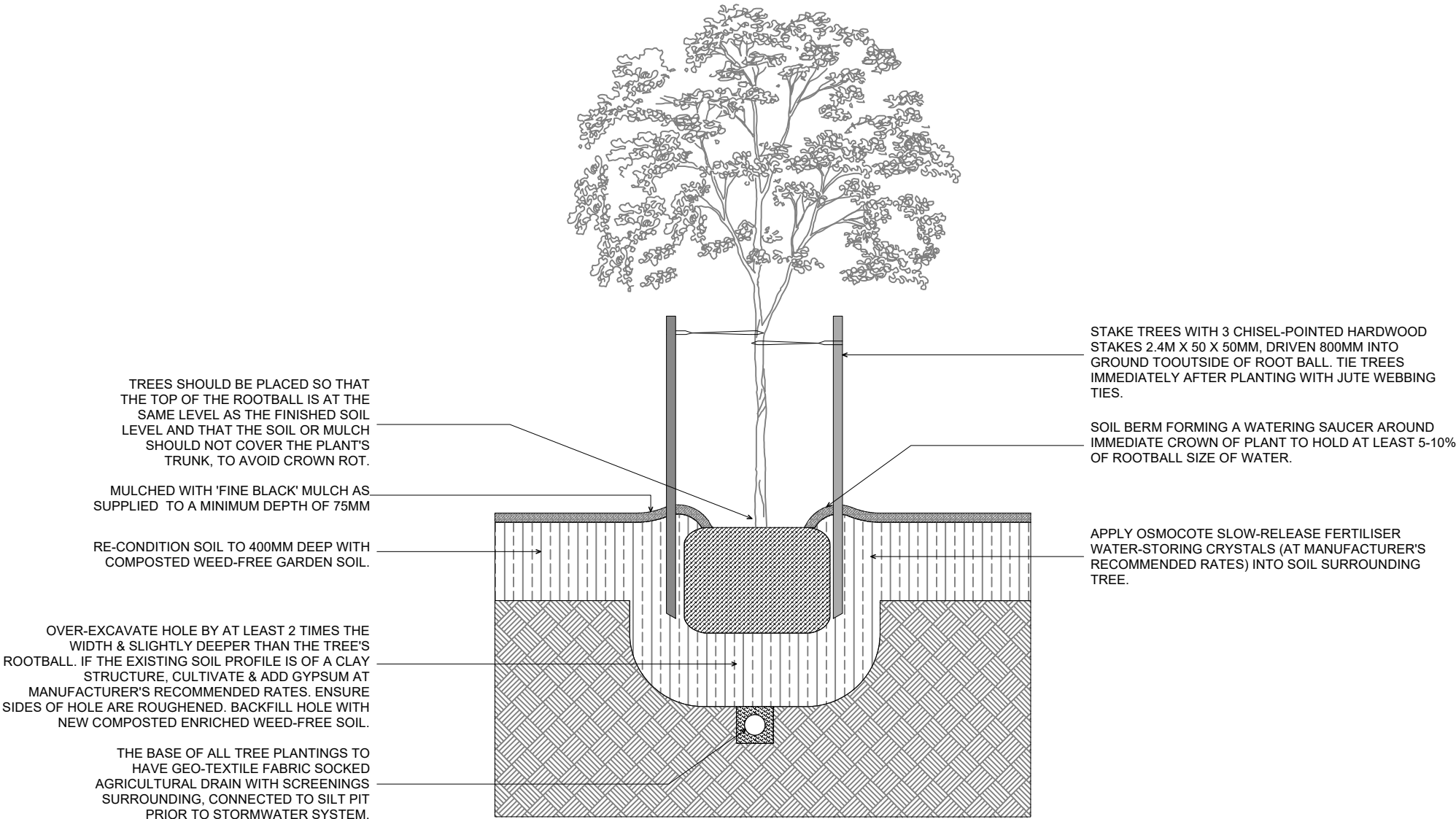
NOTE:
IF EVEN NUMBERS ARE NOMINATED
- CONFIRM WITH LANDSCAPE
ARCHITECT

TYPICAL STAGGER PATTERN
FOR LARGE PLANTED
SPACES - ALWAYS PLANT IN
ODD NUMBERS (1,3,5,7,9 ECT)



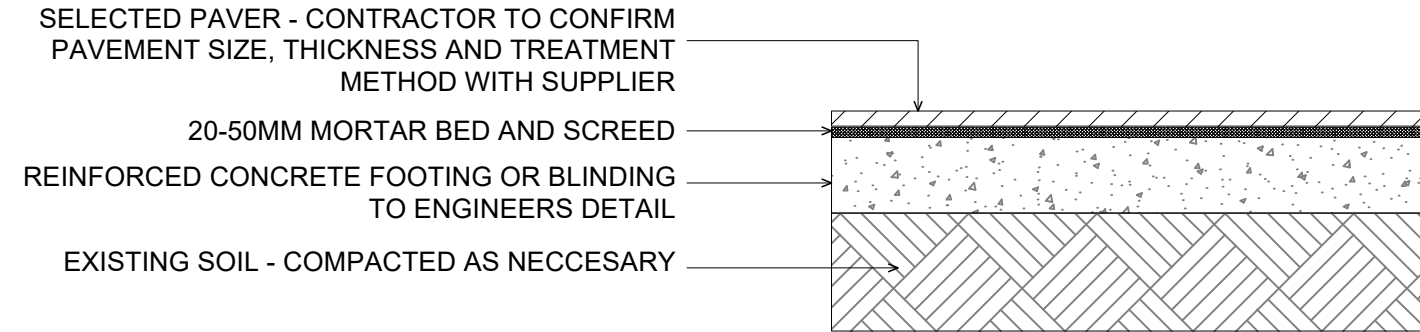
3 **TYPICAL PLANTING LAYOUT**
8.01 Scale: 1:20

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1
8.02
TYPICAL TREE DETAIL
Scale: 1:30

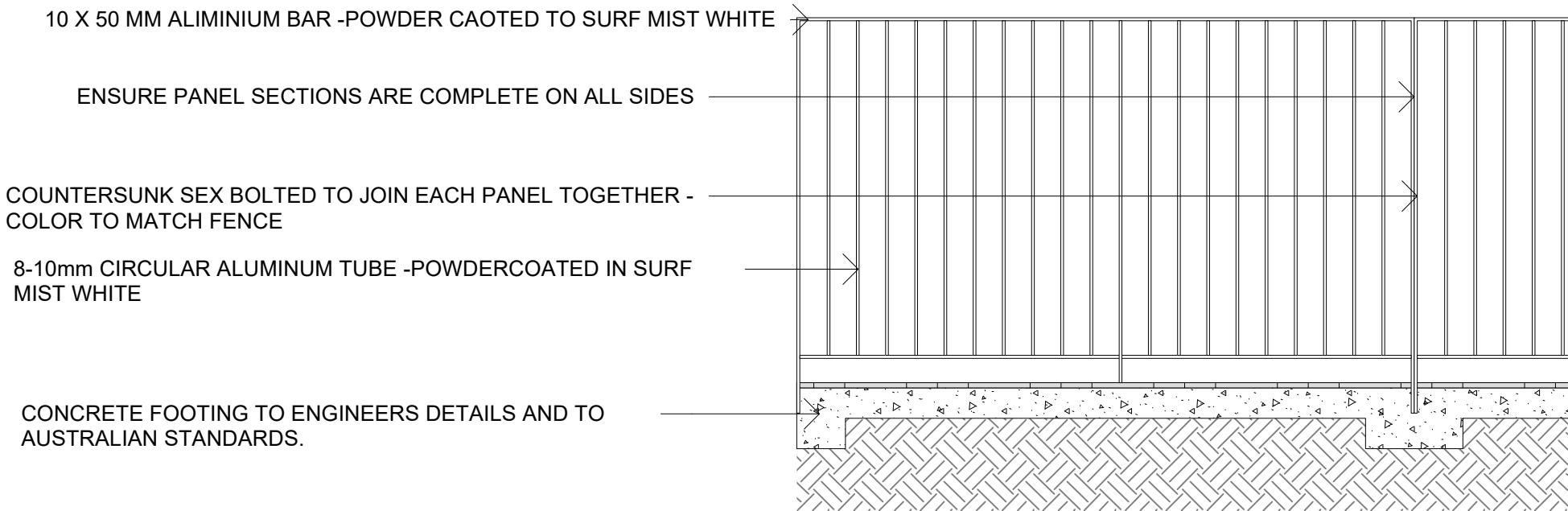
NOTES
GARDEN BED TO BE WELL DRAINED WITH DRAINAGE AS PER DRAWING. BEFORE PLANTING, THOROUGHLY WATER TREES TO BE TRANSPLANTED. AFTER PLANTING, WATER IS TO BE CONCENTRATED WITH DRIPPERS PLACED DIRECTLY ON TOP OF ROOTBALL. FOR A PERIOD OF 6 WEEKS AFTER PLANTING, IT IS ESSENTIAL THAT MOISTURE LEVELS OF ROOTBALL ARE REGULARLY CHECKED TO ENSURE ROOTBALL DOES NOT DRY OUT.



4
8.02
TYPICAL PAVING DETAIL
Scale: 1:20

NOTES
ALL PAVEMENT TO BE SUPPLIED AND INSTALED IN ACCORDANCE WITH SUPLPLIER
GROUT JOINTS TO RANGE BETWEEN 5 TO 7 MM
GROUT TO MATCH PAVERS UNLESS SPECIFIED OTHERWISE

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	36 Dalgety Street, East Fremantle		SCALE	1:100 @ A3		B
	PROJECT NUMBER	0108_LS	DRAWING	8.02		
						24.09.2025



1

8.03

TYP POOL FENCE

Scale: 1:20

All fencing to be fully powder coated in accordance with manufacturer's or fabricator's specifications.

Fence and gate to comply with AS 1926.1 – Safety Barriers for Swimming Pools and all other relevant Australian Standards.

All welds to be neat, smooth, and continuous, free from sharp edges or burrs.

Fence to be earthed/grounded as required near pool equipment or electrical components.

All fixings to be marine-grade stainless steel or equivalent corrosion-resistant materials.

Installation to be in accordance with the manufacturer's or fabricator's recommendations and local authority requirements.

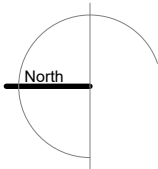
REFERENCE IMAGES FROM A RECENT INSTALL
BY TOP LINE FENCING PERTH



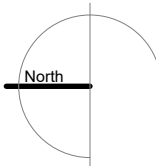
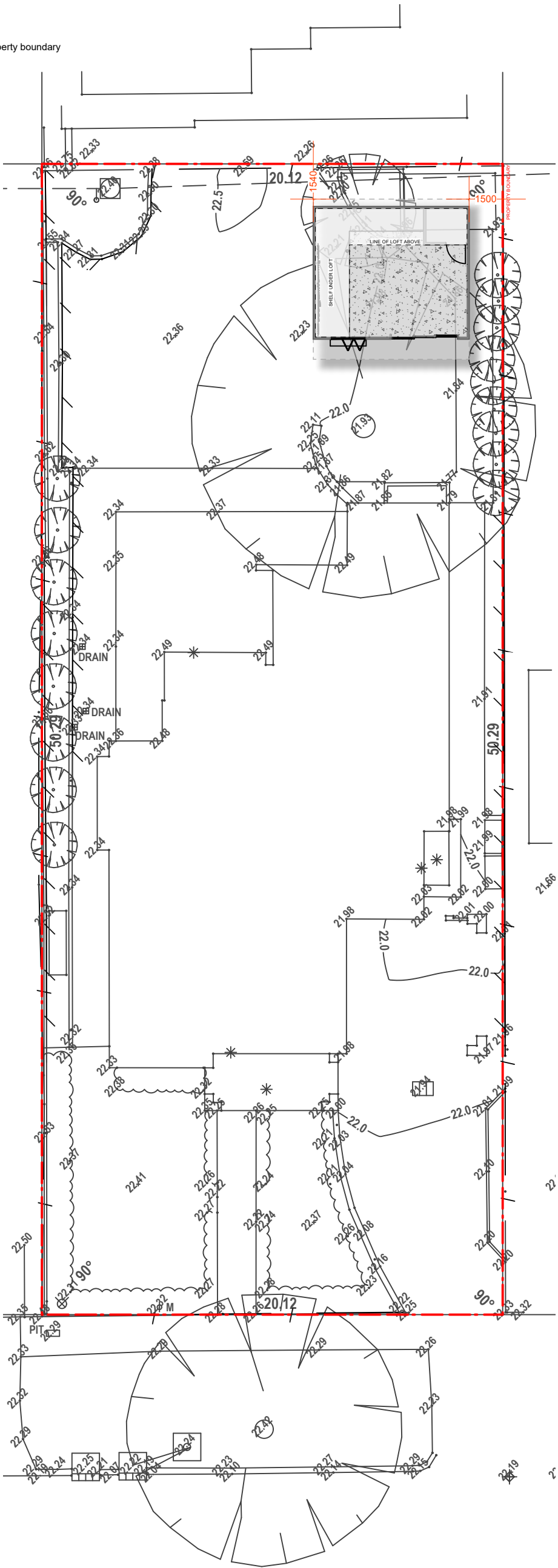
COUNTER SUNK SEX BOLT

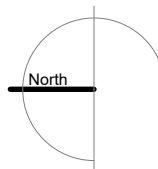
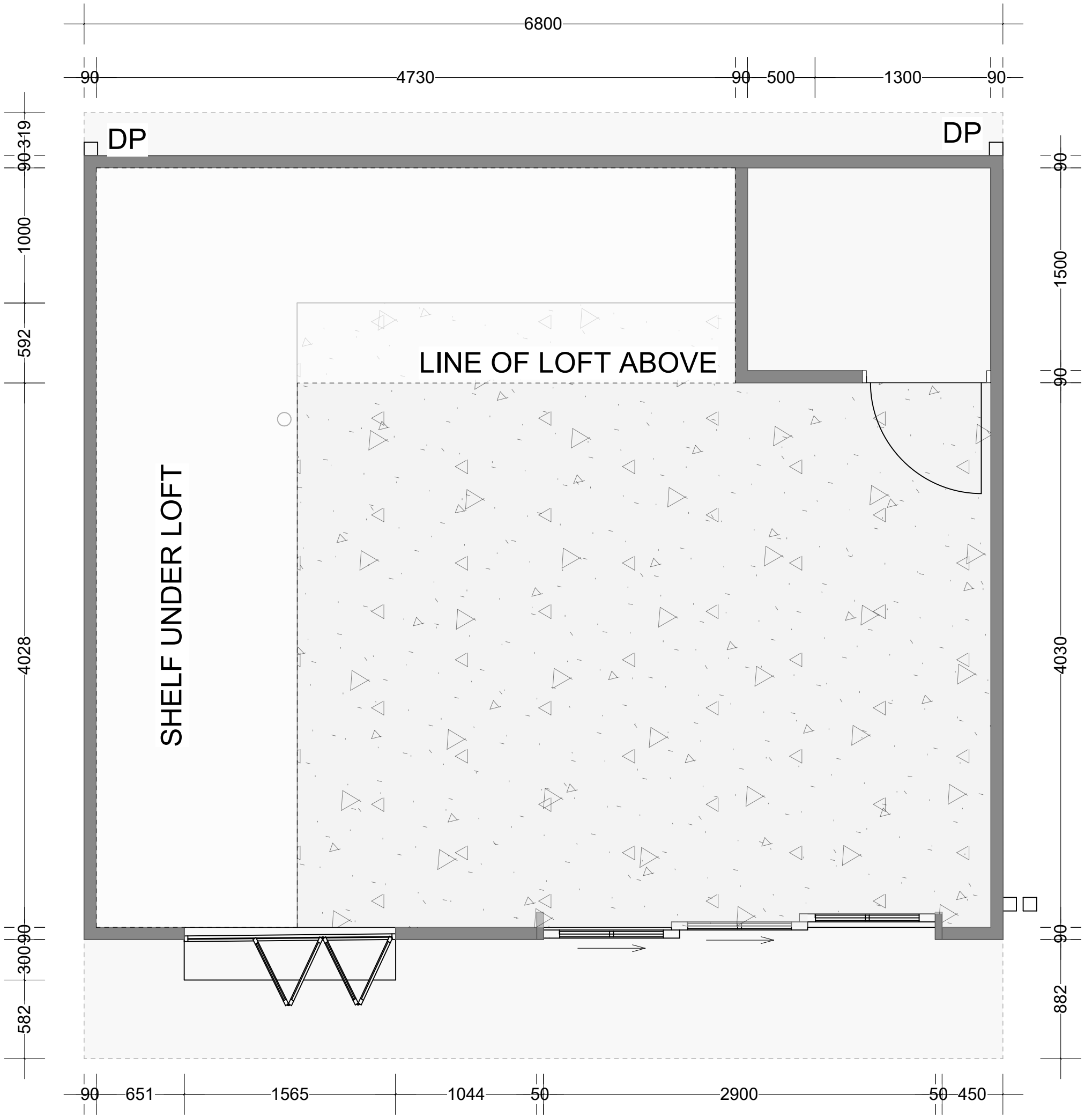


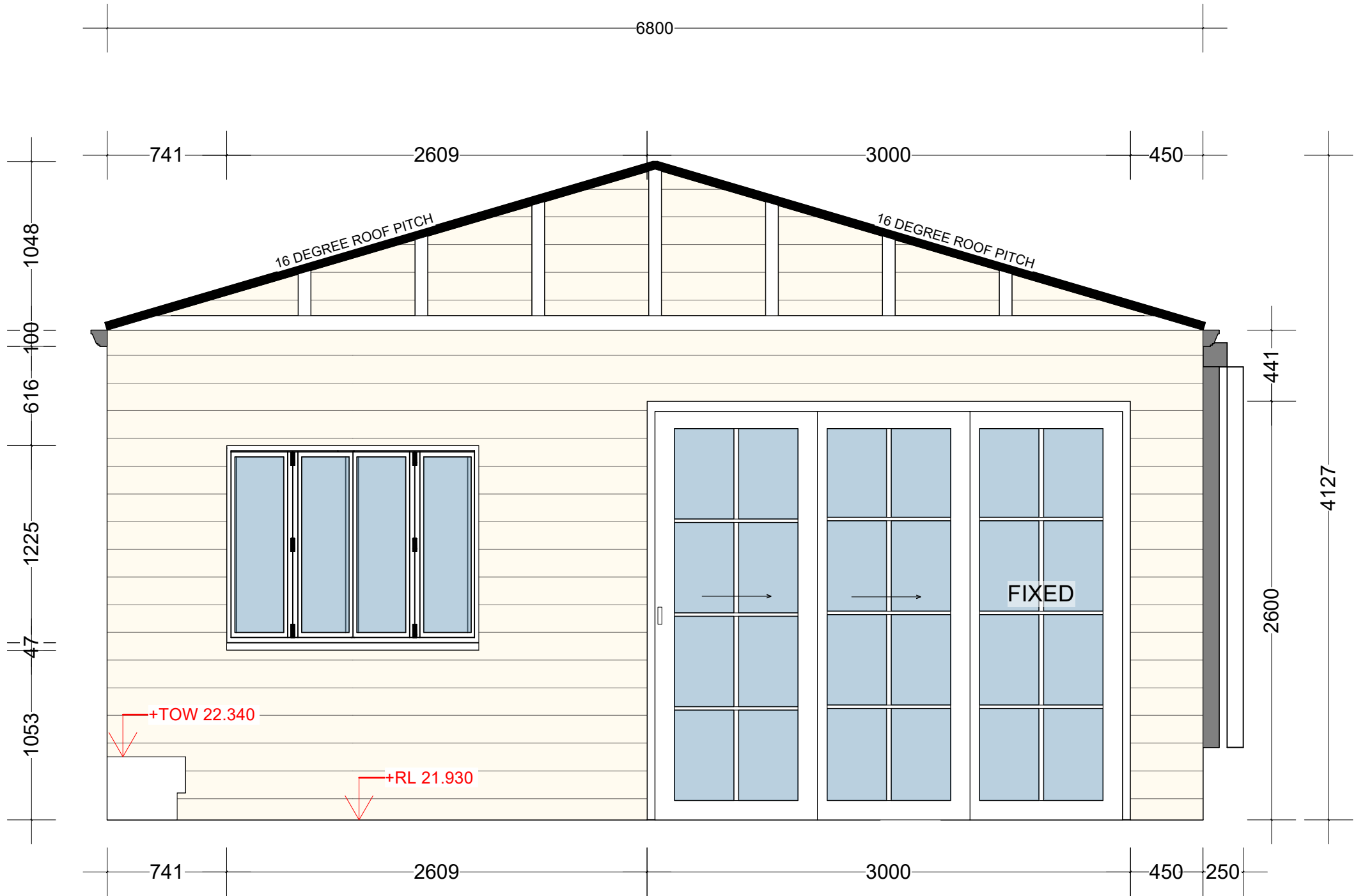
LATCH



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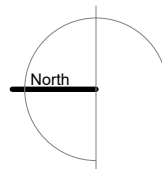
1 **WEST ELEVATION**
9.03 Scale: 1:30

NOTES:
CLADDING- WEATHERTEX CLASSIC RUSTICATED SMOOTH 200MM
ROOF - LYSAGHT TRIMDEK®
COLOR - SURF MIST WHITE
WINDOWS - BI FOLD
DOORS - X2 SLIDING, X1 FIXED
X2 BOX GUTTER TO DRAIN ON SITE INTO PROPOSED SOAKWELLS

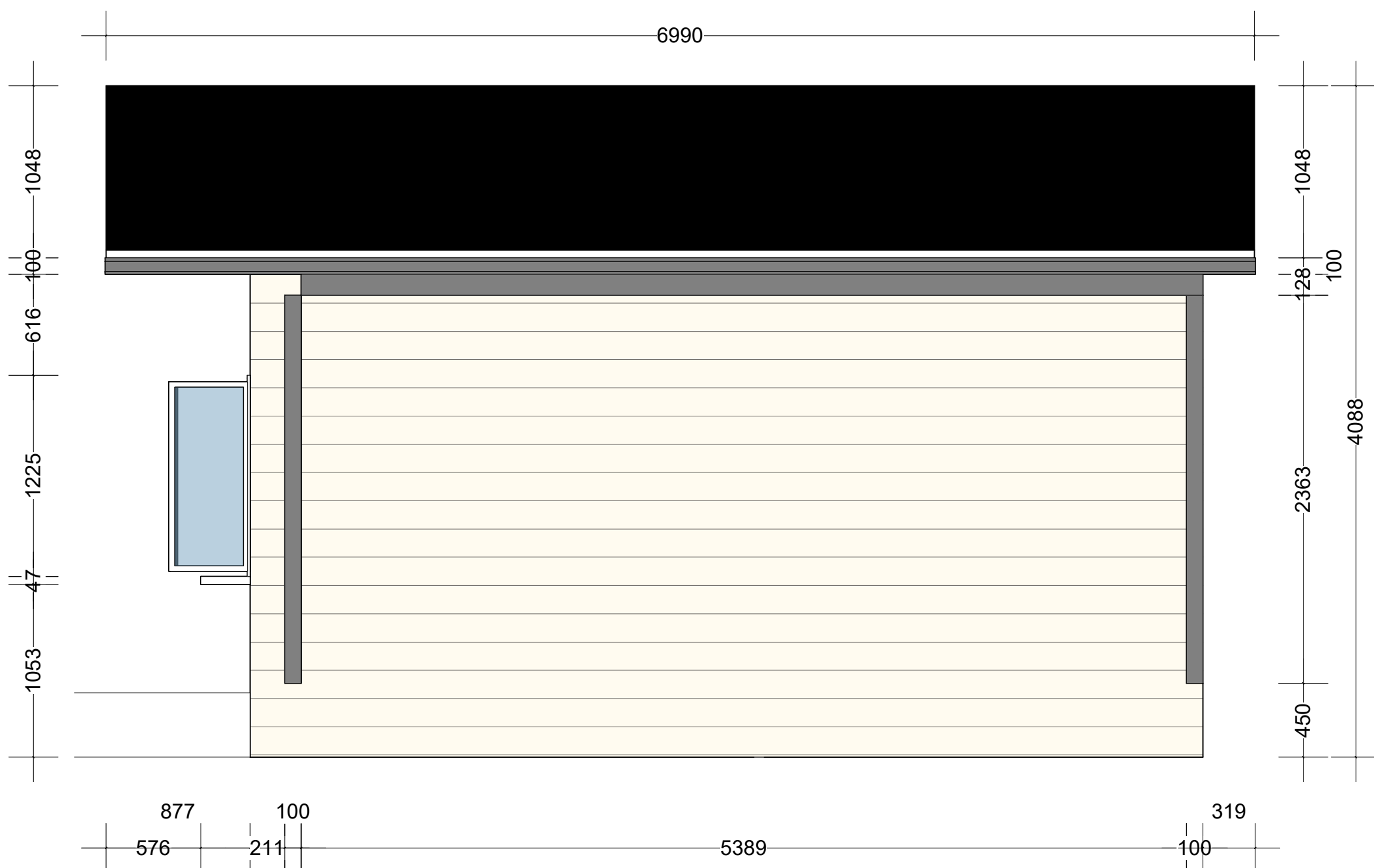
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36 Dalgety Street, East Fremantle
PROJECT NUMBER 0108_LS

DRAWING STRUCTURE ELEVATION
SCALE 1:100 @ A3
DRAWING 9.03



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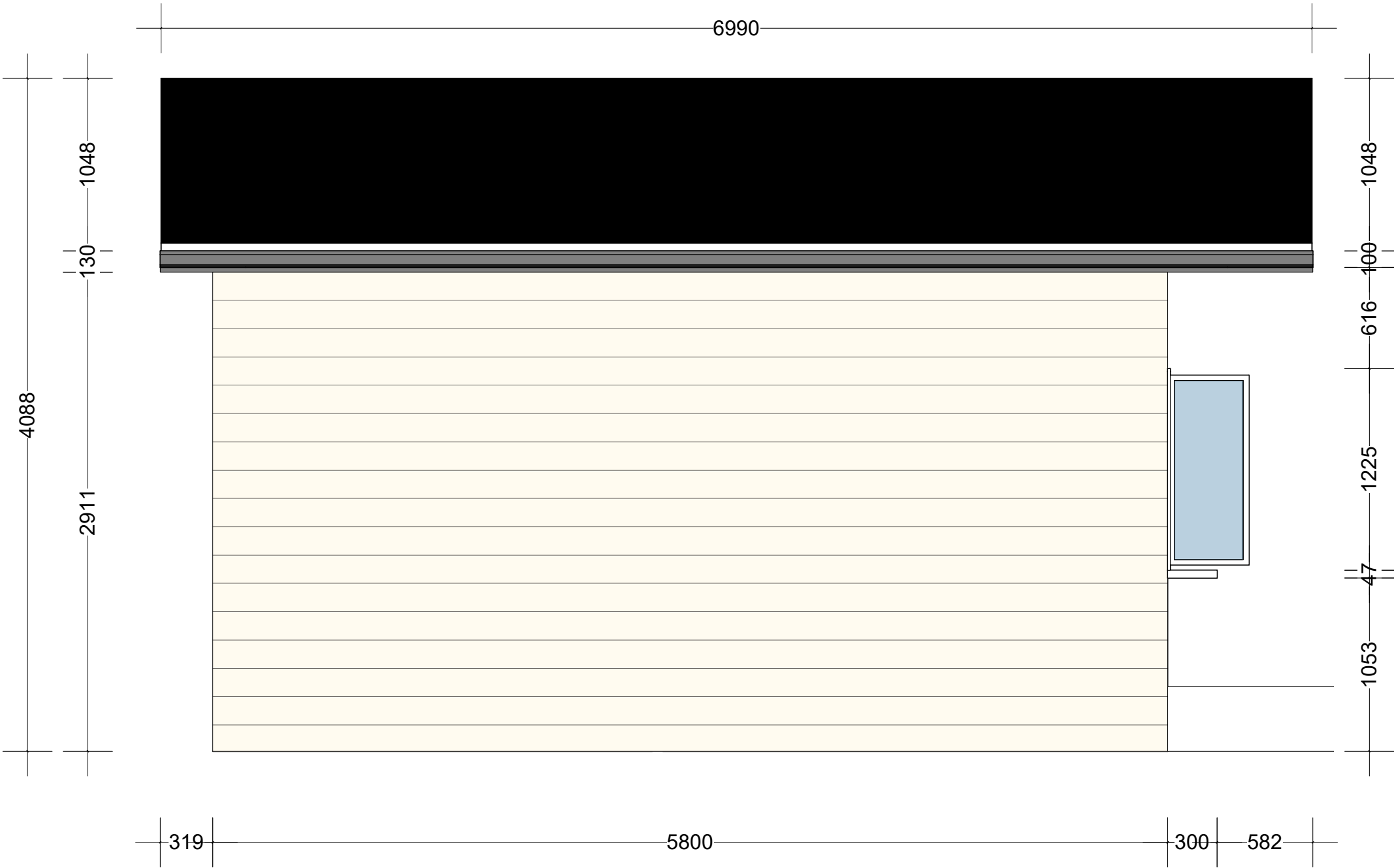


1

9.04

NOTES:

CLIENT



1

9.05

NORTH ELEVATION

Scale: 1:30

NOTES:
CLADDING- WEATHERTEX CLASSIC RUSTICATED SMOOTH 200MM
ROOF - LYSAGHT TRIMDEK®
COLOR - SURF MIST WHITE
WINDOWS - BI FOLD
DOORS - X2 SLIDING, X1 FIXED
X2 BOX GUTTER TO DRAIN ON SITE INTO PROPOSED SOAKWELLS



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36 Dalgety Street, East Fremantle

PROJECT NUMBER0108_LS

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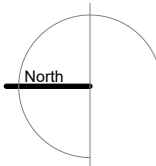
STRUCTURE ELEVATION

SCALE

1:100 @ A3

DRAWING

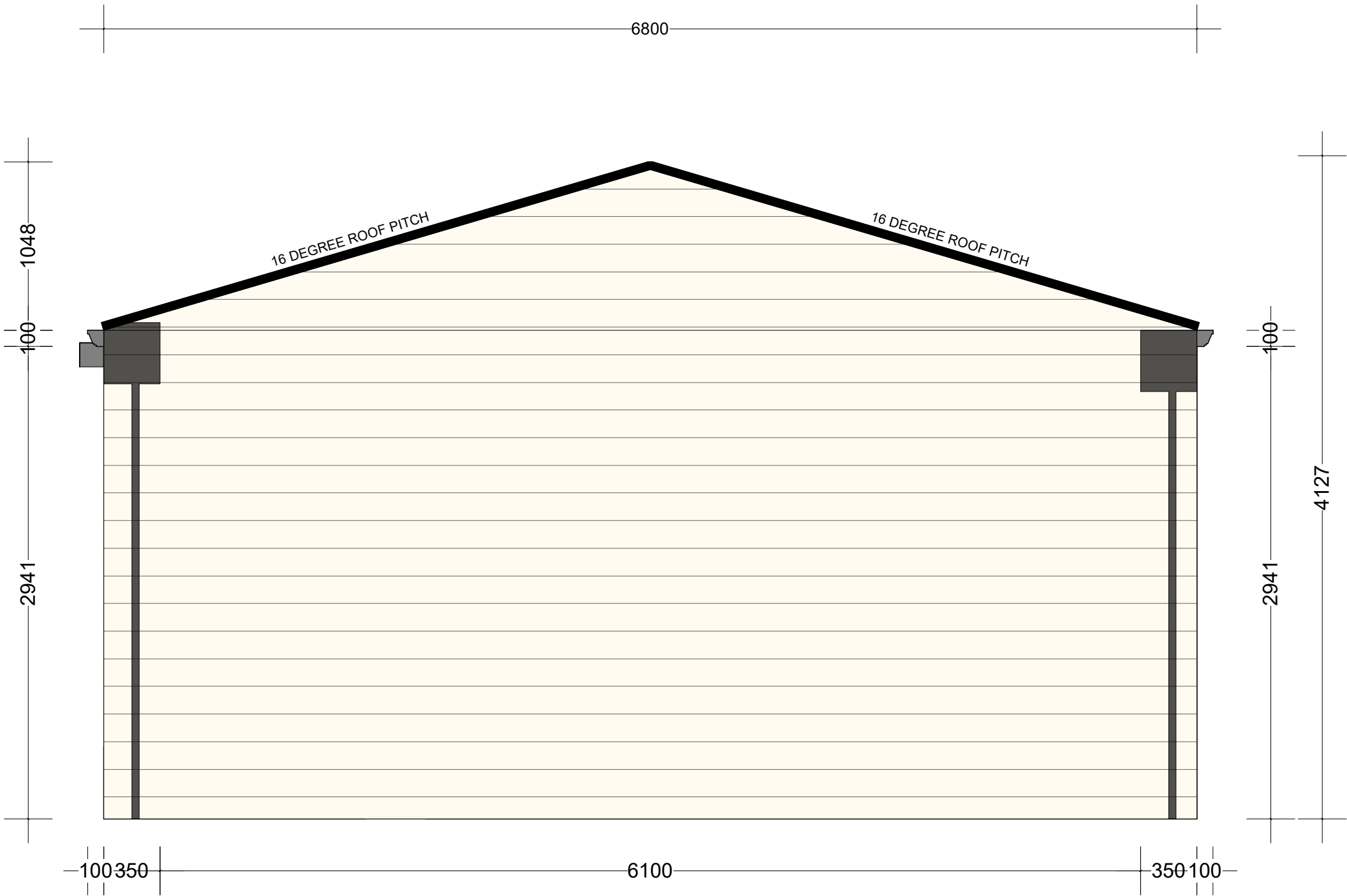
9.05



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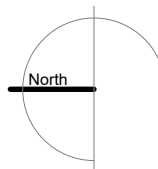


NOTES:
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ROOF - LYSAGHT TRIMDEK®
COLOR - SURF MIST WHITE
WINDOWS - BI FOLD
DOORS - X2 SLIDING, X1 FIXED
X2 BOX GUTTER TO DRAIN ON SITE INTO PROPOSED SOAKWELLS

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LANDSCAPE ARCHITECTURE
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36 Dalgety Street, East Fremantle
PROJECT NUMBER 0108_LS

DRAWING STRUCTURE ELEVATION
SCALE 1:100 @ A3
DRAWING 9.06



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