

GENERAL NOTES

Conceptual Design

The design is concept only and subject to further detailed documentation and coordination with all consultants.

Material Selection and Installation

All materials and landscape elements must be supplied, installed, and maintained in accordance with manufacturers' and suppliers' specifications and relevant Australian Standards:

- AS 4419:2018 – Soils for landscaping and garden use.
- AS 4454:2012 – Composts, soil conditioners, and mulches.
- AS 3661.1:1993 – Slip resistance of pedestrian surfaces.

Structural and Engineering Requirements

All construction, including structural components, must be certified and comply with engineering requirements.
Structural works (e.g., retaining walls, pergolas, decks) must comply with AS 4678:2002 (Earth-retaining structures) and any additional applicable Australian Standards.

Coordination and Documentation

All drawings must be read in conjunction with:
The landscape drawing package.

Landscape visualizations.

Builder's drawings, architectural drawings, and the site survey.

Utility Services

Locate and identify all public utility services on-site before the commencement of work. Any service disruptions must be approved by the relevant authorities.

Paving and Setout

Paving locations shown on drawings are indicative only and must be set out and confirmed on-site. Paving must comply with AS 3727.1:2016 (Guide to residential paving).
Workplace Health and Safety
All contractors must ensure that all works are carried out in accordance with the Work Health and Safety Act 2011 and any other applicable state-specific safety regulations.

Planting and Tree Setout

The landscape architect must be on-site to oversee the planting setout to ensure compliance with design intent and site-specific conditions.
All planting and trees in or near pool areas and barriers must comply with:
AS 1926.1-2024 – Safety barriers for swimming pools.
Relevant local planning policies for vegetation near pool areas.

Bushfire Prone Areas

For lots within Bushfire Prone Areas or those with a designated Bushfire Attack Level (BAL), all works must comply with:
WA State Planning Policy 3.7.
Current Bushfire Management Plan for the site.
AS 3959:2018 – Construction of buildings in bushfire-prone areas.
Local Government's Firebreak Notices and Fuel Hazard Reduction Notices.

Irrigation

Irrigation systems must be designed and installed to comply with AS 2845.3:2021 (Backflow prevention) and ensure water efficiency as per local water authority guidelines.

Soil Preparation and Mulching

All soil preparation must be carried out in accordance with AS 4419:2018.
Mulching must comply with AS 4454:2012, ensuring it is free of contaminants and appropriate for the plant species specified.
Play Areas and Surfaces (if applicable)
All play equipment and soft fall areas must comply with AS 4685:2021 (Playground equipment and surfacing).

Maintenance

All landscape elements, including planting, paving, irrigation, and structures, must be maintained by the client to comply with the relevant Australian Standards, local planning policies, and the approved design intent.

Environmental Protection

Ensure that all works comply with environmental regulations to prevent sedimentation, erosion, or contamination of surrounding areas. Follow AS 3798:2007 for earthworks and site preparation where applicable

Drawing List			
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10.6	ALFRESCO LAYOUT PLAN	ISO A3	2
10.7	ALFRESCO SECTION	ISO A3	2



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CLIENT

CALVERT RESIDENCE

DRAWING

COVER PAGE

REVISION

maya.calvert84@gmail.com

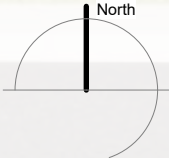
SCALE

1:100 @ A3

23 OAKOVER ST, EAST FREMANTLE

DRAWING

1.1



2

PROJECT NUMBER

0022

25.08.2025

NOTE:
Concept only
All selections and materials to be supplied and installed to manufacturers spec.
All construction subject to engineering
All dimensions to be checked and finalised on site

CLIENT

CALVERT RESIDENCE

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23 OAKOVER ST, EAST FREMANTLE

PROJECT NUMBER

0022

DRAWING

SITE SURVEY

SCALE

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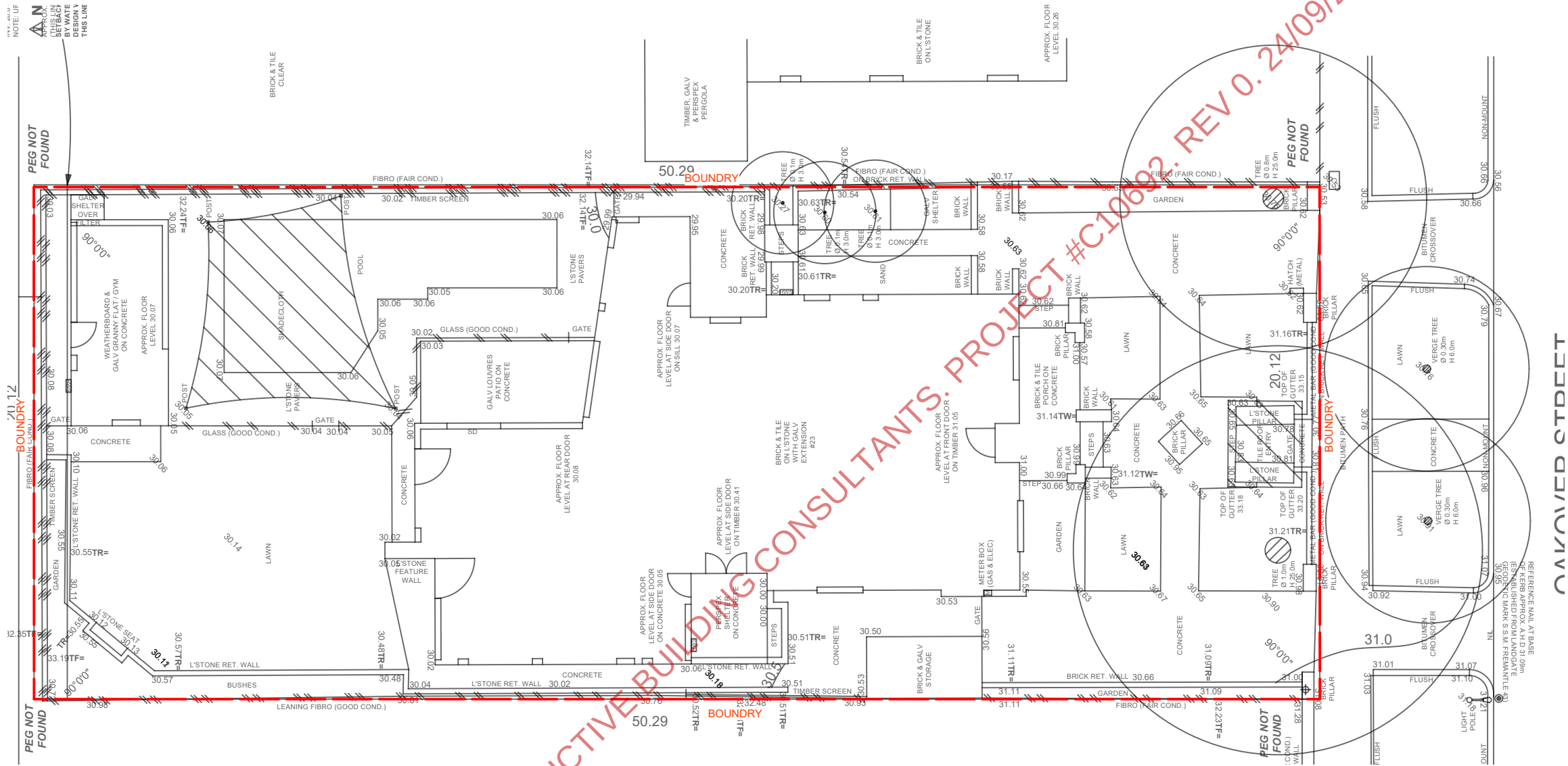
DRAWING

2.1

REVISION

2

25.08.2025



LEGEND

TO BE DEMOLISHED

TO BE DETERMINED BY LANDSCAPER AND CLIENT

HARD STAND TO BE REMOVED.
STRUCTURE TO BE REMOVED WITH
CLIENTS APPROVAL

REFER TO POOL PLAN FOR POOL
DEMO

NORTH AND WEST BOUNDRY
FENCE TO BE REPLACED

NORTH AND WEST BOUNDRY
FENCE TO BE REPLACED

LANDSCAPE TO DETERMINE
IF LAWN CAN STAY OR MUST
BE REMOVED TO ALLOW FOR
GARDEN BEDS, RETIC AND
EARTH MOVING MACHINERY

PLANTING WITH GARDEN BED
TO BE REMOVED. PORTION
OF RETAINING WALL TO BE
DEMOLISHED TO ALLOW FOR
NEW CURVED SEAT

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DRAWING

DEMO PLAN

SCALE

1:200 @ A3

DRAWING

3.1

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RETAIN EXISTING
PAVEMENT

FLANKING WALLS
TO BE DEMOLISH -
CONFIRM WITH
CLIENT

RETAIN TREE AND
PLANTING

CROSS OVER TO
BE RELOCATED -
PENDING CLIENT
APPROVAL

FLANK WALL TO BE REMOVED

FLANK WALL TO BE REMOVED
STEEL FRONT FENCE TO BE
RETAINING. LOWER LEVEL WALL
TO FRONT FENCE TO BE
DEMOLISHED

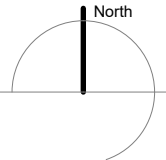
GATE HOUSE TO REMAIN - NEW
PAVEMENT IS REQUIRED
THEREFORE DEMOLISH EXISTING
HARDSTAND ONLY

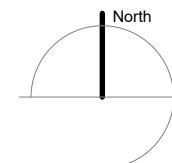
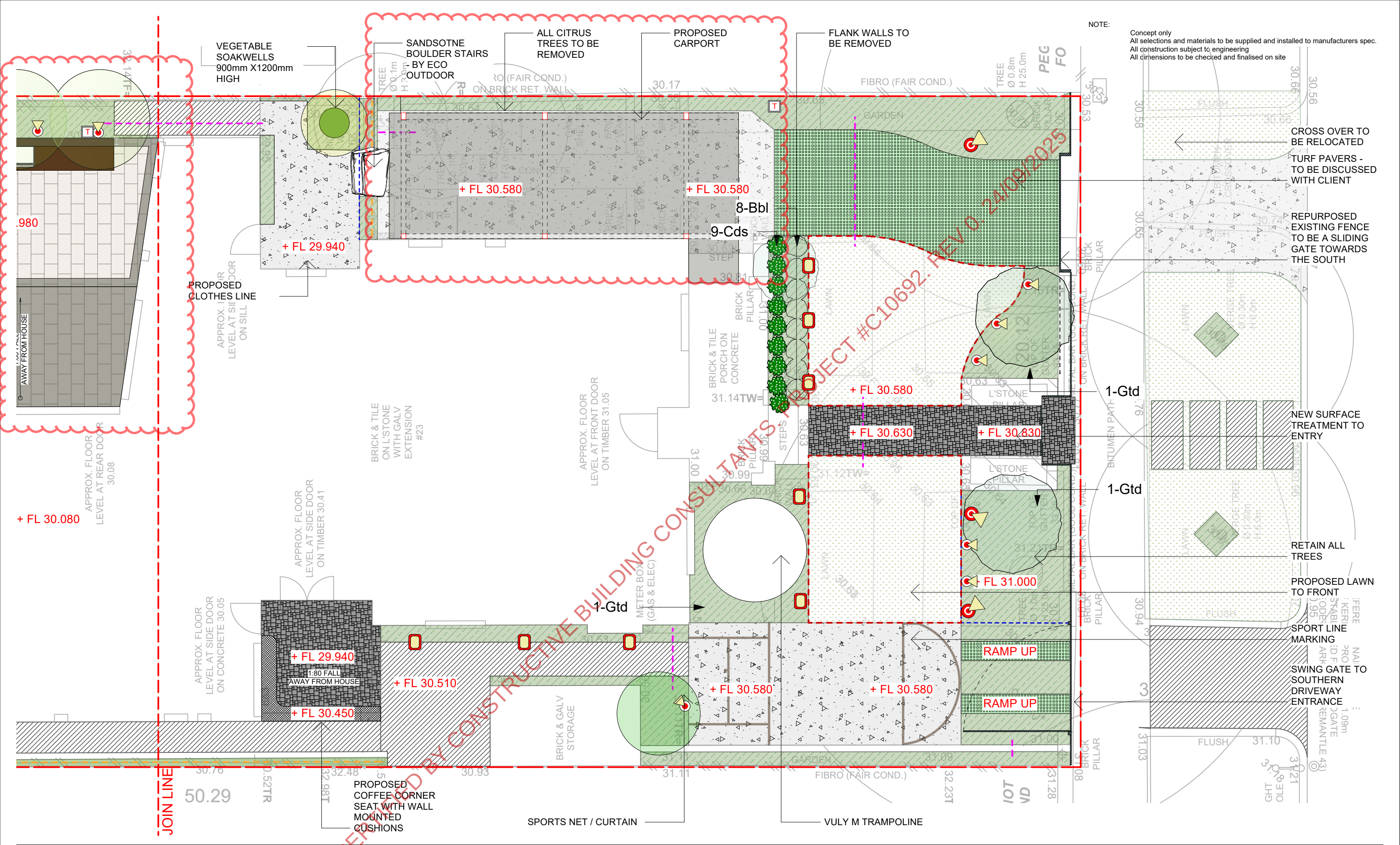
ENBSURE TREE PROTECTION
ZONE IS MARKED

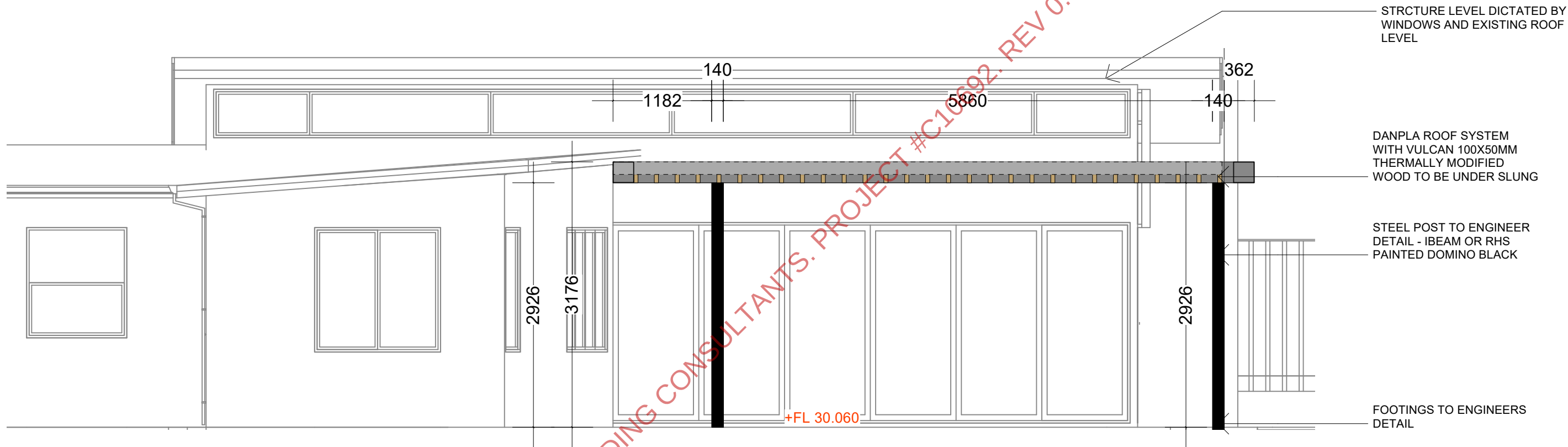
FLANK WALL TO BE REMOVED

OPPORTUNITY TO RETAIN
DRIVWAY - PENDING LEVELS WITH
LANDSCAPER AND QUALITY OF
EXISTING CONCRETE

LANDSCAPER TO CONFIRM IF
HARDSCAPE CAN GO OVER
EXISTING SLAB





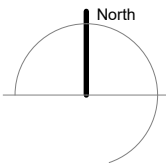


DIMENSIONS TO BE CHECKED AND CONFIRMED ON SITE BY BUILDER

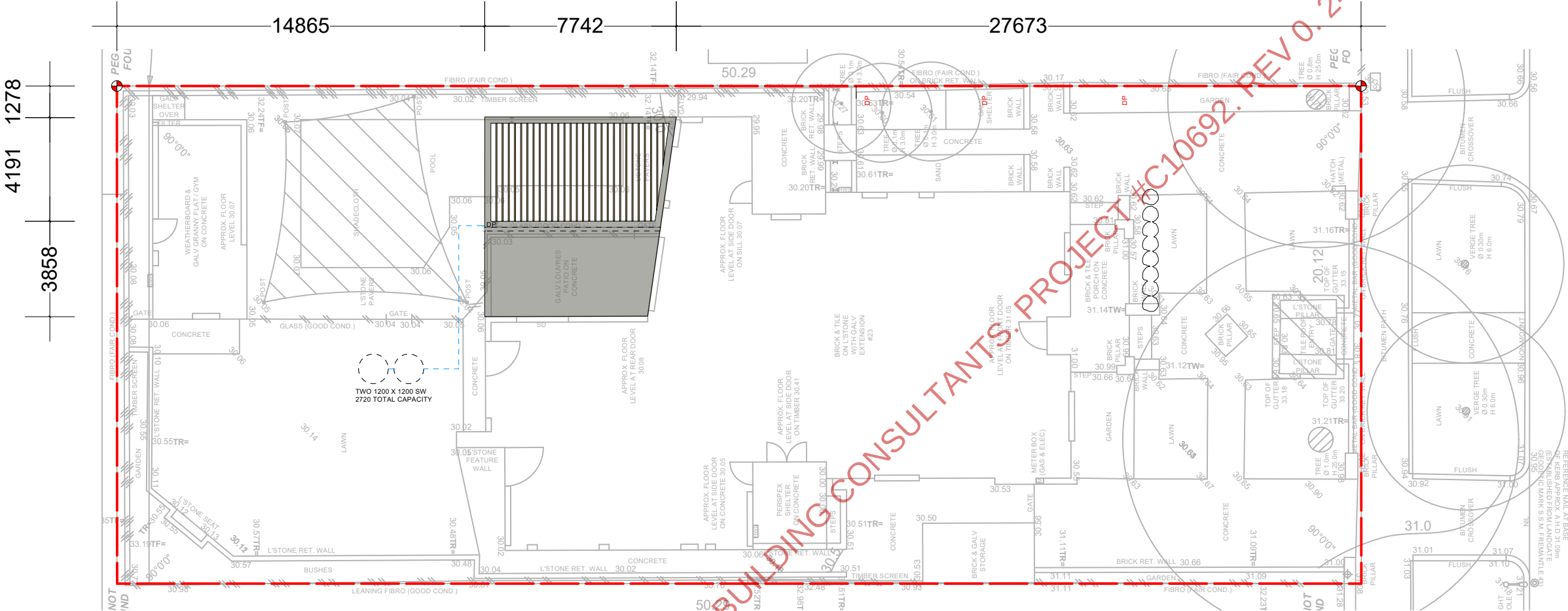
NOTE:
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Box gutter to AS 3500.3

CLIENT	CALVERT RESIDENCE maya.calvert84@gmail.com 23 OAKOVER ST, EAST FREMANTLE
PROJECT NUMBER	0022

DRAWING	ALFRESCO SECTION
SCALE	1:50 @ A3
DRAWING	10.7



LOCATION PLAN LINES BASED OFF PROPERTY BOUNDARY



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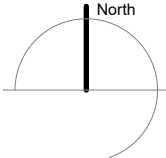
ALFRESCO LOCATION PLAN

SCALE

1:200 @ A3

DRAWING

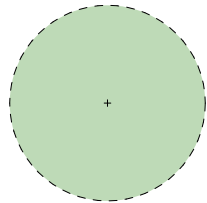
10.5



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PROPOSED TREES



PLANTED AREAS



INSTANT SOFT LEAF BUFFALO TURF AS SUPPLIED BY COMPLETE TURF CARABOODA



PAVEMENT 01 - SCALA CROSS CUT TRL 20MM 1200X406



PAVEMENT 02 - PORPHYRY BAGUETTE 150-400X100-120X30-80MM SPLIT AND TUMBLED



PAVEMENT 03 - SCALA CRAZY PAVING 20MM SAWN CUT



PAVEMENT 04 - ANGOURI BATON BY ECO OUTDOOR - 200X50MM TUMBLED



PAVEMENT 05 - OPEN FORM PAVER - GB MASONARY SUPPLIED BRICK WORKS - GREY



CONCRETE - CORAL LIGHTLY HONED BY LIMECRETE



MILLBOARD - ENHANCED GRAIN LIMED OAK DECKING



30mm ORGANIC BLUESTONE STEPPERS - BY CREATION OUTDOORS



POOL WATER



POOL SHELL



90mm x 45mm x 5mm MILD STEEL TURF EDGING SECURED WITH CONCRETE FOOTINGS AT 3M C/S



STAINLESS STEEL TRELLIS



STEEL POOL FENCING & GATES



TIMBER SCREEN 1800MM HIGH



6MM POWDERCOATED ALUMINIUM RETAINING AND FASCIA - COLOUR TBC



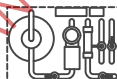
90mm CLASS 9 PVC SLEEVE



FENCING AND GATES



PROPOSED WALLS



POOL PUMPS AND FILTRATION



BBQ AND GRILL



LENNOX FREESTANDING OUTDOOR SHOWER BY BROOKLYN COOPER



EXISTING PAVEMENT TO BE RETAINED



75mm STONE MULCH ON GEO-TEXTILE FABRIC

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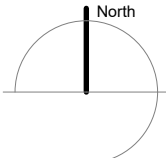
CONCEPT PLAN LEGEND

SCALE

1:100 @ A3

DRAWING

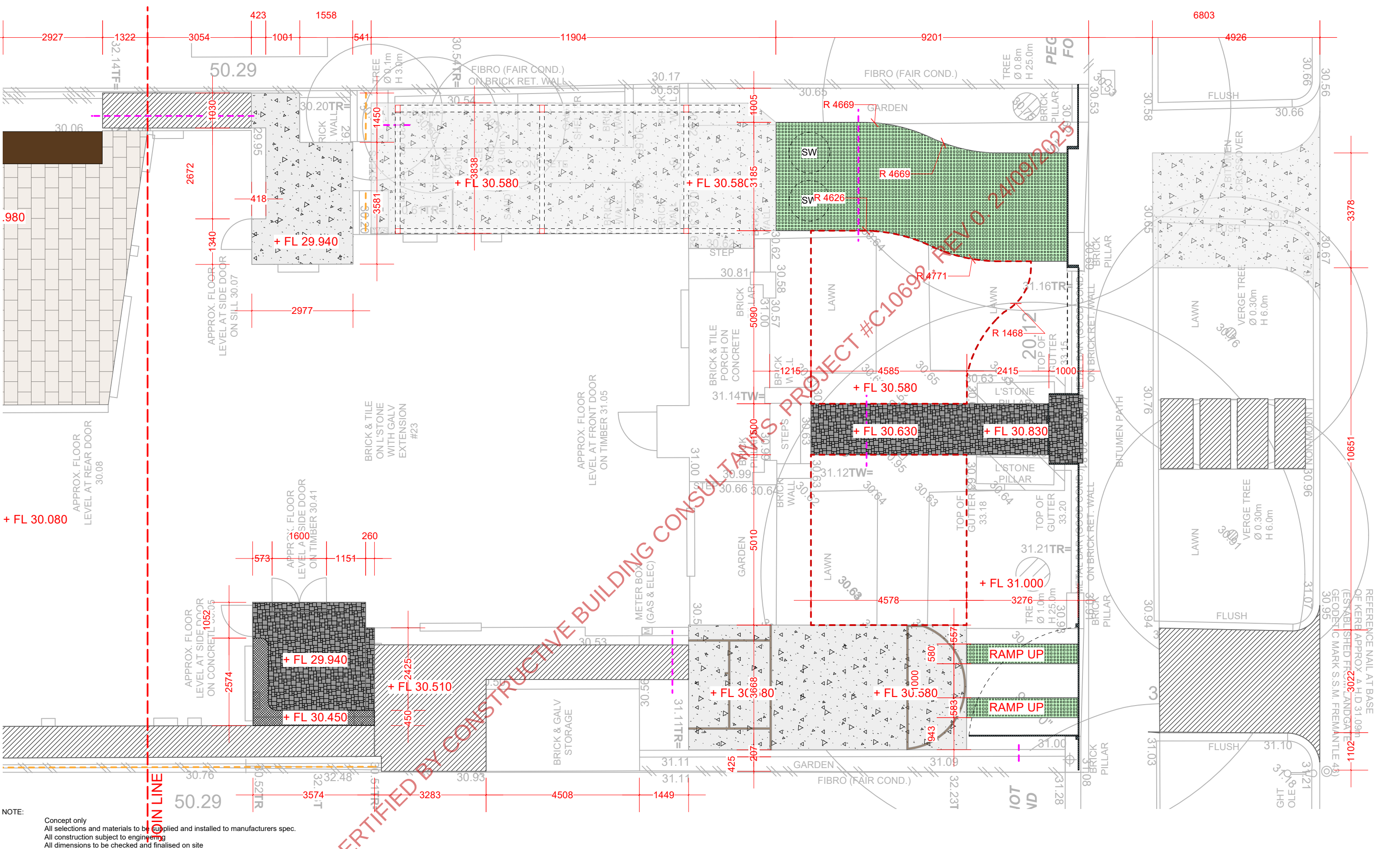
4.3



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YOXALL
LANDSCAPE ARCHITECTURE

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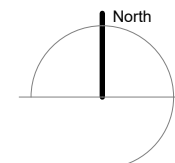
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HARDSCAPE PLAN

1:100 @ A3

DRAWING

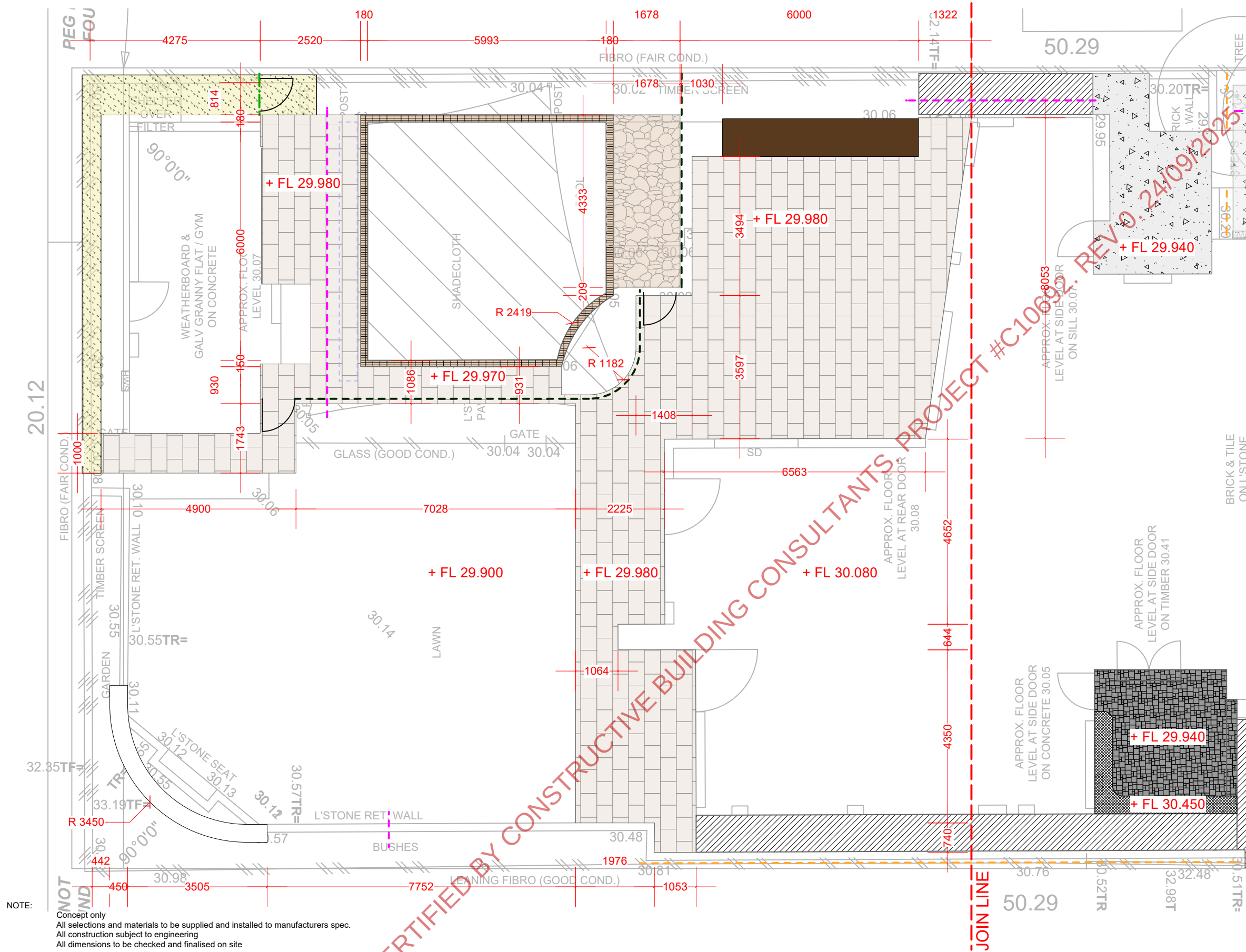
5.1



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APPROX SQM:
CHAMBON PAVER 108 SQM
CHAMBON CRAZY PAVE 7.5SQM
CHAMBON BATON 24 SQM
PENDAL BATON 5 SQM
CONCRETE 98 SQM
OPEN / TURF PAVER 27 SQM

GRASS 180 SQM

NOTE THESE ARE APPROXIMATE. TO BE MEASURED
ON SITE AND ACCOUNT FOR OFF CUTS TO BE
CONSIDERED

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PROJECT NUMBER	0022	SCALE	1:100 @ A3
		DRAWING	5.2

GENERAL NOTES

Concept Design

The design is concept only and subject to further detailed documentation, coordination with consultants, and client approval.

Material Selection and Installation

All materials and landscape elements must be supplied, installed, and maintained in accordance with manufacturers’ and suppliers’ specifications and relevant Australian Standards:
AS 4419:2018 – Soils for landscaping and garden use.
AS 4454:2012 – Composts, soil conditioners, and mulches.
AS 3661.1:1993 – Slip resistance of pedestrian surfaces.

Structural and Engineering Requirements

All construction, including structural components, must be certified by a qualified structural engineer and comply with the following:
AS 4678:2002 – Earth-retaining structures.
AS 3600:2018 – Concrete structures.
AS 4100:2020 – Steel structures.

Coordination and Documentation

Drawings must be read in conjunction with the landscape drawing package, builder’s drawings, architectural drawings, and site survey. Any discrepancies must be reported to Kylan Yoxall and the client immediately.

Utility Services

Locate and confirm the position of all public utility services on-site prior to the commencement of any works. Coordination with service authorities is required for any disruptions.

Paving and Setout

All paving shown on drawings is indicative only and must be set out and confirmed on-site in compliance with:
AS 3727.1:2016 – Guide to residential paving.

Workplace Health and Safety

All works must comply with the Work Health and Safety Act 2011, and all contractors are responsible for ensuring the safety of the site and workers.

Planting and Trees

The landscape architect must be present during the planting setout to ensure compliance with design intent.
All planting and trees in or near pool areas must be installed and maintained to comply with:
AS 1926.1-2024 – Safety barriers for swimming pools.
Relevant local planning policies.

HARDSCAPE NOTES

General Compliance

All contractors must comply with:
Relevant Australian Standards.

Building regulations.

Local council planning and building permits.
All structural works must be certified by a qualified structural engineer before construction begins.
A full site setout must be completed and confirmed prior to commencing any works. Any discrepancies must be immediately reported to Kylan Yoxall and the client for clarification.

Site Cleanliness

The site must be left in a clean and safe state at the end of each workday.
A final site clean-up must be completed at the end of the project and approved by the client. This includes but is not limited to:
High-pressure cleaning of all paving.
Removal of all rubbish and debris from the site.
Ensuring all installed items are fully operational, including:
Garden lighting (to comply with AS/NZS 3000:2018 for electrical installations).
Irrigation systems (to comply with AS 2845.3:2021 – Backflow prevention).
Pool filtration systems (to comply with relevant standards and manufacturer specifications).

Installation Requirements

All items must be installed in accordance with:
Relevant Australian Standards, including but not limited to:
AS 1428.1:2021 – Design for access and mobility (where applicable).
AS 4685:2021 – Playground equipment and surfacing (if applicable).
Building regulations and local planning policies.
Manufacturers’ and suppliers’ specifications.

Hardscape Features

All hardscape elements, including paving, retaining walls, fencing, and decks, must meet the relevant standards:
AS 3958.1-2007 – Ceramic tiles (for tiled surfaces).
AS 3700:2018 – Masonry structures (for retaining walls).
AS 1926.1-2024 – Pool barriers (for pool-adjacent elements).
AS 2047:2014 – Windows and external glazed elements (if applicable to design).

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23 OAKOVER ST, EAST FREMANTLE

PROJECT NUMBER

0022

DRAWING

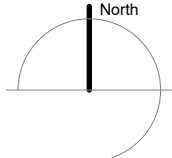
HARDSCAPE PLAN NOTES

SCALE

1:100 @ A3

DRAWING

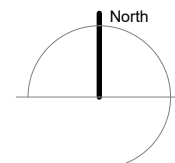
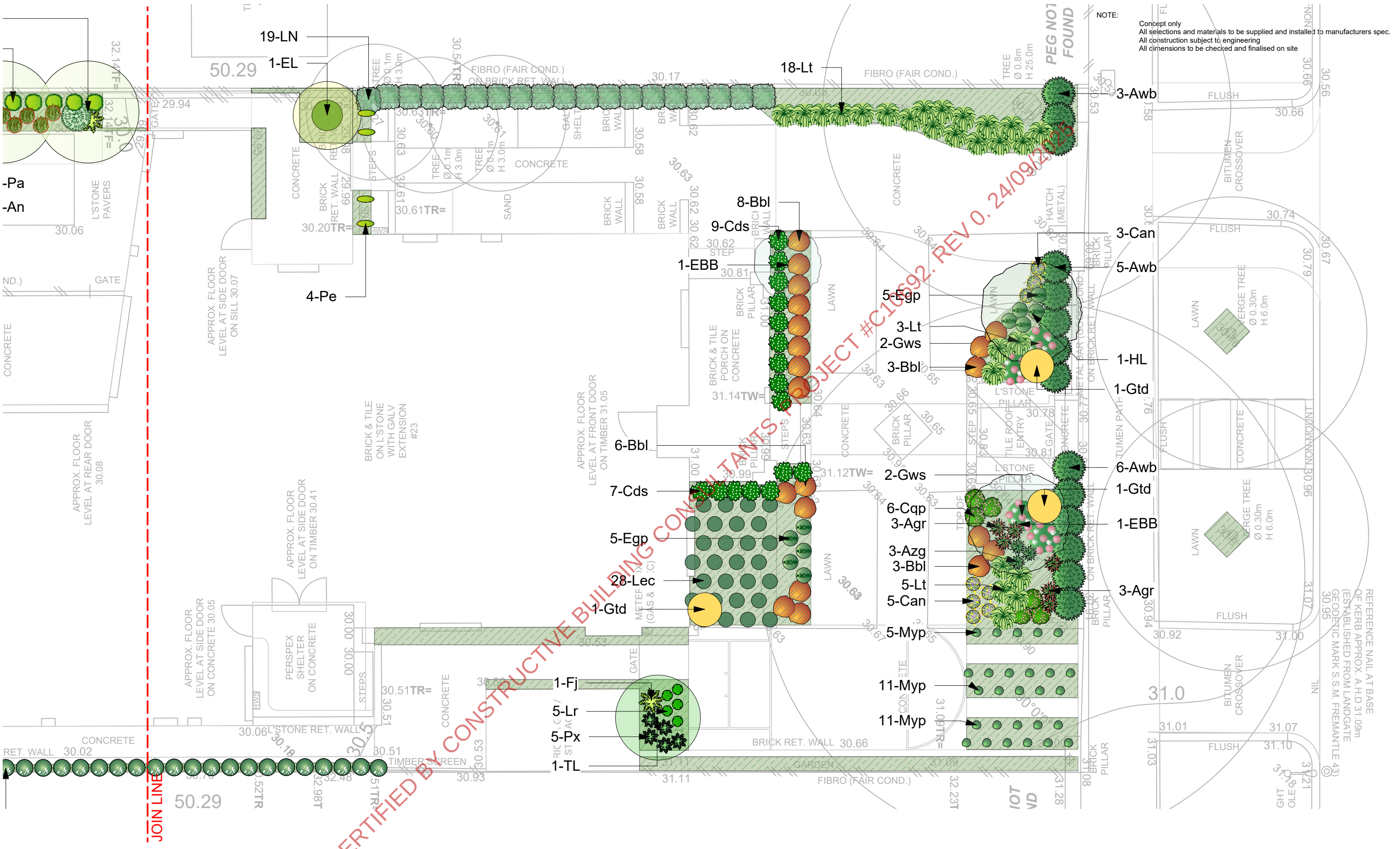
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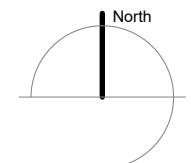


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25.08.2025





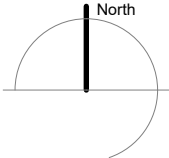
Plant List				
ID	Qty	Common Name	Botanical Name	Scheduled Size
Trees				
CC	1	Forest Pansy Redbud	Cercis canadensis 'Forest Pa	100Lt
EC	2	Gungurru, Silver Princess	Eucalyptus caesia	90Lt
EBB	2	Baby Blue (Tree Form)	Eucalyptus pulverulenta	---
EV	1	Little Ghose Gum	Eucalyptus Vitrix	200Lt
EL	1	Lemon Tree	Eureka Lemon	200Lt
HL	2	Pincushion Hakea	Hakea laurina	---
LN	19	Bay Laurel	Laurus Nobilis	90Lt
TL	1	Persian Lime	Tahitian Lime	200Lt
WAF	6	Weeping Lilly Pilly	Waterhousia floribunda	200Lt
Shrubs				
Awb	42	Woolly bush	Adenanthos sericeus select	30Lt
Azg	3	Kangaroo Paw Green	Anigozanthos Flavidus Green	200mm
Agr	12	Kangaroo Paw Red	Anigozanthos Flavidus Red	200mm
An	6	Oldman Saltbush	Atriplex vesicaria	200mm
Cqp	6	One Sided Bottlebrush	Calothamnus quadrifidus pro	200mm
Cds	46	Desert Star Natal Plum	Carissa Desert Star	200mm
Gws	9	Geraldton Wax	Chamelaucium My Sweet Six	200mm
Chor	1	Heart-leaved Flame Pea	Chorizema cordatum	200mm
Can	11	Grey Cottonheads	Conostylis candicans	200mm
Cal	2	White Correa	Correa alba	200mm
Fj	4	Japanese Aralia	Fatsia Japonica	200mm
Ggw	6	Whirling Butterflies	Gaura Geyser White	200mm
Gtd	6	Grevillea Tangerine Dream	Grevillea Tangerine Dream	200mm
Hpl	5	Licorice Plant	Helichrysum petiolare	200mm
Lsn	9	Silver Nugget	Leucaphyta brownii Dome	200mm
Lr	5	Tractor seat plan	Ligularia reniformis	200mm
Mup	10	Orange Jessamine	Murraya paniculata	200mm
Pa	8	Fountain Grass	Pennisetum alopecuroides	200mm
Px	5	Philodendron	Philodendron xanadu	200mm
Pep	5	Mulla Mulla	Ptilotus exaltatus phoenix	200mm
Rtr	14	Trailing Rosemary	Rosmarinus officinalis prostra	200mm
Wlh	6	Dwarf Coastal Rosemary	Westringia fruticosa	200mm
Wgb	3	Compact Coastal Rosemary	Westringia Grey Box	200mm
Ground Covers				
Bbl	26	Southern Blechnum banksia	Banksia blechnifolia	200mm
Egp	10	Kalbarri Carpet	Eremophila glabra	200mm
Ggg	5	Gin Gin Gem	Grevillea obtusifolia prostrate	200mm
Lec	40	Liriope emerald cascade	Liriope cascade	200mm
Myp	30	Myoporum parvifolium Fine Leaf	Myoporum parvifolium	200mm
Tp	68	Creeping Thyme	Thymus Praecox	200mm
Grasses				
Lt	34	Spiny-head mat rush	Lomandra longifolia 'Tanika'	200mm

NOTE:

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- All construction subject to engineering
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LANDSCAPE ARCHITECT TO BE NOTFIED 2 WEEKS PRIOR TO PLANTING - TO SCHEDULE IN PLANT SET OUT

ALL TREES AND PLANTS WITHIN POOL AREA OR ADJACENT TO POOL AREA TO BE INSTALLED AND MAINTAINED TO AS1926-2016. ENSURE NO CLIMBABLE LIMBS



ENSURE LANDSCAPE ARCHITECT IS CONTACTED 14 DAYS PRIOR TO PLANTING INSTALLAND TREE INSTALL TO ALLOW FOR PLANT SETOUT

GENERAL NOTES

The drawings shall be read in conjunction with all other consultants' drawings and specifications.
All discrepancies shall be referred to the Superintendent for a decision before proceeding with the work.
Do not scale from the drawings.
Use referenced Australian or other Standards (including amendments), and the BCA, including state and territory variations current three months before the date of the contract, except where other editions or amendments are required by statutory authorities. Any local authority requirements take precedence.

LANDSCAPE NOTES

Soils & Surfaces

Final grading shall provide surfaces free from depressions, irregularities, and noticeable changes in grade. Generally, grades shall deviate in level no greater than 20mm in one linear metre.
Site and imported topsoil: To AS 4419:2018.
Potting mixes: To AS 3743:2021.
Composts, soil conditioners, and mulches: To AS 4454:2012.
Turf areas to be cleared of all roots, rocks, and builders' rubble. A mix of Peat Plus by Good Earth Soils or Grow Organic Soil Improver by Good Earth Soils (in a 1/3 ratio) shall be cultivated through the existing soil to a depth of 100mm with a rotary hoe. Where access for a rotary hoe is limited, the soil improver can be dug in to the same depth.
Planted areas to be cleared of all roots, rocks, and builders' rubble. A mix of Peat Plus by Good Earth Soils or Grow Organic Soil Improver by Good Earth Soils (in a 1/3 ratio) shall be cultivated through the existing soil to a depth of 200mm with a rotary hoe. Where access for a rotary hoe is limited, the soil improver can be dug in to the same depth.
Planted areas shall be mulched with 'Fine Black' mulch unless otherwise stated and approved, to a minimum depth of 75mm.

Planting & Trees

Trees shall be staked with 3No. 50mm x 50mm x 1800mm Jarrah stakes. Stakes shall be painted black and installed to a minimum depth of 600mm. Trees shall be secured to poles with 3 x rubber ties in a figure-8 pattern.
Trees planted within 1000mm of walls shall be installed with a 600mm depth Nylex root barrier membrane. The membrane shall be installed as per the manufacturer's recommendations.
Plants to be set out in offset rows with consistent spacing to fill designated areas.
Supply and Delivery: Supply plants from a nursery with NIASA accreditation and deliver to the site with a label displaying the botanical name.
Health: Supply plants with foliage size, texture, and colour consistent with healthy specimens of the nominated species.
Vigour: Supply plants with extension growth consistent with vigorous specimens of the species nominated.
Damage: Supply plants free from damage and restricted habit due to growth in nursery rows.
Pests and Disease: Supply plants with foliage free from pest or disease attack. Tube stock must be protected from kangaroo browsing through the use of appropriate barriers. A minimum of 1.2-meter-high fencing is recommended around areas with newly planted tube stock.

Turf

Turf shall be instant 'Soft Leaf Buffalo' unless otherwise noted.
Turf shall be cultivated turf of even thickness, free from weeds and foreign matter.
Supply: Deliver turf within 24 hours of cutting and lay within 36 hours. Prevent drying out between cutting and laying.
Laying: Lay turf in a stretcher bond pattern with staggered joints, ensuring joints are close-butted.
Tamping: Lightly tamp to an even surface immediately after laying. Do not use a roller.
Fertilising: Apply lawn fertiliser at the completion of the first and last mowing and as required to maintain healthy grass cover.
Watering: Water immediately after laying to moisten the topsoil to its full depth. Maintain moisture at this depth.

Steel Edging

All turf areas to be edged by 100mm high Straightcurve edging.

Fertiliser

Provide proprietary fertilisers delivered to the site in sealed bags marked with manufacturer/vendor details, weight, fertiliser type, N:P:K ratio, recommended uses, and application rates.

Irrigation

Water Source: [Mains water](#).
Irrigation sleeves beneath paved surfaces to be provided by the builder.
Irrigation to be designed to suit water pressure.
Irrigation system to be hard-wired and fully automatic, with the controller located on an external wall.
Planting to be irrigated with Netafim Techline to the manufacturer's specifications.
Trees to be irrigated by Toro Flood Bubblers with suitable sprinkler bodies and risers on a dedicated station.
Turf to be irrigated by MP Rotators and overlap sufficiently to maintain consistent growth

Soils for Australian Native Plants

Australian native plants generally require soils with specific properties that align with their natural environments. The following soil characteristics are recommended:
pH Level:
Soil pH should ideally be slightly acidic to neutral, between 5.5 to 6.5. This range mimics the natural conditions where many Australian natives thrive.
Avoid strongly alkaline or highly acidic soils.
Acidity Level:
Slightly acidic conditions, typically within the 5.5 to 6.5 pH range, support optimal nutrient uptake for most native plants.
Salinity:
Australian natives generally prefer low salinity conditions. Soils should have an EC (Electrical Conductivity) less than 1.0 dS/m.
High salinity levels can damage the plant's root systems and inhibit healthy growth.
Soil Texture:
Well-draining, sandy or loamy soils are preferred for most Australian natives.
Avoid heavy clay soils, which retain excess moisture and can promote root rot.
Organic Matter:
A low to moderate level of organic matter is beneficial. Incorporate Peat Plus by Good Earth Soils or Grow Organic Soil Improver by Good Earth Soils (in a 1/3 ratio) to improve soil structure without overwhelming the natural ecosystem.

Soils for General Garden Plants

General garden plants, including both ornamental and functional species, thrive in soils that provide balanced conditions for growth. The following soil parameters are suitable for a wide range of garden plants:
pH Level:
General garden plants tend to do well in neutral soils, with a pH range of 6.0 to 7.0. This ensures a broad variety of plants will have optimal nutrient uptake.
Acidity Level:
For most garden plants, the acidity should fall between 5.5 and 7.0, which provides a balance for nutrient availability.
Salinity:
The salinity should remain low, with soil EC below 1.5 dS/m to prevent damage to the plant roots and promote healthy growth.
Soil Texture:
A well-draining soil that retains adequate moisture is ideal. Loam and sandy-loam soils are commonly recommended.
If the soil is too heavy (clay), organic matter such as Peat Plus by Good Earth Soils or Grow Organic Soil Improver by Good Earth Soils (in a 1/3 ratio) can be added to improve aeration and drainage.
Organic Matter:
Garden plants benefit from a moderate to high level of organic matter, typically around 5% to 10% by volume. Adding organic material such as compost and soil improvers (like Peat Plus or Grow Organic Soil Improver) helps improve soil structure, water retention, and nutrient availability.

General Guidelines for Soil Preparation

Soil Testing:
Conduct soil tests to determine the current pH, acidity, salinity, and nutrient content. Amend soil accordingly to meet the specific needs of the plant species you are working with.
Soil Amendments:
For areas requiring soil conditioning, incorporate a mixture of organic matter such as Peat Plus by Good Earth Soils or Grow Organic Soil Improver by Good Earth Soils to adjust the soil texture, pH, and fertility.
Compaction:
Avoid soil compaction, which limits root growth and water infiltration. Use proper machinery and techniques to maintain loose, aerated soil that promotes healthy plant root development.

Plant Stock Sourcing

Advance Sourcing:

All plants required for the project must be sourced and confirmed a minimum of two months prior to the scheduled planting installation date. This allows sufficient time for nursery orders, stock availability checks, and ensures that plants are of the correct size, variety, and quality for the design intent.

Contract Growing:

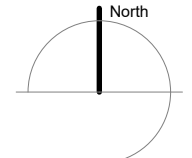
Where specific plant varieties or sizes are not readily available, it is recommended that the landscape contractor contact a reputable nursery and arrange for contract growing. This process involves the nursery growing plants specifically for the project, ensuring that the plants meet the required specifications at the time of installation.
Contract growing should be initiated as early as possible to ensure that plant material reaches the desired size and condition by the time of planting.

Stock Holding:

If possible, it may be advantageous to arrange for plants to be held in a nursery facility prior to installation, particularly for large quantities or high-value plants. This ensures that the plants are kept in the best condition before planting and avoids the risk of stock being sold to other buyers.
A clear agreement should be made with the nursery about the storage, care, and maintenance of the plants while they are waiting to be installed on site.

Site Preparation for Planting:

Prior to the delivery of plants, ensure that the site is fully prepared to accommodate the plant material. Any required soil conditioning, irrigation setup, and planting area preparation should be completed ahead of time to minimize delays once the plants arrive.

 copyright: YOXALL LANDSCAPE ARCHITECTURE	CLIENT	CALVERT RESIDENCE	DRAWING	PLANTING SPECIFICATION		REVISION
		maya.calvert84@gmail.com	SCALE	1:100 @ A3		2
		23 OAKOVER ST, EAST FREMANTLE		7.4		25.08.2025
	PROJECT NUMBER	0022	DRAWING			

CLIENT

CALVERT RESIDENCE

maya.calvert84@gmail.com

23 OAKOVER ST, EAST FREMANTLE

PROJECT NUMBER

0022

DRAWING

LIGHTING PLAN

SCALE

1:100 @ A3

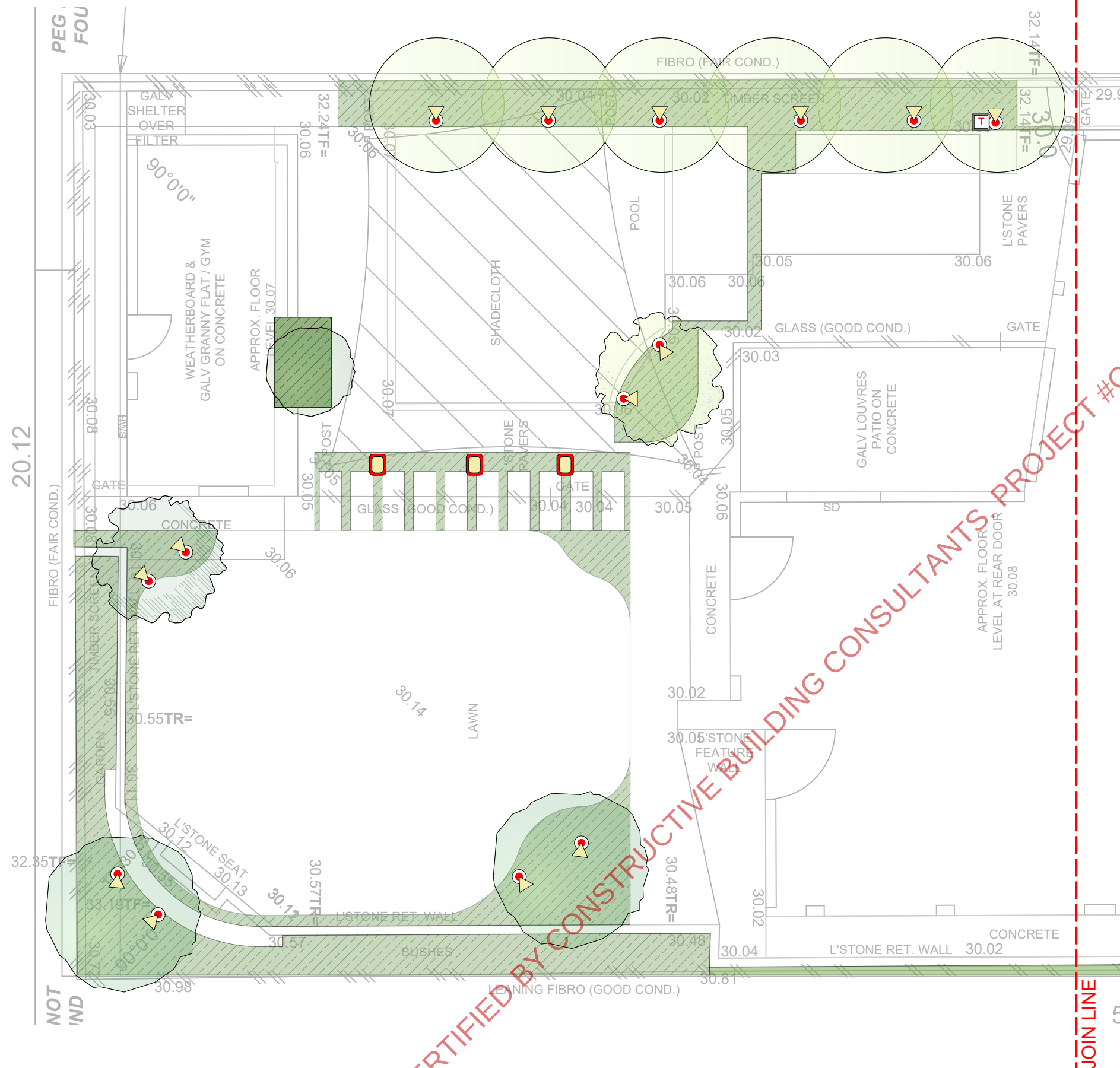
DRAWING

8.2

REVISION

2

25.08.2025



LIGHTING AND PRELAY ELEMENTS

90mm CLASS 9 PVC SLEEVE

T

LIGHTING TRANSFORMER

▲

6W LED HUNZA SPIKE SPOT -
SUPPLIED BY ALTI LIGHTING

▲

11W LED GARDENS AT NIGHT
ACCENT 11 - SUPPLIED BY ALTI
LIGHTING

□

WAY FINDING LIGHT - NOCTURNAL
FOX BOLLARD- SUPPLIED BY ALTI
LIGHTING

NOTE:

POWER - PARALLEL WIRED
MATERIAL - SOLID COPPER
COLOUR TEMP - 3000K
BEAM ANGLE - 60 DEGREE
*ADJUSTABLE KNUCKLE OPTION FOR SPIKE SPOTS

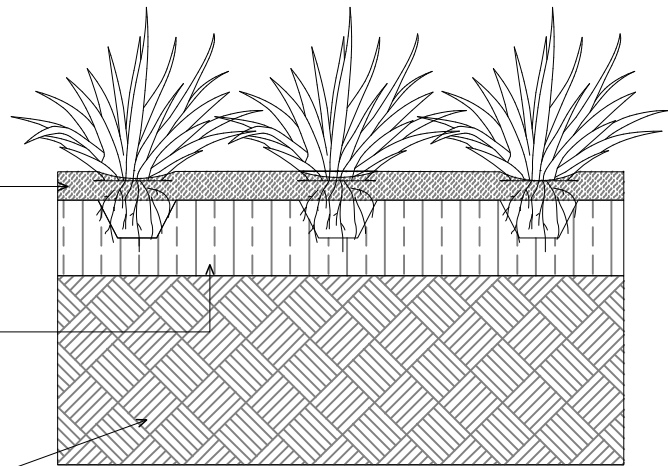
NOTE:

Concept only
All selections and materials to be supplied and installed to manufacturers spec.
All construction subject to engineering
All dimensions to be checked and finalised on site

MULCHED WITH 'FINE BLACK' MULCH AS SUPPLIED BY CREATION LANDSCAPE SUPPLIES - NORTH FREMANTLE UNLESS OTHERWISE STATED AND APPROVED TO A MINIMUM DEPTH OF 75MM

50mm OF 'QUAD C' COMPOST SUPPLIED BY SCREENING TREES WA SHALL BE CULTIVATED THROUGH THE EXISTING SOIL TO A DEPTH OF 200MM WITH A ROTARY HOE.

EXISTING SOIL TO BE WELL DRAINING



NOTE:
POTTING MIXES: TO AS 3743.

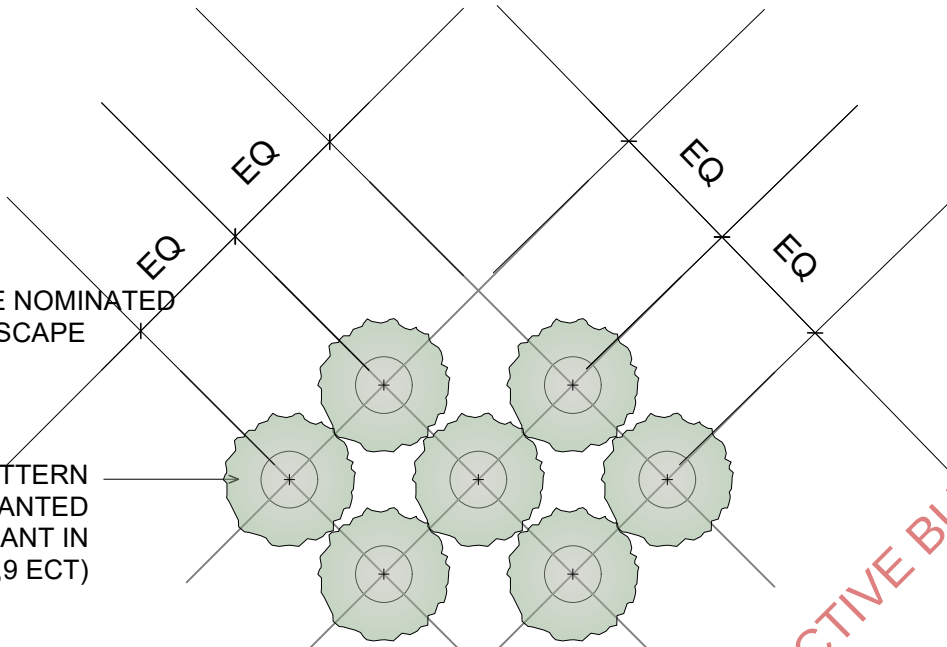
COMPOSTS, SOIL CONDITIONERS AND MULCHES: TO AS 4454.

01 TYPICAL PLANTING DETAIL

701 SCALE 1:20 @ A3

NOTE:
IF EVEN NUMBERS ARE NOMINATED - CONFIRM WITH LANDSCAPE ARCHITECT

TYPICAL STAGGER PATTERN FOR LARGE PLANTED SPACES - ALWAYS PLANT IN ODD NUMBERS (1,3,5,7,9 ECT)



02 TYPICAL GROUP PLANTING

701 SCALE 1:20 @ A3

NOTE:

Concept only
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All dimensions to be checked and finalised on site

NOTE:

Grade 316 Stainless Steel to be used Where Stainless Steel products have been specified.
All material must meet AS 1449-1994

FINISH AS NOMINATED ON PLANS

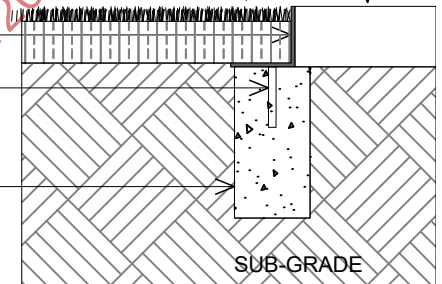
TURF AS SPECIFIED - REFER TO DETAIL

5mm ANGLED STEEL EDGE

FIXING TO CONCRETE FOOTING

CONCRETE FOOTING - EVERY 2000mm ALONG EDGE

SUB-GRADE



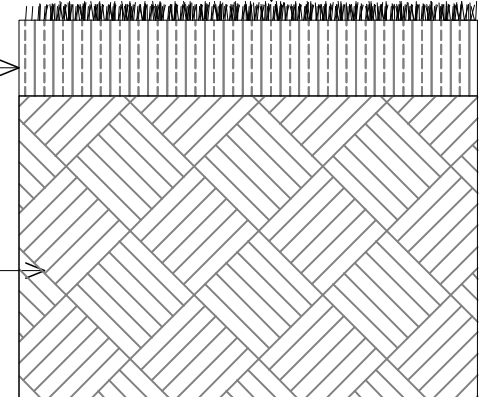
03 TYPICAL STEEL EDGE DETAIL

701 SCALE 1:10 @ A3

TURF AS SPECIFIED

TURF AREAS TO BE CLEARED OF ALL ROOTS, ROCKS AND BUILDERS RUBBLE AND 30mm OF 'QUAD C' COMPOST SUPPLIED BY SCREENING TREES WA SHALL BE CULTIVATED THROUGH THE EXISTING SOIL TO A DEPTH OF 100mm WITH A ROTARY HOE. NOTE: THE SOIL CONDITIONER IS A CONCENTRATE AND THE MIX MUST NOT EXCEED 30%

EXISTING SOIL ON SITE TO BE FREE DRAINING



100 TYPICAL

04 TYPICAL ROLL ON TURF DETAIL

701 SCALE 1:10 @ A3

YOXALL
LANDSCAPE ARCHITECTURE

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CLIENT

CALVERT RESIDENCE

maya.calvert84@gmail.com

23 OAKOVER ST, EAST FREMANTLE

PROJECT NUMBER

0022

DRAWING

DETAILS

SCALE

VARIES@ A3

DRAWING

9.1

REVISION

2

25.08.2025

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23 OAKOVER ST, EAST FREMANTLE

PROJECT NUMBER

0022

DRAWING

OUTDOOR BBQ

SCALE

1:25 @ A3

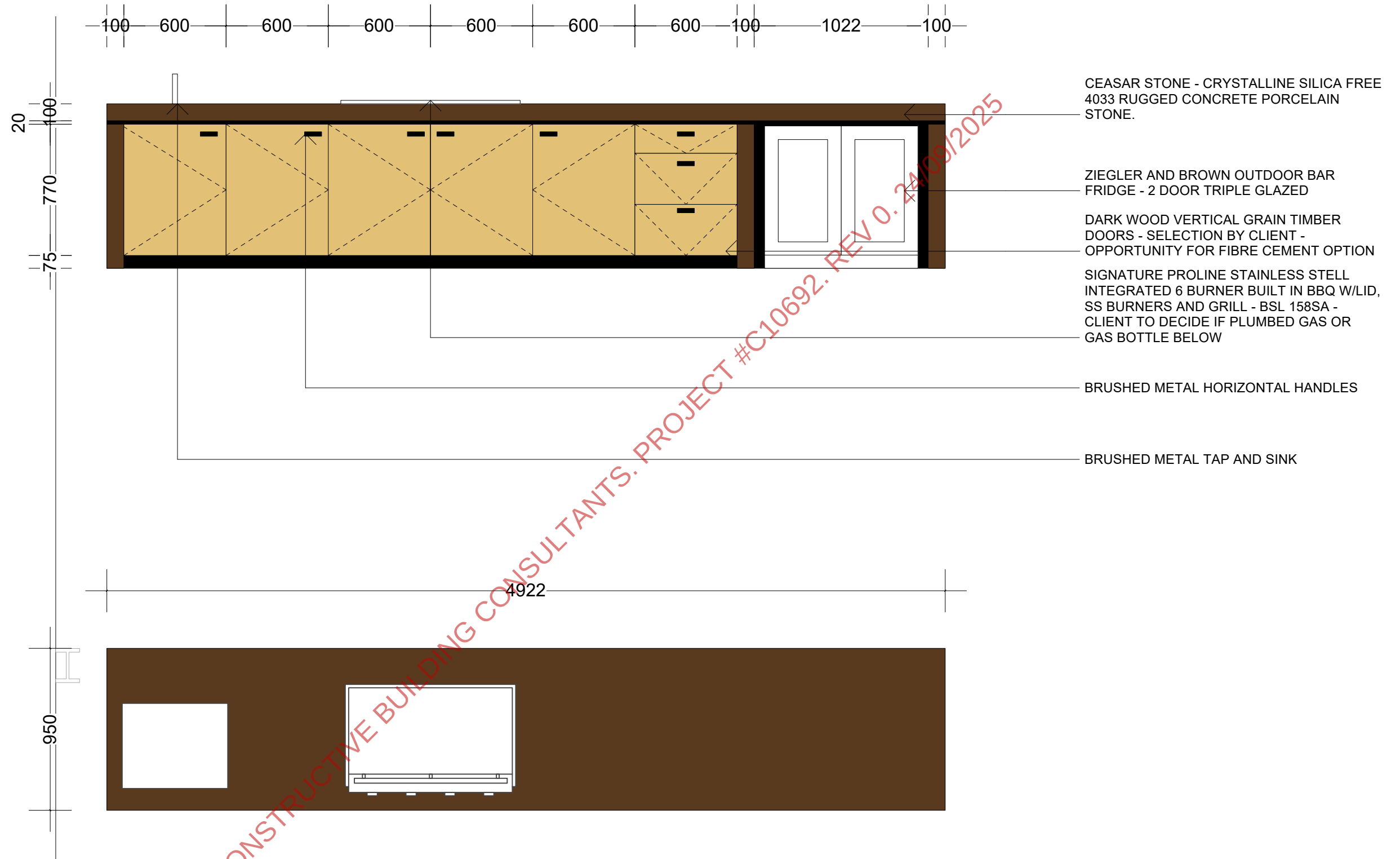
DRAWING

9.2

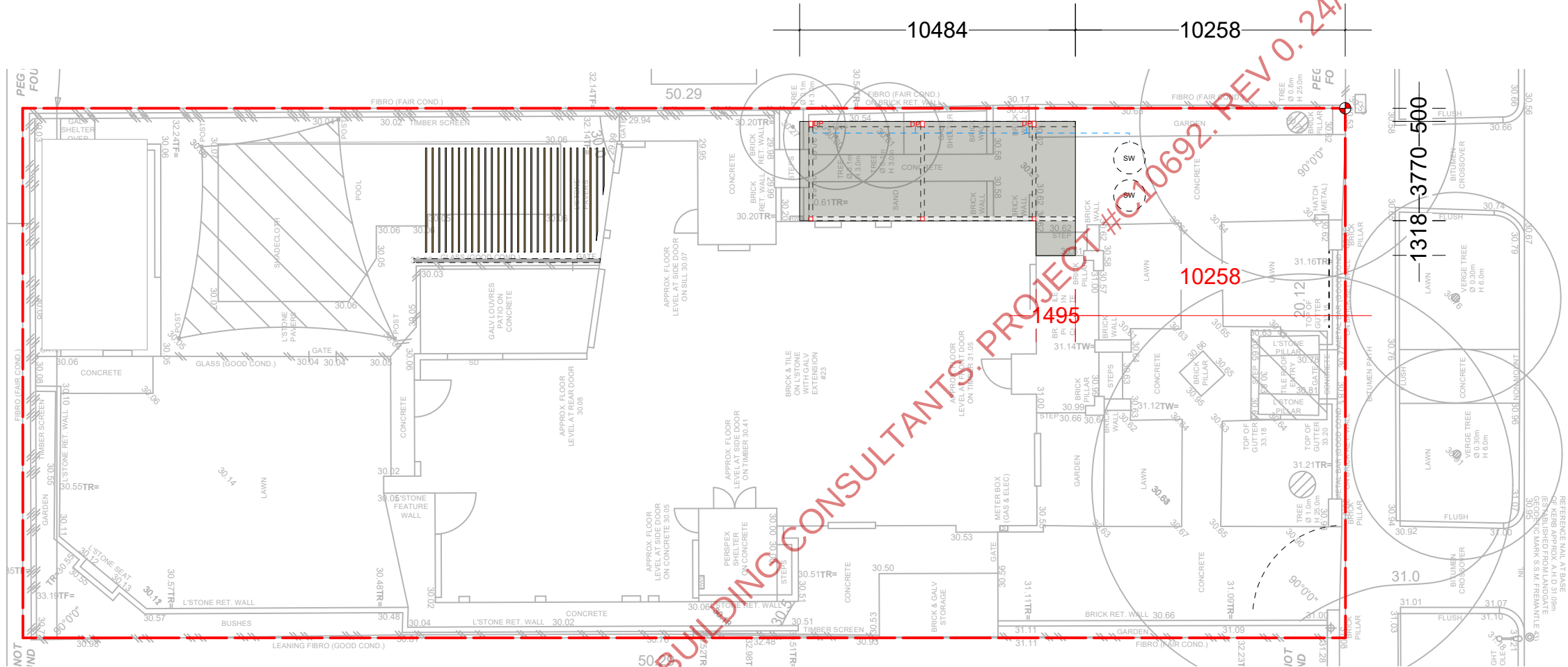
REVISION

2

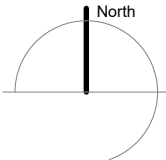
25.08.2025



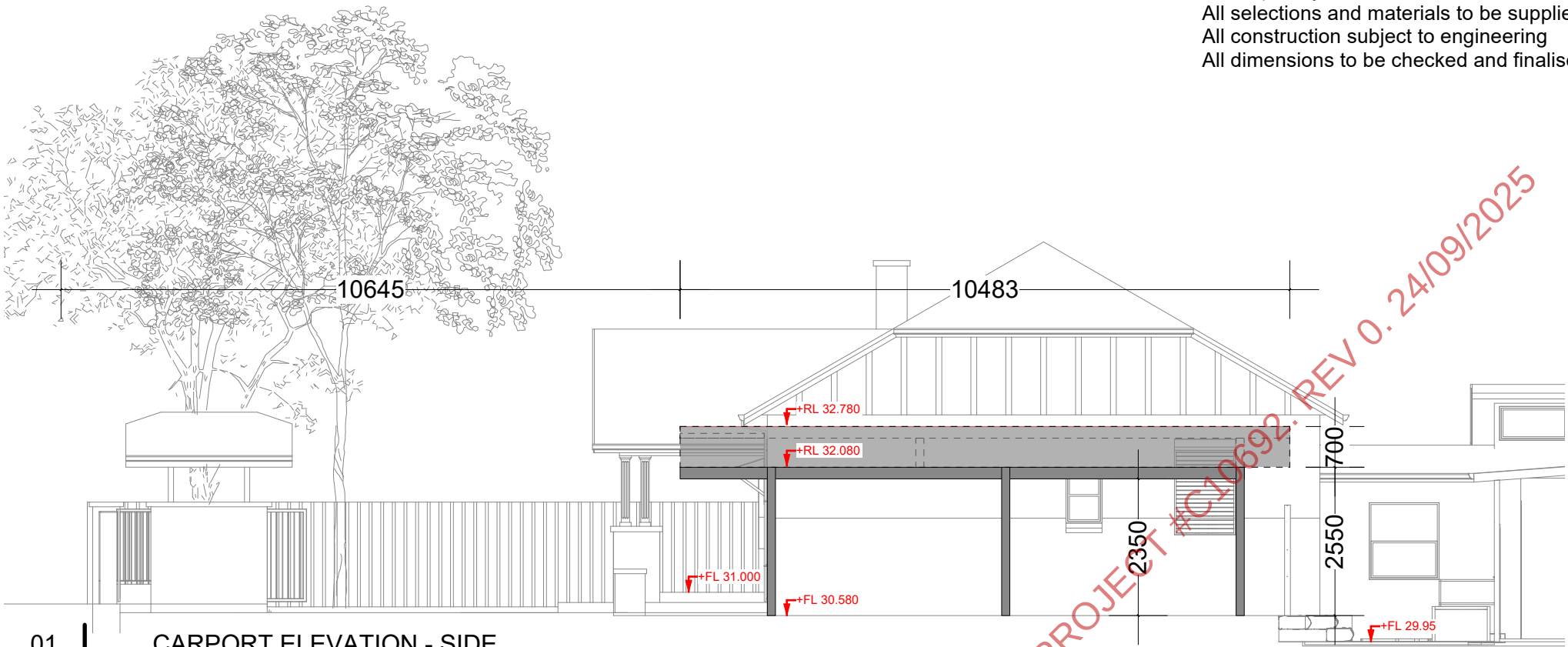
LOCATION PLAN LINES BASED OFF PROPERTY BOUNDARY



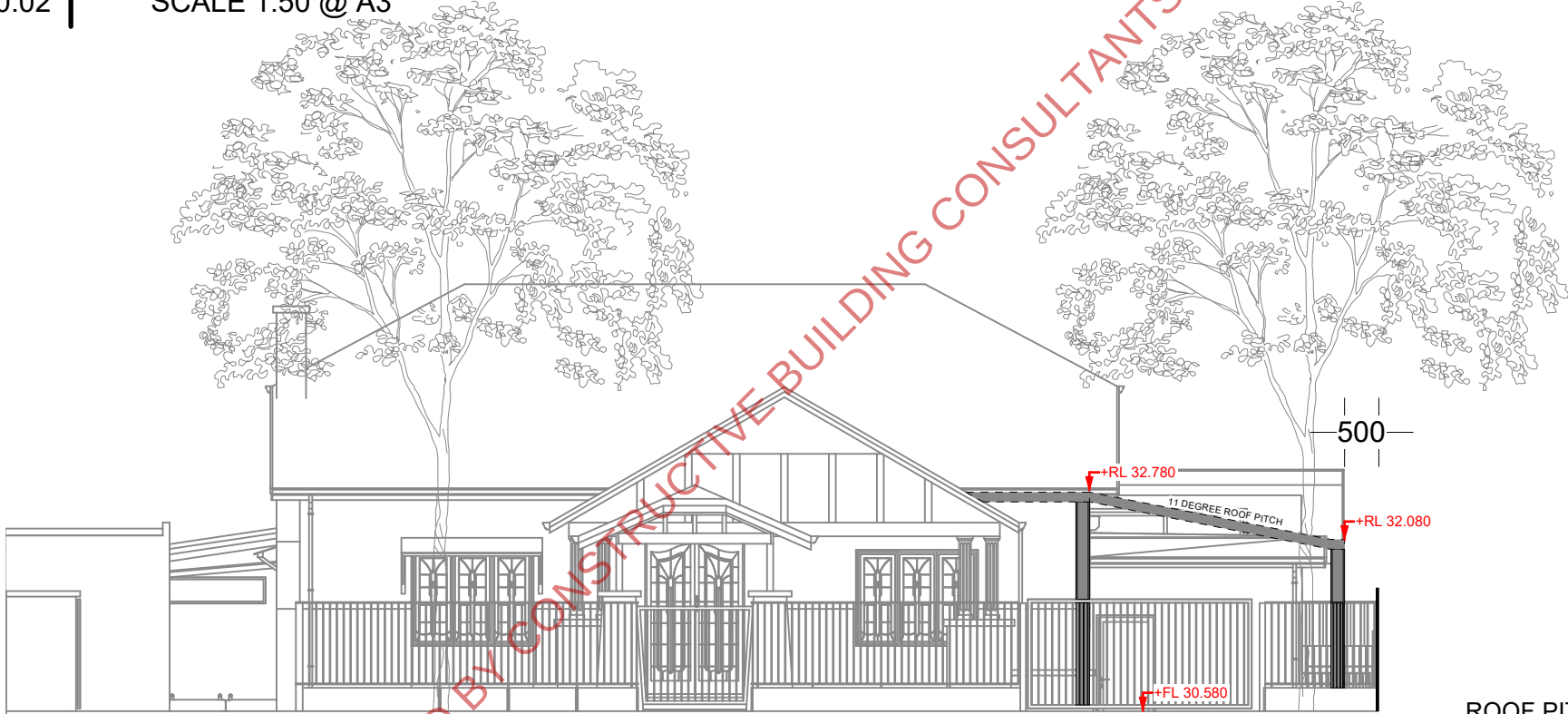
NOTE:
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All dimensions to be checked and finalised on site



NOTE:
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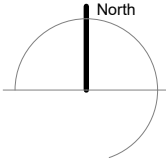


01 | CARPORT ELEVATION - SIDE
10.02 | SCALE 1:50 @ A3

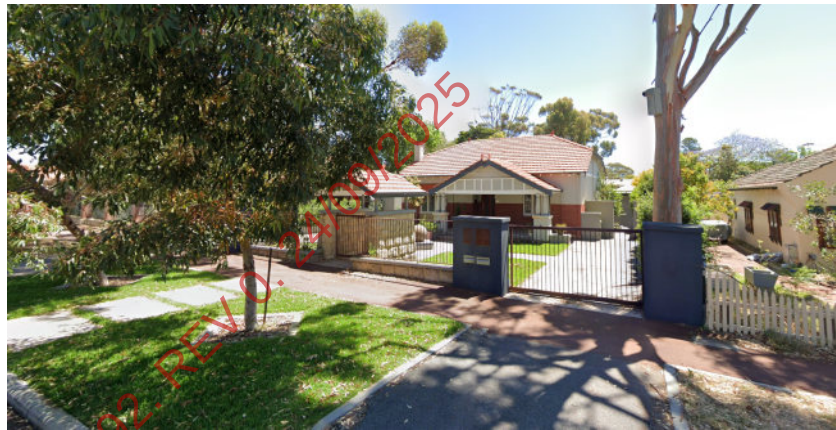


02 | CARPORT ELEVATION - FRONT
10.02 | SCALE 1:50 @ A3

ROOF PITCH 18.40% OR 10.437 DEGREES



site photos



NOTE:
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All construction subject to engineering
All dimensions to be checked and finalised on site

artistic impressions



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23 OAKOVER ST, EAST FREMANTLE

PROJECT NUMBER

0022

DRAWING

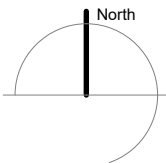
CARPORT ELEVATIONS

SCALE

1:100 @ A3

DRAWING

10.3



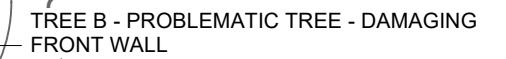
REVISION

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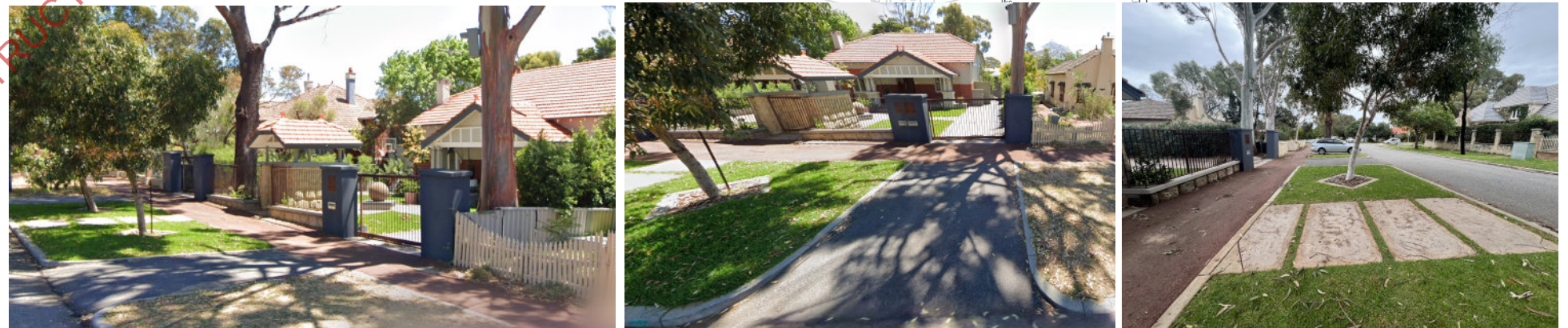
25.08.2025

- TO RETAIN TREES AS THEY ARE DAMAGING FRONT WALLS AND EXISTING DRIVEWAY
- RETAIN STREET CHARACTER
- RETAIN PUBLIC AMENITY BY RETAINING TREES
- RETAIN TREES AS IT PROVIDES SHADING TO PROPERTY
- RETAIN TREES TO RETAIN WILD LIFE / BIRD BOXES

— PROPOSED NEW CORSSOVER 1915 FROM
EXISTING VERGE TREE TRUNK

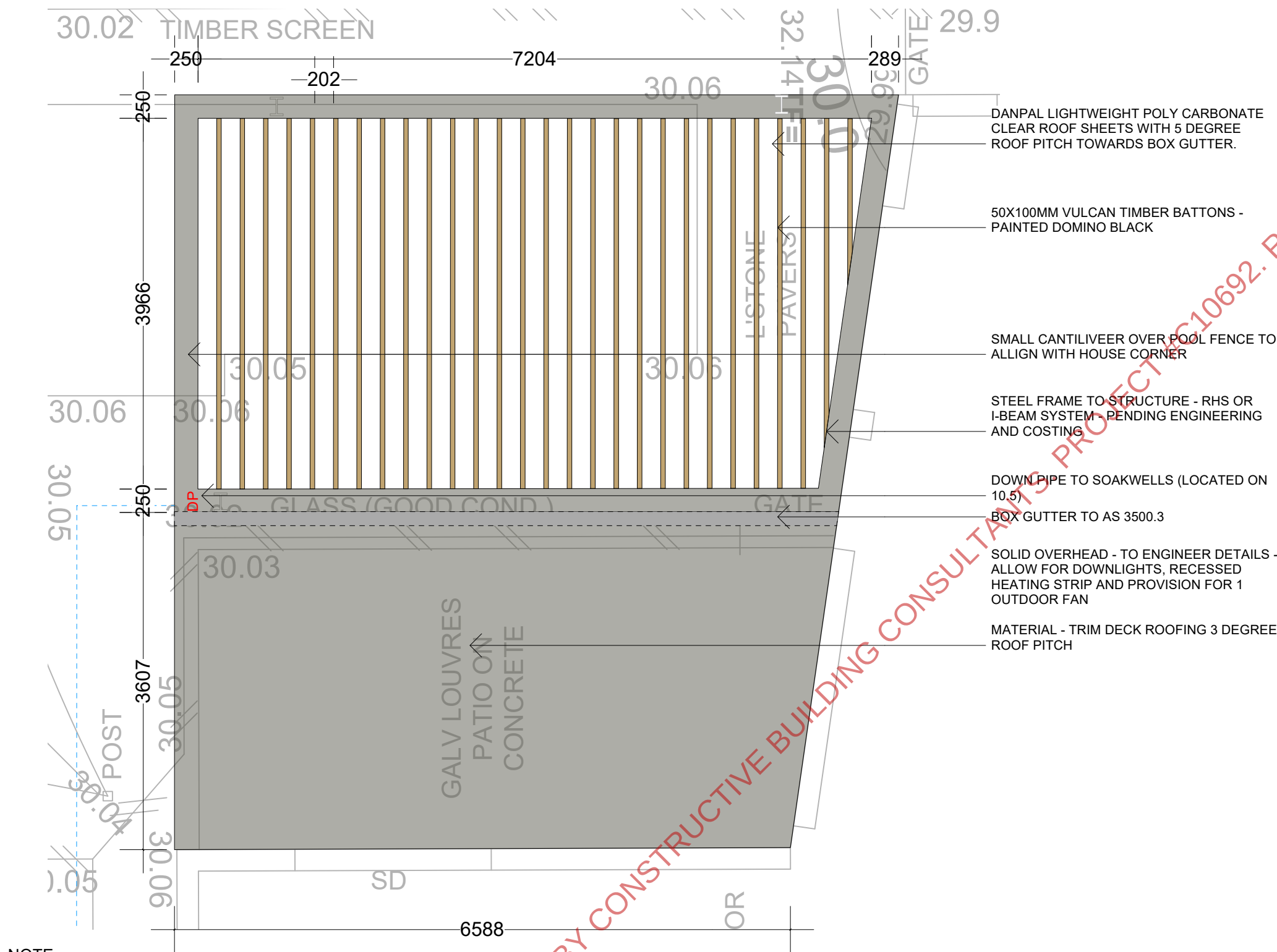


Concept only
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All construction subject to engineering
All dimensions to be checked and finalised on site



25.08.2025

LOCATION PLAN LINES BASED OFF PROPERTY BOUNDARY



NOTE:

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- All construction subject to engineering
- All dimensions to be checked and finalised on site

DIMENSIONS TO BE CHECKED AND CONFIRMED ON SITE BY BUILDER



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PROJECT NUMBER

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DRAWING

ALFRESCO LAYOUT PLAN

SCALE

1:50 @ A3

DRAWING

10.6



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2

25.08.2025