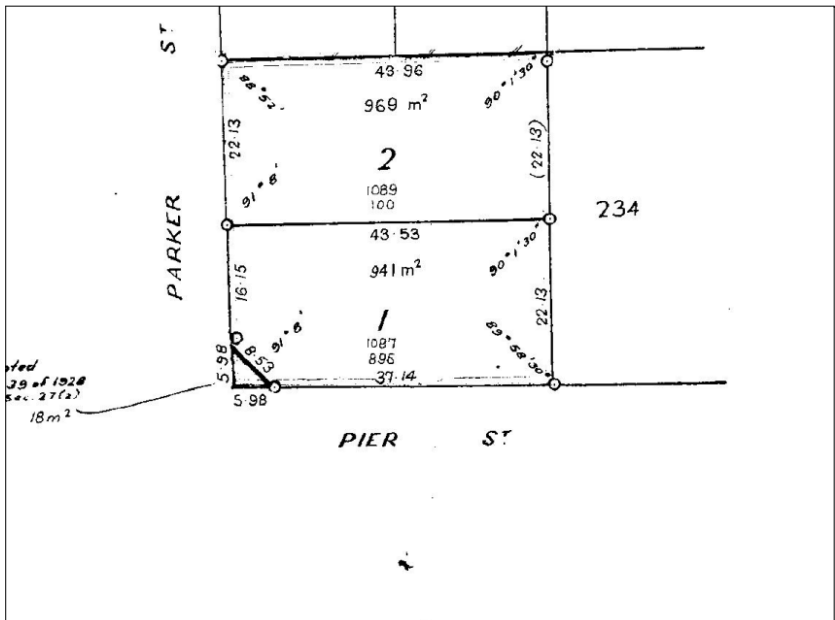
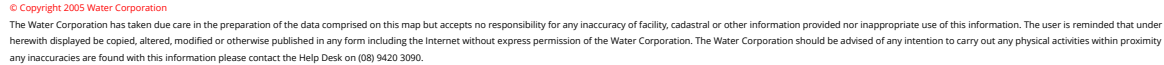
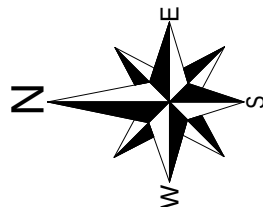
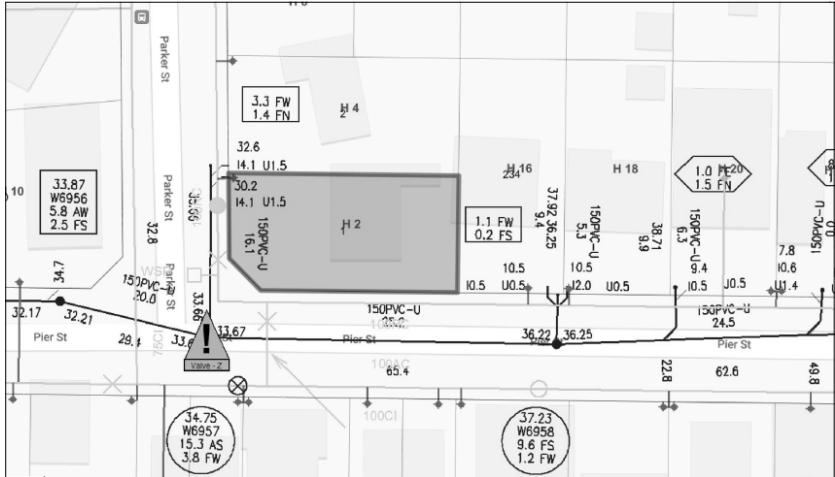


Building Permit



ELEC.	U/Ground	SEWER	Yes	ROADS	Bitumen	COASTAL	300m To River (Approx. Only - Confirm With Sites)
GAS	Check Alinta	COMMS	Yes	PATH	Concrete	SOIL	Sand, L'Stone(Poss) Rock(Poss)
WATER	Yes	DRAINAGE	Good	KERBS	Non-Mount / Nil	VEG.	Light Grass Cover




 87-89 Guthrie St PO Box 1611 P: (08) 9446 7361
 Osborne Park Osborne Park BC E: perth@cottage.com.au
 WA 6017 WA 6917 W: www.cottage.com.au
 JOB: 549182 DATE: 29 Jun 23 DRAWN: B. Smith

COTTAGE
SURVEYS
LICENSED SURVEYORS

Scale: 1:200

MISCLOSE

16 m

Building Permit



DISCUSSION

Site Plan

Scale: 1:100

PARKER STREET

BITUMEN

Scale 1:100

Site Plan - New

N/A.

5130

2.02

RIVERSTONE

REFERENCE NAIL AT BASE
OF KERB A.H.D 36.53m
(ESTABLISHED FROM LANDGATE
GEODETIC MARK B.M. MWS/7814)

GEODETIC MARK B M AWS:7844 Cottessloe Central Shopping Centre, 460 Stirling Highway

Peppermint Grove, WA 6011
T: 08 9384 4866 F: 08 9384 6144 E: resception@riverstone.com.au

W: www.riverstone.com.au

© **Copyright.** This drawing and design is copyright and may not be reproduced or copied in whole or in part without the express written permission of Riverstone Custom Homes.

Frederickson & Thompson

Lot 1 (#2) Parker St
East Fremantle, WA 6158

Wind Classification	T.B.C.
Local Authority	Town of E FREMANTLE
Dwn.	Daniel Zhao
Plot Date:	21/03/2025 at 11:51 AM

Amendments.
DA03 - drawing changes as per client request -
DZ-12/03/25
DA02 - Drawings changes as per Council's required -
DZ-18/03/24

Signatures

Client:

Client:

100

Job No.	Rev No.	BAL Rating
---------	---------	------------

This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.

LOT MISCLOSE

0.016 m

PEG NOT FOUND

PEG NOT FOUND

Building Permit

NON-MOUNT

LIGHT POLE

36.5

37.0

37.5

38.0

38.5

39.0

39.5

40.0

40.5

41.0

41.5

42.0

42.5

43.0

43.5

44.0

44.5

45.0

45.5

46.0

46.5

47.0

47.5

48.0

48.5

49.0

49.5

50.0

50.5

51.0

51.5

52.0

52.5

53.0

53.5

54.0

54.5

55.0

55.5

56.0

56.5

57.0

57.5

58.0

58.5

59.0

59.5

60.0

60.5

61.0

61.5

62.0

62.5

63.0

63.5

64.0

64.5

65.0

65.5

66.0

66.5

67.0

67.5

68.0

68.5

69.0

69.5

70.0

70.5

71.0

71.5

72.0

72.5

73.0

73.5

74.0

74.5

75.0

75.5

76.0

76.5

77.0

77.5

78.0

78.5

79.0

79.5

80.0

80.5

81.0

81.5

82.0

82.5

83.0

83.5

84.0

84.5

85.0

85.5

86.0

86.5

87.0

87.5

88.0

88.5

89.0

89.5

90.0

90.5

91.0

91.5

92.0

92.5

93.0

93.5

94.0

94.5

95.0

95.5

96.0

96.5

97.0

97.5

98.0

98.5

99.0

99.5

100.0

100.5

101.0

101.5

102.0

102.5

103.0

103.5

104.0

104.5

105.0

105.5

106.0

106.5

107.0

107.5

108.0

108.5

109.0

109.5

110.0

110.5

111.0

111.5

112.0

112.5

113.0

113.5

114.0

114.5

115.0

115.5

116.0

116.5

117.0

117.5

118.0

118.5

119.0

119.5

120.0

120.5

121.0

121.5

122.0

122.5

123.0

123.5

124.0

124.5

125.0

125.5

126.0

126.5

127.0

127.5

128.0

128.5

129.0

129.5

130.0

130.5

131.0

131.5

132.0

132.5

133.0

133.5

134.0

134.5

135.0

135.5

136.0

136.5

137.0

137.5

138.0

138.5

139.0

139.5

140.0

140.5

141.0

141.5

142.0

142.5

143.0

143.5

144.0

144.5

145.0

145.5

146.0

146.5

147.0

147.5

148.0

148.5

149.0

149.5

150.0

150.5

151.0

151.5

152.0

152.5

153.0

153.5

154.0

154.5

155.0

155.5

156.0

156.5

157.0

157.5

158.0

158.5

159.0

159.5

160.0

160.5

161.0

161.5

162.0

162.5

163.0

163.5

164.0

164.5

165.0

165.5

166.0

166.5

167.0

167.5

168.0

168.5

169.0

169.5

170.0

170.5

171.0

171.5

172.0

172.5

173.0

173.5

174.0

174.5

175.0

175.5

176.0

176.5

177.0

177.5

178.0

178.5

179.0

179.5

180.0

180.5

181.0

181.5

182.0

182.5

183.0

183.5

184.0

184.5

185.0

185.5

186.0

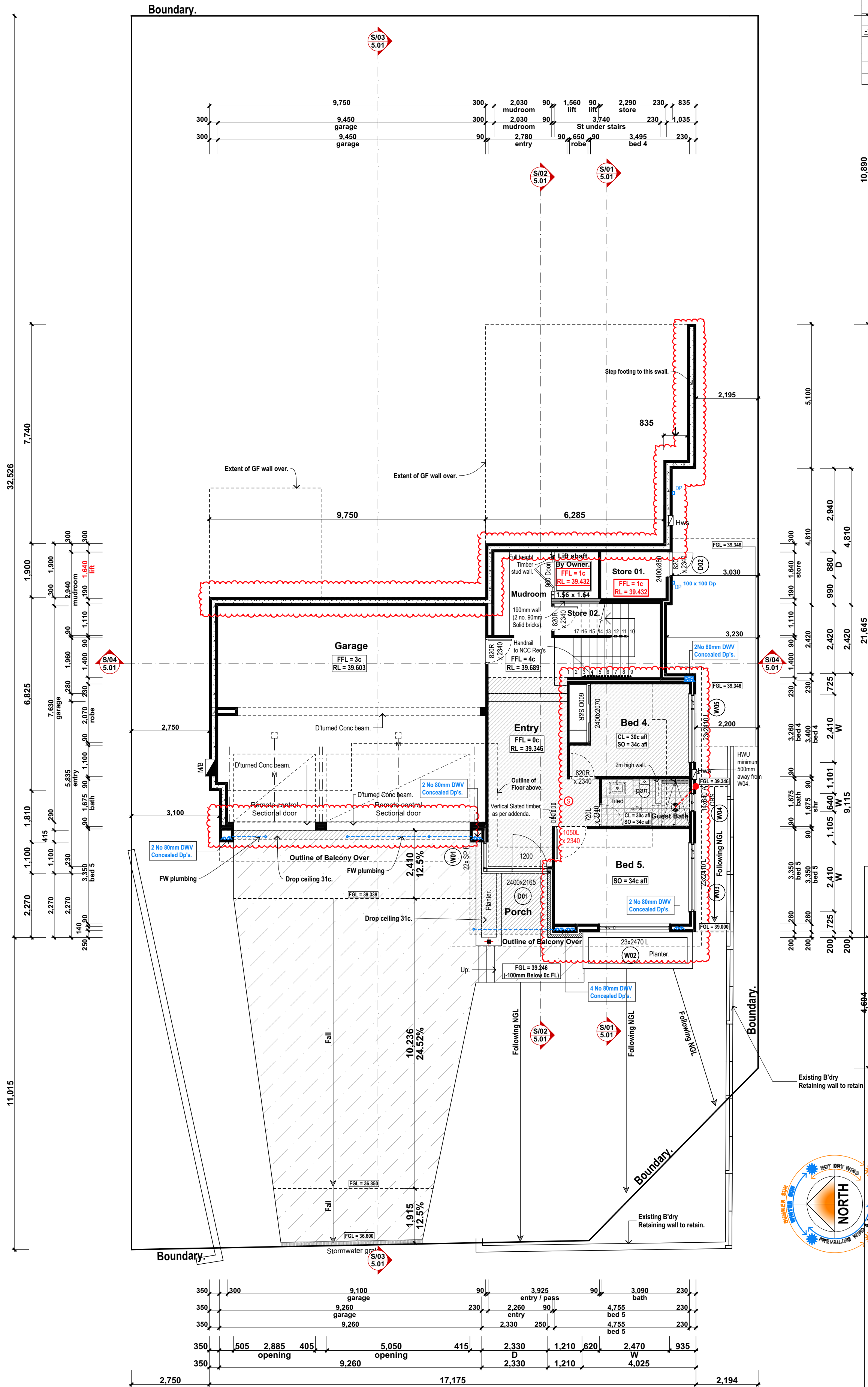
186.5

187.0

187.5</

This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.

	Name	Area	Perimeter
0 Ground Floor			
	Alfresco	32.0	29.214.
	Ground Floor	195.1	83.354.5
	Terrace 1	66.1	51.690.0
		293.2 m²	164,258.6
1 First Floor			
	First Floor	133.3	54.670.0
	Terrace 2	37.8	40,039.9
		171.1 m²	94,709.9
-1 Undercroft			
	Garage	80.0	37.600.4
	Porch	5.3	9,200.0
	Undercroft	93.4	43.340.4
		178.7 m²	90,140.8
		643.0 m²	349,109.3



LEGEND

- | | |
|---|---|
|  | Smoke Alarm - Hard Wired, Interlinked and to AS 3786-2014 |
|  | Exhaust fan - flumed to external air and not into the roof space. |
|  | Wall mounted cold water hose tap |
|  | Water supply for fridge |
|  | Gas bayonet point |

COMPLIANCE NOTES

Artificial Lighting | To comply with NCC Vol. 2 Part 3.12.5.5

Fall Prevention | Bedroom windows - where floor is 2m more than surface beneath unless opening sash is greater than 1700mm AFL opening must be permanently restricted to 125mm or fitted with a non-removable robust screen.

All other windows - where the fall height is 4m or greater must have a transom above 865mm and a sill height less than 150mm - No restriction is required to opening.
Refer to NCC V2 Part 3.9.2.6 and 3.9.2.7

Boundary Walls To Provide Fire Separation | To comply with NCC Vol.2 Part 3.7.3.2

Fireplace | To comply with NCC Vol.2 Part 3.10.7

Parapet/Boundary Fireproofing | To comply with NCC Vol.2 Part 3.7.2.4

Staircase, Balustrade and Handrails | To comply with NCC Vol. 2 Part 3.9.1 and 3.9.2 (Nom. 280 Going x 172 Riser).

Stormwater Drainage | To comply with NCC V2 Part 3.1.3 citing AS 3500.3

Swimming Pool Barriers | To comply with AS 1926.1 and 1926.2

Timber Framing | To comply with AS 1684

Termite Protection | All primary building elements used for the construction of this building will consist entirely of, or a combination of, materials considered not subject to termite attack. Specifically, all timbers used in this dwelling will be preservative treated in accordance with AS 3660.1 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1.

Parapet Walls | FMC Homeguard as physical Termite barrier as per AS 3660.1 - 2014 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1

Wet areas | To comply with NCC Vol.2 Part 3.8.1

Steelwork | Exposed steel shall have an anti-corrosive treatment in accordance with the NCC 2019

UCroft Floor

Scale: 1:100



A: Suite 44 Cottesloe Central Shopping Centre, 460 Stirling Highway,
Peppermint Grove, WA 6011
T: 08 9284 4866 F: 08 9284 6144 E: reception@riverstone.com.au
W: www.riverstone.com.au
© Copyright. This drawing and design is copyright and may not be
reproduced or copied in whole or in part without the express written
permission of Riverstone Custom Homes.

Frederickson & Thompson

Lot 1 (#2) Parker St
East Fremantle, WA 6158

© Copyright	Wind Classification	T.B.C.	Amendments.
	Local Authority		DA03 - drawing changes as per client request -
	Town of E FREMANTLE		DZ-12/03/25
	Dwn.		DA02 - Drawings changes as per Council's required -
	Daniel Zhao		DZ-18/03/24
	Plot Date:		
	21/03/2025 at 11:51 AM		

100

U/Croft rev No. DA03

AL Rating: **N/A.**

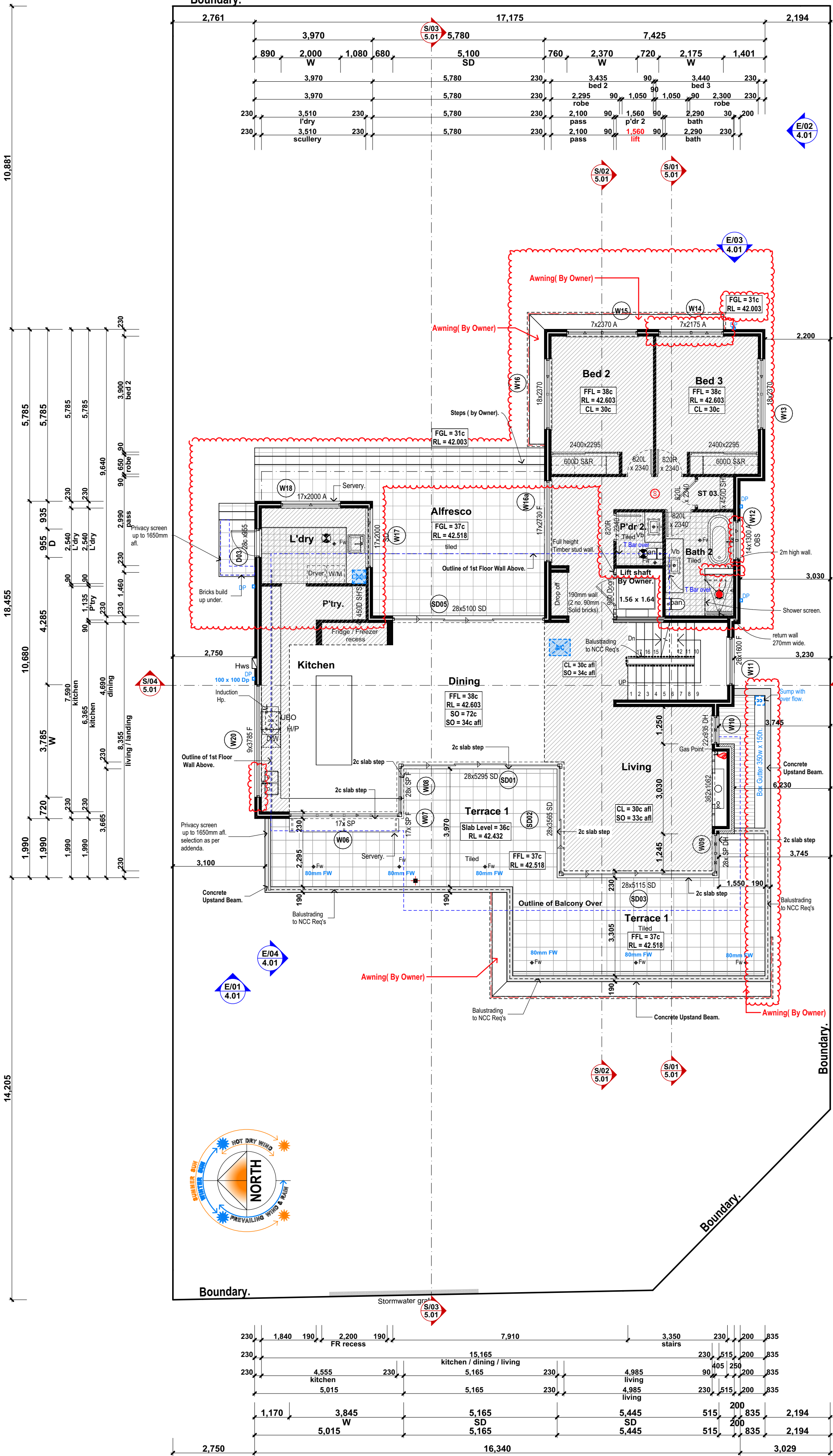
Job No. **5130**

Down No : **2.04**

This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.

Building Permit

Area Calculations		
Name	Area	Perimeter
0 Ground Floor		
Alfresco	32.0	29,214.1
Ground Floor	195.1	83,354.5
Terrace 1	66.1	51,690.0
	293.2 m²	164,258.6
1 First Floor		
First Floor	133.3	54,670.0
Terrace 2	37.8	40,039.9
	171.1 m²	94,709.9
-1 Undercroft		
Garage	80.0	37,600.4
Porch	5.3	9,200.0
Undercroft	93.4	43,340.4
	178.7 m²	90,140.8
	643.0 m²	349,109.3



LEGEND

- Smoke Alarm - Hard Wired, Interlinked and to AS 3786-2014
- Exhaust fan - flumed to external air and not into the roof space.
- Wall mounted cold water hose tap
- Water supply for fridge
- Gas bayonet point

COMPLIANCE NOTES

- Artificial Lighting** | To comply with NCC Vol. 2 Part 3.12.5.5
- Fall Prevention | Bedroom windows** - where floor is 2m more than surface beneath unless opening sash is greater than 1700mm AFL opening must be permanently restricted to 125mm or fitted with a non-removable robust screen.
- All other windows** - where the fall height is 4m or greater must have a transom above 865mm and a sill height less than 150mm - No restriction is required to opening.
- Refer to NCC V2 Part 3.9.2.6 and 3.9.2.7
- Boundary Walls To Provide Fire Separation** | To comply with NCC Vol.2 Part 3.7.3.2
- Fireplace** | To comply with NCC Vol.2 Part 3.10.7
- Parapet/Boundary Fireproofing** | To comply with NCC Vol.2 Part 3.7.2.4
- Staircase, Balustrade and Handrails** | To comply with NCC Vol. 2 Part 3.9.1 and 3.9.2 (Nom. 280 Going x 172 Riser).
- Stormwater Drainage** | To comply with NCC V2 Part 3.1.3 citing AS 3500.3
- Swimming Pool Barriers** | To comply with AS 1926.1 and 1926.2
- Timber Framing** | To comply with AS 1684
- Termite Protection** | All primary building elements used for the construction of this building will consist entirely of, or a combination of, materials considered not subject to termite attack. Specifically, all timbers used in this dwelling will be preservative treated in accordance with AS 3660.1 - 2014 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1.
- Parapet Walls** | FMC Homeguard as physical Termite barrier as per AS 3660.1 - 2014 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1.
- Wet areas** | To comply with NCC Vol.2 Part 3.8.1
- Steelwork** | Exposed steel shall have an anti-corrosive treatment in accordance with the NCC 2019

Ground Floor

Scale: 1:100

RIVERSTONE

A: Suite 44 Cottesloe Central Shopping Centre, 460 Stirling Highway, Peppermint Grove, WA 6011
T: 08 9284 4866 F: 08 9284 6144 E: reception@riverstone.com.au
W: www.riverstone.com.au
© Copyright. This drawing and design is copyright and may not be reproduced or copied in whole or in part without the express written permission of Riverstone Custom Homes.

Frederickson & Thompson

Lot 1 (#2) Parker St
East Fremantle, WA 6158

Wind Classification
T.B.C.
Local Authority
Town of E FREMANTLE
Dwn. Daniel Zhao
Plot Date: 21/03/2025 at 11:51 AM

Signatures:

Client:

Client:

Builder:

Rev No. Job No. Dwn No.

N/A.

5130

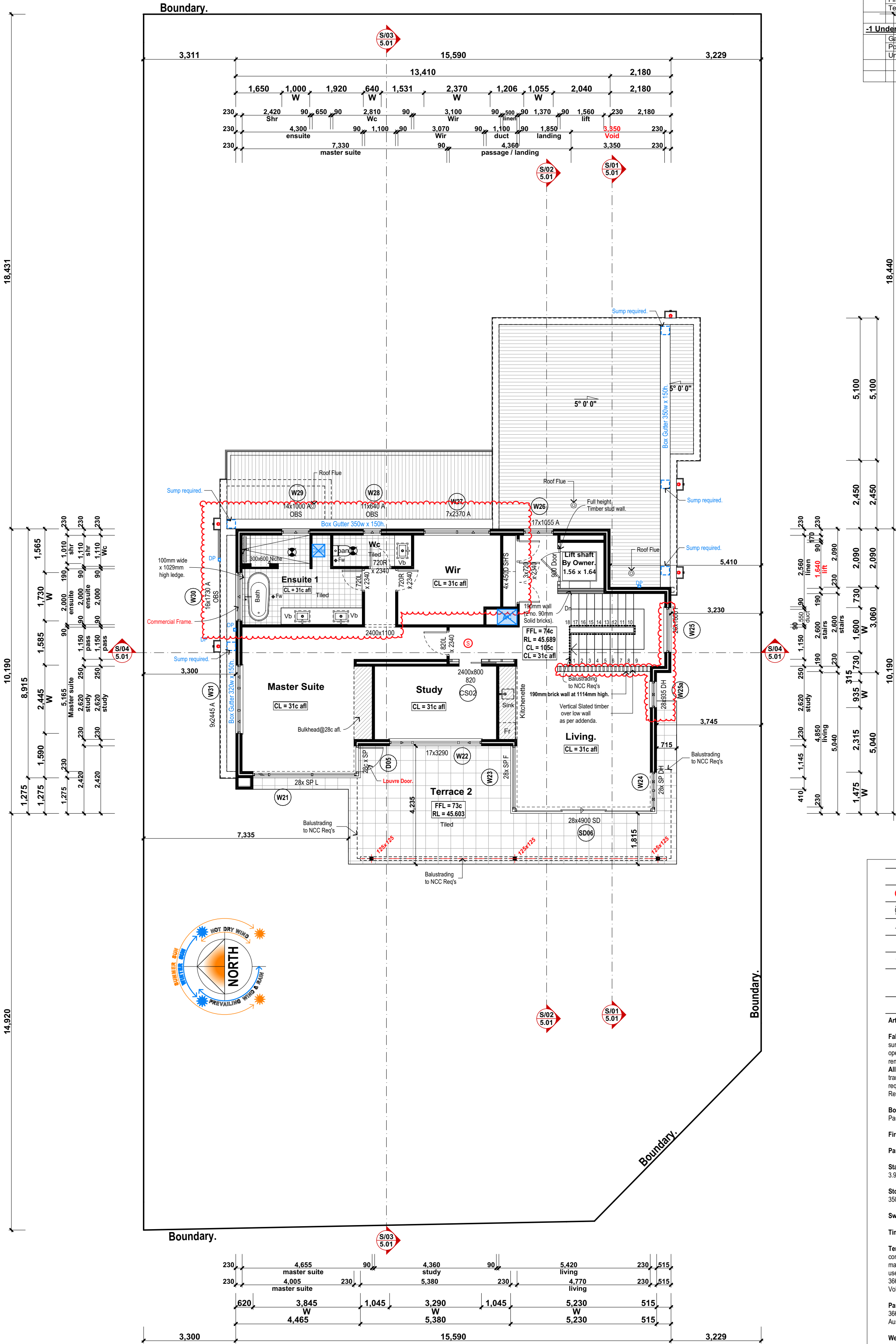
2.05

Ground Floor DA03

This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.

Buildina Permit

Area Calculations		
Name	Area	Perimeter
0 Ground Floor		
Alfresco	32.0	29,214.1
Ground Floor	195.1	83,354.5
Terrace 1	66.1	51,690.0
	293.2 m²	164,258.6
1 First Floor		
First Floor	133.3	54,670.0
Terrace 2	37.8	40,039.9
	171.1 m²	94,709.9
-1 Undercroft		
Garage	80.0	37,600.4
Pbrch	5.3	9,200.0
Undercroft	93.4	43,340.4
	178.7 m²	90,140.8
	643.0 m²	349,109.3



First Floor

Scale: 1:100

LEGEND

- Smoke Alarm - Hard Wired, Interlinked and to AS 3786-2014
- Exhaust fan - flumed to external air and not into the roof space.
- Wall mounted cold water hose tap
- Water supply for fridge
- Gas bayonet point

COMPLIANCE NOTES

Artificial Lighting | To comply with NCC Vol. 2 Part 3.12.5.5

Fall Prevention | Bedroom windows - where floor is 2m more than surface beneath unless opening sash is greater than 1700mm AFL opening must be permanently restricted to 125mm or fitted with a non-removable robust screen.

All other windows - where the fall height is 4m or greater must have a transom above 865mm and a sill height less than 150mm - No restriction is required to opening.
Refer to NCC V2 Part 3.9.2.6 and 3.9.2.7

Boundary Walls To Provide Fire Separation | To comply with NCC Vol.2 Part 3.7.3.2

Hearth | To comply with NCC Vol.2 Part 3.10.7

Parapet/Boundary Fireproofing | To comply with NCC Vol.2 Part 3.7.2.4

Staircase, Balustrade and Handrails | To comply with NCC Vol. 2 Part 3.9.1 and 3.9.2 (Norm. 280 Going x 172 Riser).

Stormwater Drainage | To comply with NCC V2 Part 3.1.3 citing AS 3500.3

Swimming Pool Barriers | To comply with AS 1926.1 and 1926.2

Timber Framing | To comply with AS 1684

Termite Protection | All primary building elements used for the construction of this building will consist entirely of, or a combination of, materials considered not subject to termite attack. Specifically, all timbers used in this dwelling will be preservative treated in accordance with AS 3660.1 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1.

Parapet Walls | FMC Homeguard as physical Termite barrier as per AS 3660.1 - 2014 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1

Wet areas | To comply with NCC Vol.2 Part 3.8.1

Steelwork | Exposed steel shall have an anti-corrosive treatment in accordance with the NCC 2019

RIVERSTONE

A: Suite 44 Cottesloe Central Shopping Centre, 460 Stirling Highway, Peppermint Grove, WA 6001
T: 08 9284 4866 F: 08 9284 6144 E: reception@riverstone.com.au
W: www.riverstone.com.au
© Copyright. This drawing and design is copyright and may not be reproduced or copied in whole or in part without the express written permission of Riverstone Custom Homes.

Frederickson & Thompson

Lot 1 (#2) Parker St
East Fremantle, WA 6158

Wind Classification
T.B.C.
Local Authority
Town of E FREMANTLE
Dwn.
Daniel Zhao
Plot Date:
21/03/2025 at 11:51 AM

Amendments:
DA03 - drawing changes as per client request -
02-12/03/25
DA02 - Drawing changes as per Council's required -
02-18/03/24

Signatures:

Client:

Client:

Builder:

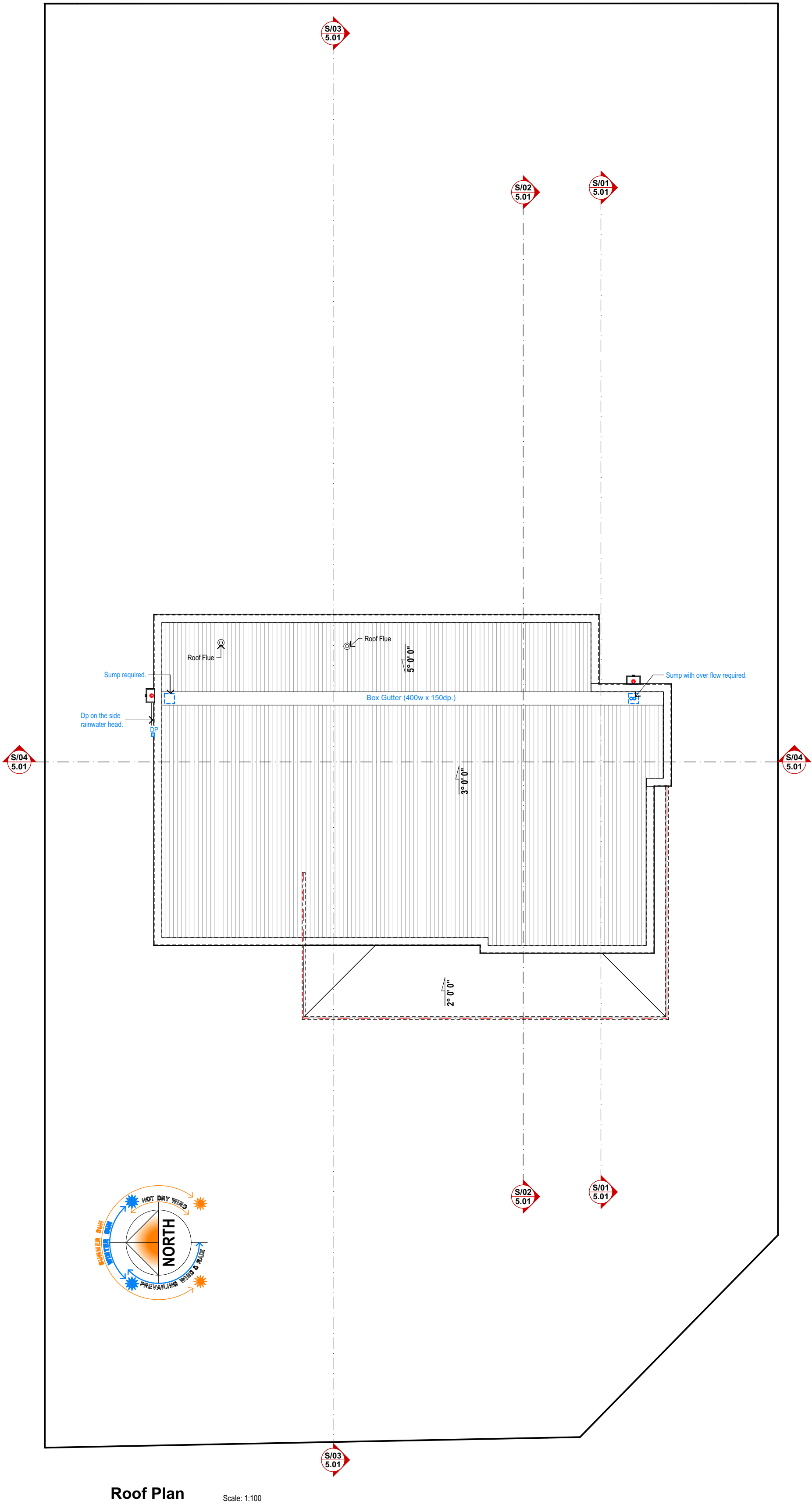
Rev No. Job No. Dwn No.

N/A.

5130

2.06

First Floor DA03



LEGEND

- Smoke Alarm - Hard Wired, Interlinked and to AS 3786-2014
- Exhaust fan - flumed to external air and not into the roof space.
- Wall mounted cold water hose tap
- Water supply for fridge
- Gas bayonet point

COMPLIANCE NOTES

Artificial Lighting | To comply with NCC Vol. 2 Part 3.12.5.5

Fall Prevention | Bedroom windows - where floor is 2m more than surface beneath unless opening sash is greater than 1700mm AFL opening must be permanently restricted to 125mm or fitted with a non-removable robust screen.

All other windows - where the fall height is 4m or greater must have a transom above 865mm and a sill height less than 150mm - No restriction is required to opening.

Refer to NCC V2 Part 3.9.2.6 and 3.9.2.7

Boundary Walls To Provide Fire Separation | To comply with NCC Vol.2 Part 3.7.3.2

Fireplace | To comply with NCC Vol.2 Part 3.10.7

Parapet/Boundary Fireproofing | To comply with NCC Vol.2 Part 3.7.2.4

Staircase, Balustrade and Handrails | To comply with NCC Vol. 2 Part 3.9.1 and 3.9.2 (Norm. 280 Going x 172 Rise).

Stormwater Drainage | To comply with NCC V2 Part 3.1.3 citing AS 3500.3

Swimming Pool Barriers | To comply with AS 1926.1 and 1926.2

Timber Framing | To comply with AS 1684

Termite Protection | All primary building elements used for the construction of this building will consist entirely of, or a combination of, materials considered not subject to termite attack. Specifically, all timbers used in this dwelling will be preservative treated in accordance with AS 3660.1 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1.

Parapet Walls | FMC Homeguard as physical Termite barrier as per AS 3660.1 - 2014 and will comply with Part 3.1.4.2 of the Building Code of Australia - Volume 2, 2019 Amendment 1

Wet areas | To comply with NCC Vol.2 Part 3.8.1

Steelwork | Exposed steel shall have an anti-corrosive treatment in accordance with the NCC 2019

Roof Plan DA03

N/A.

5130

2.07

RIVERSTONE

A: Suite 44 Cottesloe Central Shopping Centre, 460 Stirling Highway, Peppermint Grove, WA 6011
T: 08 9284 4866 F: 08 9284 6144 E: reception@riverstone.com.au
W: www.riverstone.com.au
© Copyright. This drawing and design is copyright and may not be reproduced or copied in whole or in part without the express written permission of Riverstone Custom Homes.

Frederickson & Thompson

Lot 1 (#2) Parker St
East Fremantle, WA 6158

Wind Classification
T.B.C.
Local Authority
Town of E FREMANTLE
Plot Date
21/03/2025 at 11:51 AM

Amendments.
DA03 - drawing changes as per client request - 12-12/03/25
DA02 - Drawings changes as per Council's required - 12-18/03/24

Signatures:

Client:

Client:

Builder:

Rev No. Job No. Dim No.

This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.



RIVERSTONE

A: Suite 44 Cottesloe Central Shopping Centre, 460 Stirling Highway, Peppermint Grove, WA 6011
T: 08 9284 4866 **F:** 08 9284 6144 **E:** reception@riverstone.com.au
W: www.riverstone.com.au
© **Copyright.** This drawing and design is copyright and may not be reproduced or copied in whole or in part without the express written permission of Riverstone Custom Homes.

Frederickson & Thompson
Lot 1 (#2) Parker St
East Fremantle, WA 6158

Wind Classification **T.B.C.**
Local Authority **Town of E FREMANTLE**
Drawn: **Daniel Zhao**
Plot Date: **21/03/2025 at 11:51 AM**
Amendments:
DA03 - drawing changes as per client request - 02-12/03/25
DA02 - Drawings changes as per Council's required - 12-18/03/24

Signatures:

Client:

Client:

Builder:

Rev No. Job No. B/L Rating

N/A.

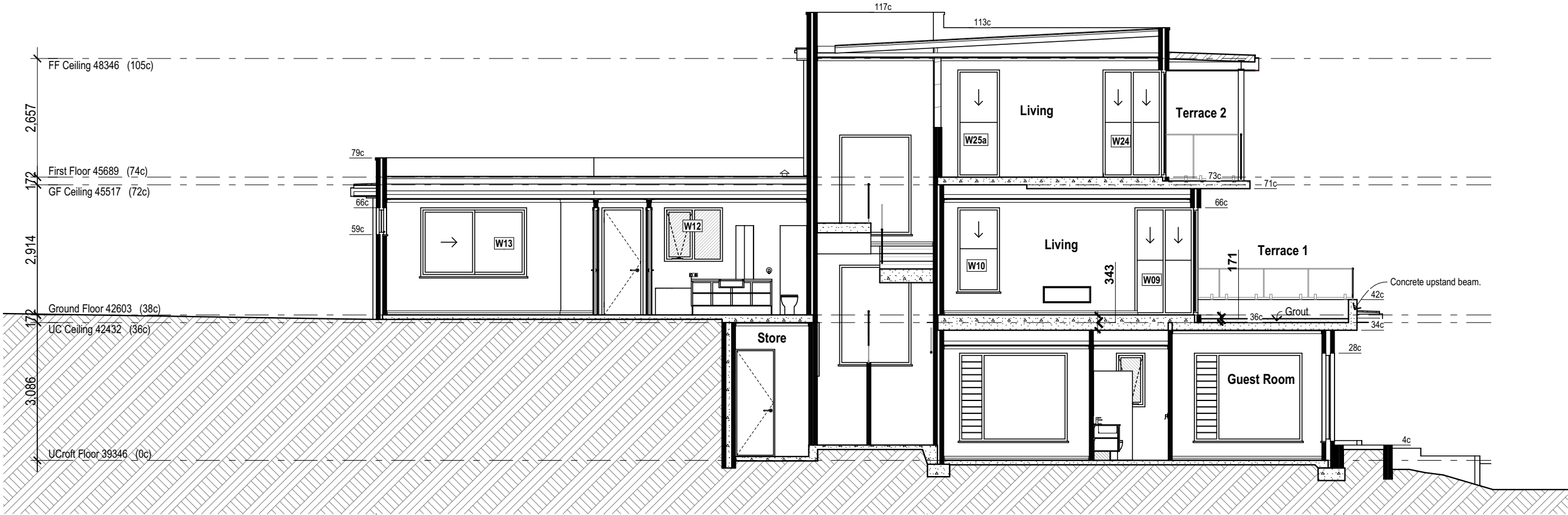
Streetscape DA03

5130

4.02

This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.

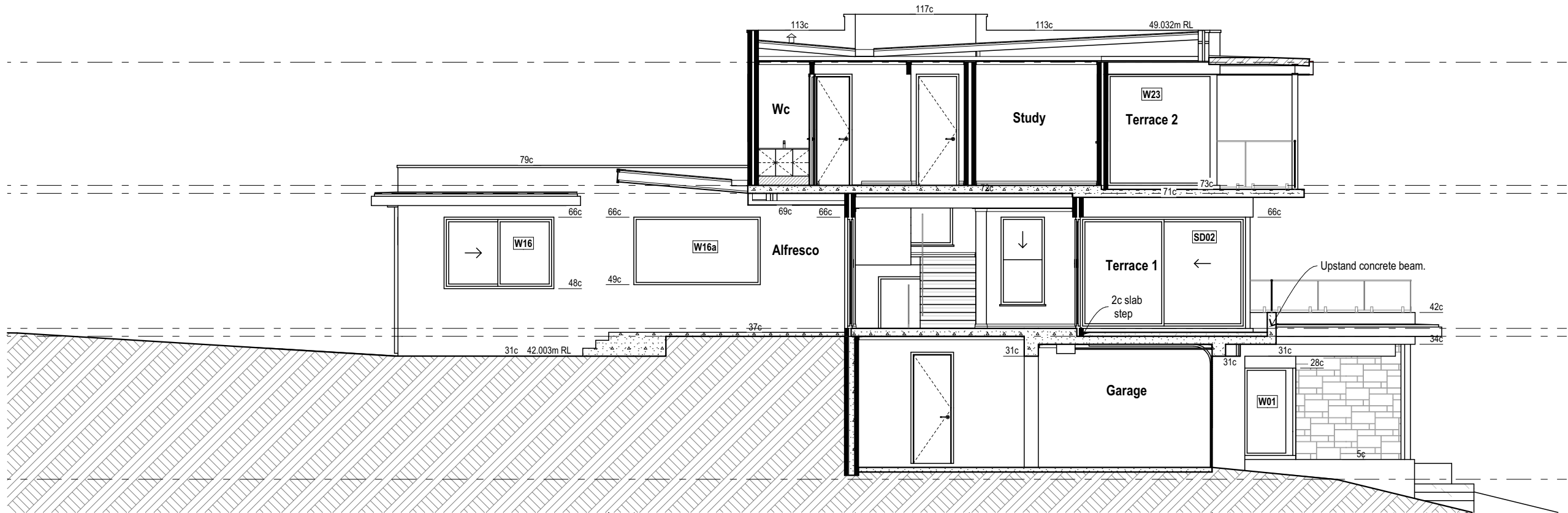
Building Permit



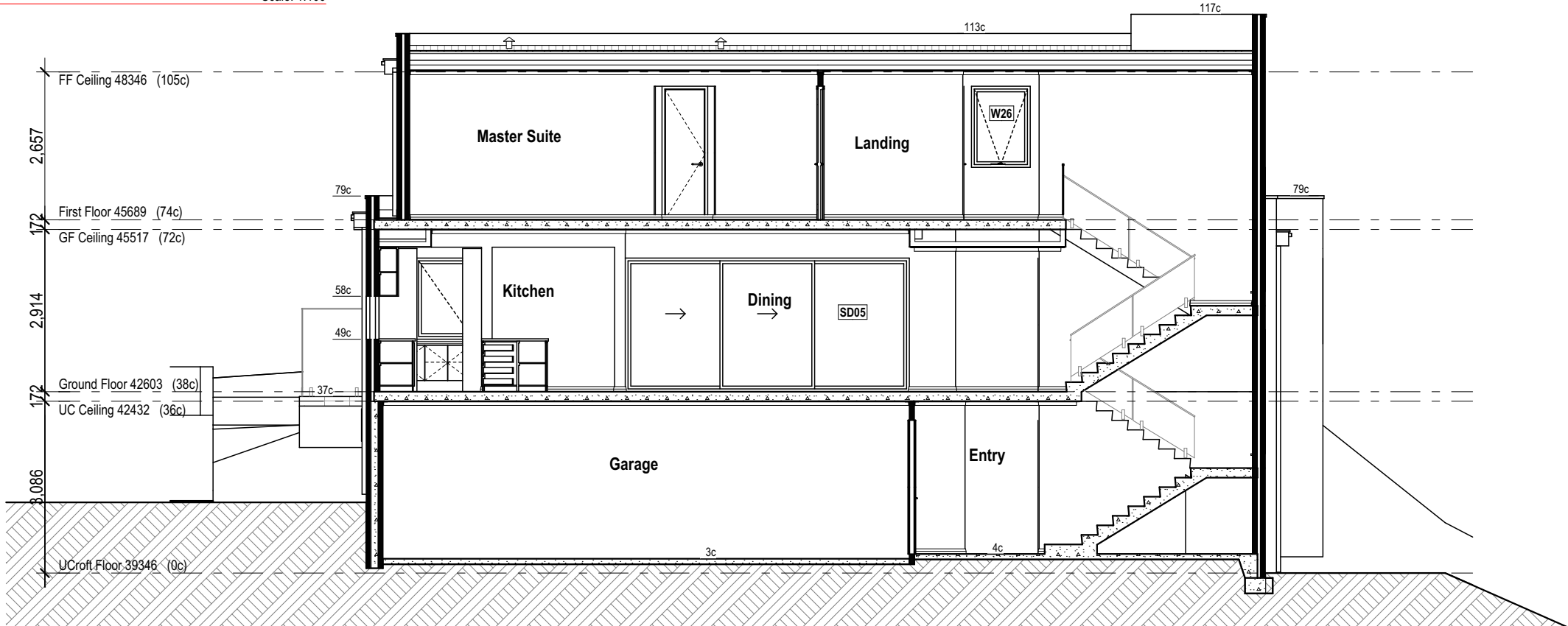
S/01 Section Scale: 1:100
2.05



S/02 Section Scale: 1:100
2.05



S/03 Section Scale: 1:100
2.05



S/04 Section Scale: 1:100
2.05

Sections DA03

Rev No.	N/A.
Job No.	5130
Draw No.	5.01

RIVERSTONE

A: Suite 44 Cottesloe Central Shopping Centre, 460 Stirling Highway, Peppermint Grove, WA 6011
T: 08 9284 4866 F: 08 9284 6144 E: reception@riverstone.com.au
W: www.riverstone.com.au
© Copyright. This drawing and design is copyright and may not be reproduced or copied in whole or in part without the express written permission of Riverstone Custom Homes.

Frederickson & Thompson
Lot 1 (#2) Parker St
East Fremantle, WA 6158

Wind Classification
T.B.C.
Local Authority
Town of E FREMANTLE
Dwn.
Daniel Zhao
Plot Date
21/03/2025 at 11:51 AM

Amendments:
DA03 - drawing changes as per client request - 02-12/03/25
DA02 - Drawing changes as per Council's required - 02-18/03/24

Signatures:
Client:
Client:
Builder:

This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.

Building Permit

	CS02	D01	D02	D03	D05	SD01	SD02	SD03
Elevation								
Plan view								
Floor (Story)	First Floor	UCroft Floor	UCroft Floor	Ground Floor	First Floor	Ground Floor	Ground Floor	Ground Floor
Frame	Refer to typical detail	Alum	Timber	Alum	Alum	Alum	Alum	Alum
Glazing	N/A	N/A	N/A	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda
Other	-	-	-	-	-Louvre	-	-	-
Note:	CUSTOM MADE DOOR							

	SD05	SD06	W01	W02	W03	W04
Elevation						
Plan view						
Floor (Story)	Ground Floor	First Floor	UCroft Floor	UCroft Floor	UCroft Floor	UCroft Floor
Frame	Alum	Alum	Alum	Alum	Alum	Alum
Glazing	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda
Other	-	-	-	-	-	-
Note:						

	W05	W06	W07	W08	W09	W10	W11	W12	W13	W14	W15
Elevation											
Plan view											
Floor (Story)	UCroft Floor	Ground Floor	Ground Floor	Ground Floor	Ground Floor	Ground Floor	Ground Floor	Ground Floor	Ground Floor	Ground Floor	Ground Floor
Frame	Alum	Alum	Alum	Alum	Alum	Alum	Alum	Alum	Alum	Alum	Alum
Glazing	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda
Other	-	-	-	-	-	-	-	-	-	-	-
Note:											

DOOR AND WINDOW SCHEDULE NOTES

Bedroom windows - where floor is 2m more than surface beneath unless opening sash is greater than 1700mm AFL opening must be permanently restricted to 125mm or fitted with a non-removable robust screen.
All other windows - where the fall height is 4m or greater must have a transom above 865mm and a sill height less than 150mm - No restriction is required to opening.
Refer to NCC V2 Part 3.9.2.5.

Check all door / window swing/ opening directions against relevant floor plans and elevations. Report any discrepancies to builder.

Windows Elevations are viewed from Outside.
Doors Elevations are viewed from swing side of door.

All corner and special door/window dimensions to be cross checked against relevant floor plans and dimensions. Dimensions shown are approximate only and to be adjusted to suit Column sizes and Frame thicknesses.

RIVERSTONE

A: Suite 44 Cottesloe Central Shopping Centre, 460 Stirling Highway, Peppermint Grove, WA 6011
T: 08 9284 4866 F: 08 9284 6144 E: reception@riverstone.com.au
W: www.riverstone.com.au
© Copyright. This drawing and design is copyright and may not be reproduced or copied in whole or in part without the express written permission of Riverstone Custom Homes.

Frederickson & Thompson

Lot 1 (#2) Parker St
East Fremantle, WA 6158

Wind Classification
T.B.C.
Local Authority
Town of E FREMANTLE
Dwn.
Daniel Zhao
Plot Date:
21/03/2025 at 11:51 AM

Amendments.
DA03 - drawing changes as per client request - 02-12/03/25
DA02 - Drawings changes as per Council's required - 12-18/03/24

Signatures:

Client:

Client:

Builder:

Schedule DA03

N/A.

5130

6.01

This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.

Building Permit

	W16	W16a	W17	W18	W20	W21	W22	W23	W24
Elevation									
Plan view									
Floor (Story)	Ground Floor	Ground Floor	Ground Floor	Ground Floor	Ground Floor	First Floor	First Floor	First Floor	First Floor
Frame	Alum	Alum	Alum	Alum	Alum	Alum	Alum	Alum	Alum
Glazing	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda
Other	-	-	-	-	-	-	-	-	-
Note:									

	W25	W25a	W26	W27	W28	W29	W30	W31
Elevation								
Plan view								
Floor (Story)	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor	First Floor
Frame	Alum	Alum	Alum	Alum	Alum	Alum	Alum	Alum
Glazing	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda	As per addenda
Other	-	-	-	-	-	-	Commercial Frame	-
Note:								

DOOR AND WINDOW SCHEDULE NOTES

Bedroom windows - where floor is 2m more than surface beneath unless opening sash is greater than 1700mm AFL opening must be permanently restricted to 125mm or fitted with a non-removable robust screen.
All other windows - where the fall height is 4m or greater must have a transom above 865mm and a sill height less than 150mm - No restriction is required to opening.
Refer to NCC V2 Part 3.9.2.5.

Check all door / window swing/ opening directions against relevant floor plans and elevations. Report any discrepancies to builder.

Windows Elevations are viewed from Outside.
Doors Elevations are viewed from swing side of door.

All corner and special door/window dimensions to be cross checked against relevant floor plans and dimensions. Dimensions shown are approximate only and to be adjusted to suit Column sizes and Frame thicknesses.

Schedule DA03

Rev No.	N/A.
Job No.	5130
Dim No.	6.02



A: Suite 44 Cottesloe Central Shopping Centre, 460 Stirling Highway, Peppermint Grove, WA 6011
T: 08 9284 4866 **F:** 08 9284 6144 **E:** reception@riverstone.com.au
W: www.riverstone.com.au
© **Copyright.** This drawing and design is copyright and may not be reproduced or copied in whole or in part without the express written permission of Riverstone Custom Homes.

Frederickson & Thompson

Lot 1 (#2) Parker St
East Fremantle, WA 6158

Wind Classification	T.B.C.
Local Authority	Town of E FREMANTLE
Drawn	Daniel Zhao
Plot Date:	21/03/2025 at 11:51 AM

Amendments.
DA03 - drawing changes as per client request - 02-12/03/25
DA02 - Drawings changes as per Council's required - 02-18/03/24

Signatures:

Client:

Client:

Builder:

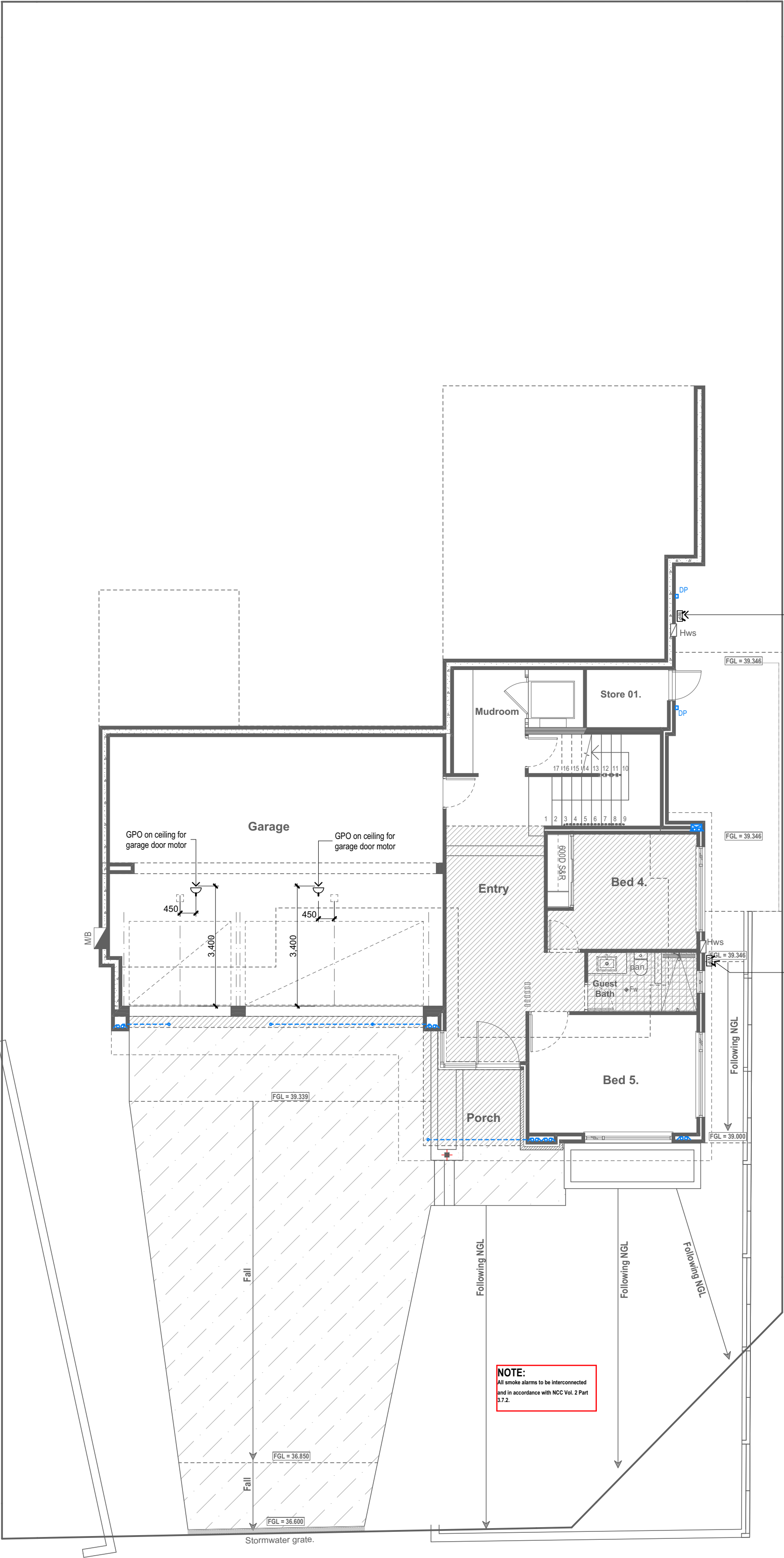
This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.

Building Permit

ELECTRICAL LEGEND

	SWITCH, 1300 AFL.
	2WAY SWITCHING.
	SINGLE GPO @ 1050 AFL.
	DOUBLE GPO @ 1050 AFL.
	SINGLE GPO @ 257 AFL.
	DOUBLE GPO @ 257 AFL.
	DOUBLE GPO w/ SURGE PROTECTOR.
	DOUBLE GPO w/ USB port.
	SINGLE WIPROOF GPO @ 1114 AFL.
	DOUBLE WIPROOF GPO @ 1114 AFL.
	LED DOWNLIGHT.
	LED DOWNLIGHT-DIMMER.
	LED DOWNLIGHT-CONC.
	LED DOWNLIGHT-CONC-DIMMER.
	BAYONET LIGHT POINT.
	BAYONET LIGHT POINT-DIMMER.
	BAYONET LIGHT POINT-CONC.
	BAYONET LIGHT POINT-CONC-DIMMER.
	WALL LIGHT, 2100 AFL.
	WALL LIGHT, 2100 AFL-DIMMER.
	WALL LIGHT EXTERNAL, 2100 AFL.
	POOL WALL LIGHT.
	O/H CABINET 12v LIGHTS.
	DOWNLIGHT STD.
	DOWNLIGHT STD-DIMMER.
	DOWNLIGHT STD-CONC.
	DOWNLIGHT STD-CONC-DIMMER.
	EXTERNAL WIPROOF UPLIGHT.
	EXTERNAL SUBMERSIBLE UPLIGHT.
	SINGLE LINEAR FITTING.
	TWIN LINEAR FITTING.
	WALL LIGHT 12V RECESS MOUNTED.
	GARDEN LIGHTS.
	CEILING SWEEP FAN.
	CEILING SWEEP FANLIGHT.
	EXHAUST FAN- fumed to external air and not into the roof space.
	WALL EXHAUST FAN- wall flue.
	3 in 1-4 heat Lamps.
	3 in 1-2 heat Lamps.
	MOTION DETECTOR.
	MOTION DETECTOR w/ LIGHT.
	GAS NEGUS POINT, 257 AFL.
	SMOKE ALARM- Heat Fitted, Interfired and to AS 3786-2014.
	PHONE DATA POINT, 257 OR 1286 AFL.
	DATA POINT, 257 AFL.
	T.V. POINT, 257 AFL.
	FOXTEL POINT, 257 AFL.

ELECTRICAL NOTES	
1. All dimensions are given in millimetres.	
2. Dimensions are given to underside of gpo box.	
3. All Electric Ovens, Hot plates and other electrical equipment shall have isolation switches within 2 metres of equipment.	
4. Unless otherwise noted the following heights are to be adhered to:-	
- a. Dishwasher GPO @ 300 afl.	
- b. Hot plate GPO @ 750afl.	
- c. Range hood GPO @ 1800 afl.	
- d. Microwave GPO @ 1450 afl.	
- e. Fridge GPO @ 1900 afl.	
- f. Kitchen GPO @ 1050 afl.	
- g. Washing machine GPO inside c'brd	
5. The Restricted Zones in Wet Areas.	
- a. Basin (<45L) offset to GPO or Switch = 200mm.	
- b. Trough (>45L) offset to GPO or Switch = 600mm.	
- c. Shr offset to GPO or Switch = 600mm or 1800mm from Rose if frameless Shr screen used.	
- d. Bath offset to GPO or Switch = 600mm.	



NOTE:
All smoke alarms to be interconnected
and in accordance with NCC Vol. 2 Part 3.7.2.

Gas HWS.
(1 only double Wiproof GPO @ 1200afl).

Gas HWS.
(1 only double Wiproof GPO @ 1200afl).

Electrical List		
	Data Pt	4
	Foxtel Pt	4
	GPO 1 GANG HIGH	7
	GPO 1 GANG LOW	6
	GPO 1 GANG WP	4
	GPO 2 GANG HIGH	4
	GPO 2 GANG LOW	4
	GPO 2 GANG WP	7
	NBN Outlet	4
	Phone Pt	4
	TV pt	4
		52

Electrical UC - GPO Scale: 1:100



A: Suite 44 Cottesloe Central Shopping Centre, 460 Stirling Highway, Peppermint Grove, WA 6011
T: 08 9284 4866 F: 08 9284 6144 E: reception@riverstone.com.au
W: www.riverstone.com.au
© Copyright. This drawing and design is copyright and may not be reproduced or copied in whole or in part without the express written permission of Riverstone Custom Homes.

Frederickson & Thompson
Lot 1 (#2) Parker St
East Fremantle, WA 6158

Wind Classification T.B.C.
Local Authority Town of E FREMANTLE
Dwn. Daniel Zhao
Plot Date: 21/03/2025 at 11:51 AM

Amendments:
DA03 - drawing changes as per client request - 02-12/03/25
DA02 - Drawings changes as per Council's required - 12-18/03/24

Signatures:

Client:

Client:

Builder:

Electrical U/Croft - GPO DA03

N/A.

5130

8.01

Building Permit

	SWITCH, 1300 AFL.
	2WAY SWITCHING.
	SINGLE GPO @ 1050 AFL.
	DOUBLE GPO @ 1050 AFL.
	SINGLE GPO @ 257 AFL.
	DOUBLE GPO @ 257 AFL.
	DOUBLE GPO w/ SURGE PROTECTOR.
	DOUBLE GPO w/ USB port.
	SINGLE WIPROOF GPO @ 1114 AFL.
	DOUBLE WIPROOF GPO @ 1114 AFL.
	LED DOWNLIGHT.
	LED DOWNLIGHT-DIMMER.
	LED DOWNLIGHT-CONC.
	LED DOWNLIGHT-CONC-DIMMER.
	BAYONET LIGHT POINT.
	BAYONET LIGHT POINT-DIMMER.
	BAYONET LIGHT POINT-CONC.
	BAYONET LIGHT POINT-CONC-DIMMER.
	WALL LIGHT, 2100 AFL.
	WALL LIGHT, 2100 AFL-DIMMER.
	WALL LIGHT EXTERNAL, 2100 AFL.
	POOL WALL LIGHT.
	O/H CABINET 12v LIGHTS.
	DOWNLIGHT STD.
	DOWNLIGHT STD-DIMMER.
	DOWNLIGHT STD-CONC.
	DOWNLIGHT STD-CONC-DIMMER.
	EXTERNAL WIPROOF UPLIGHT.
	EXTERNAL SUBMERSIBLE UPLIGHT.
	SINGLE LINEAR FITTING.
	TWIN LINEAR FITTING.
	WALL LIGHT 12V RECESS MOUNTED.
	GARDEN LIGHTS.
	CEILING SWEEP FAN.
	CEILING SWEEP FANLIGHT.
	EXHAUST FAN-Turned to external air and not into the roof space.
	WALL EXHAUST FAN - wall flue.
	3 in 1 - 4 heat Lamps.
	3 in 1 - 2 heat Lamps.
	MOTION DETECTOR.
	MOTION DETECTOR w/ LIGHT.
	GAS NEGUS POINT, 257 AFL.
	SMOKE ALARM - hard wired, Interlinked and to AS 3786-2014
	PHONE DATA POINT, 257 OR 1286 AFL.
	DATA POINT, 257 AFL.
	T.V. POINT, 257 AFL.
	FOXTEL POINT, 257 AFL.

1. All dimensions are given in millimetres.
2. Dimensions are given to underside of gpo box.
3. All Electric Ovens, Hot plates and other electrical equipment shall have isolation switches within 2 metres of equipment.
4. Unless otherwise noted the following heights are to be adhered to:-
 - a. Dishwasher GPO @ 300 aff.
 - b. Range hood GPO @ 750 aff.
 - c. Hot plate hood GPO @ 1800 aff.
 - d. Microwave GPO @ 1450 aff.
 - e. Fridge GPO @ 1900 aff.
 - f. Kitchen GPO @ 1050 aff.
 - g. Washing machine GPO inside c'brd
5. **The Restricted Zones in Wet Areas.**
 - a. Basin (<45L) offset to GPO or Switch = 200mm.
 - b. Trough (>45L) offset to GPO or Switch = 600mm.
 - c. Shr offset to GPO or Switch = 600mm or 1800m from Rose if flameless Shr screen used.
 - d. Bath offset to GPO or Switch = 600mm.

NOTE:
Artificial lighting to be in accordance
within accordance with NCC Vol. 2 Part
3.12.5.5

Scale: 1:100



Following NGL

Following:

Rev No.	BAL Rating.
---------	-------------

N/A.

--	--

5130

Run No: 10

8.02

Client:

Client:

Buildings

This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.

ELECTRICAL LEGEND

	SWITCH, 1300 AFL
	2WAY SWITCHING
	SINGLE GPO @ 1050 AFL
	DOUBLE GPO @ 1050 AFL
	SINGLE GPO @ 257 AFL
	DOUBLE GPO @ 257 AFL
	DOUBLE GPO w/ SURGE PROTECTOR
	DOUBLE GPO w/ USB port
	SINGLE WIPROOF GPO @ 1114 AFL
	DOUBLE WIPROOF GPO @ 1114 AFL
	LED DOWNLIGHT
	LED DOWNLIGHT-DIMMER
	LED DOWNLIGHT-CONC
	LED DOWNLIGHT-CONC-DIMMER
	BAYONET LIGHT POINT
	BAYONET LIGHT POINT-DIMMER
	BAYONET LIGHT POINT-CONC
	BAYONET LIGHT POINT-CONC-DIMMER
	WALL LIGHT, 2100 AFL
	WALL LIGHT, 2100 AFL-DIMMER
	WALL LIGHT EXTERNAL, 2100 AFL
	POOL WALL LIGHT
	O/H CABINET 12v LIGHTS
	DOWNLIGHT STD
	DOWNLIGHT STD-DIMMER
	DOWNLIGHT STD-CONC
	DOWNLIGHT STD-CONC-DIMMER
	EXTERNAL WIPROOF UPLIGHT
	EXTERNAL SUBMERSIBLE UPLIGHT
	SINGLE LINEAR FITTING
	TWIN LINEAR FITTING
	WALL LIGHT 12v RECESS MOUNTED
	GARDEN LIGHTS
	CEILING SWEEP FAN
	CEILING SWEEP FANLIGHT
	EXHAUST FAN- fumes to external air and not into the roof space
	WALL EXHAUST FAN- wall flue
	3 in 1-4 heat Lamps
	3 in 1-2 heat Lamps
	MOTION DETECTOR
	MOTION DETECTOR w/ LIGHT
	GAS NEGUS POINT, 257 AFL
	SMOKE ALARM- Heat Fitted, Interfitted and to AS 3786-2014
	PHONE DATA POINT, 257 OR 1286 AFL
	DATA POINT, 257 AFL
	T.V. POINT, 257 AFL
	FOXTEL POINT, 257 AFL

ELECTRICAL NOTES	
1. All dimensions are given in millimetres.	
2. Dimensions are given to underside of gpo box.	
3. All Electric Ovens, Hot plates and other electrical equipment shall have isolation switches within 2 metres of equipment.	
4. Unless otherwise noted the following heights are to be adhered to:-	
- a. Dishwasher GPO @ 300 afl.	
- b. Hot plate GPO @ 750afl.	
- c. Range hood GPO @ 1800 afl.	
- d. Microwave GPO @ 1450 afl.	
- e. Fridge GPO @ 1900 afl.	
- f. Kitchen GPO @ 1050 afl.	
- g. Washing machine GPO inside c'brd	
5. The Restricted Zones in Wet Areas.	
- a. Basin (<45L) offset to GPO or Switch = 200mm.	
- b. Trough (>45L) offset to GPO or Switch = 600mm.	
- c. Shr offset to GPO or Switch = 600mm or 1800mm from Rose if frameless Shr screen used.	
- d. Bath offset to GPO or Switch = 600mm.	

2 x SGPO for W/M & Dryer.
Exact Location TBC.

Gas HWS.
(1 only double Wiproof GPO @ 1200afl).

Induction Hp.

R/hood
GPO @ 1800afl

SGPO for D/W in
Adjacent Cupboard.

NOTE:
All smoke alarms to be interconnected
and in accordance with NCC Vol. 2 Part 3.7.2

Electrical GF - GPO Scale: 1:100

Electrical List		
	Data Pt	4
	Foxtel Pt	4
	GPO 1 GANG HIGH	7
	GPO 1 GANG LOW	6
	GPO 1 GANG WP	4
	GPO 2 GANG HIGH	4
	GPO 2 GANG LOW	4
	GPO 2 GANG WP	7
	NBN Outlet	4
	Phone Pt	4
	TV pt	4
		52

This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.

Building Permit

ELECTRICAL LEGEND

	SWITCH, 1300 AFL.
	2WAY SWITCHING.
	SINGLE GPO @ 1050 AFL.
	DOUBLE GPO @ 1050 AFL.
	SINGLE GPO @ 257 AFL.
	DOUBLE GPO @ 257 AFL.
	DOUBLE GPO w/ SURGE PROTECTOR.
	DOUBLE GPO w/ USB port.
	SINGLE WIPROOF GPO @ 1114 AFL.
	DOUBLE WIPROOF GPO @ 1114 AFL.
	LED DOWNLIGHT.
	LED DOWNLIGHT-DIMMER.
	LED DOWNLIGHT-CONC.
	LED DOWNLIGHT-CONC-DIMMER.
	BAYONET LIGHT POINT.
	BAYONET LIGHT POINT-DIMMER.
	BAYONET LIGHT POINT-CONC.
	BAYONET LIGHT POINT-CONC-DIMMER.
	WALL LIGHT, 2100 AFL.
	WALL LIGHT, 2100 AFL-DIMMER.
	WALL LIGHT EXTERNAL, 2100 AFL.
	POOL WALL LIGHT.
	O/H CABINET 12v LIGHTS.
	DOWNLIGHT STD.
	DOWNLIGHT STD-DIMMER.
	DOWNLIGHT STD-CONC.
	DOWNLIGHT STD-CONC-DIMMER.
	EXTERNAL WIPROOF UPLIGHT.
	EXTERNAL SUBMERSIBLE UPLIGHT.
	SINGLE LINEAR FITTING.
	TWIN LINEAR FITTING.
	WALL LIGHT 12V RECESS MOUNTED.
	GARDEN LIGHTS.
	CEILING SWEEP FAN.
	CEILING SWEEP FANLIGHT.
	EXHAUST FAN- flumed to external air and not into the roof space.
	WALL EXHAUST FAN - wall flue.
	3 in 1-4 heat Lamps.
	3 in 1-2 heat Lamps.
	MOTION DETECTOR.
	MOTION DETECTOR w/ LIGHT.
	GAS NEGUS POINT, 257 AFL.
	SMOKE ALARM- Heat Wired, Installed and to AS 3786-2014.
	PHONE DATA POINT, 257 OR 1286 AFL.
	DATA POINT, 257 AFL.
	T.V. POINT, 257 AFL.
	FOXTEL POINT, 257 AFL.

ELECTRICAL NOTES	
1. All dimensions are given in millimetres.	
2. Dimensions are given to underside of gpo box.	
3. All Electric Ovens, Hot plates and other electrical equipment shall have isolation switches within 2 metres of equipment.	
4. Unless otherwise noted the following heights are to be adhered to:-	
- a. Dishwasher GPO @ 300 afl.	
- b. Hot plate GPO @ 750afl.	
- c. Range hood GPO @ 1800 afl.	
- d. Microwave GPO @ 1450 afl.	
- e. Fridge GPO @ 1900 afl.	
- f. Kitchen GPO @ 1050 afl.	
- g. Washing machine GPO inside c'brd	
5. The Restricted Zones in Wet Areas.	
- a. Basin (<45L) offset to GPO or Switch = 200mm.	
- b. Trough (>45L) offset to GPO or Switch = 600mm.	
- c. Shr offset to GPO or Switch = 600mm or 1800mm from Rose if frameless Shr screen used.	
- d. Bath offset to GPO or Switch = 600mm.	

Electrical List		
	Data Pt	4
	Foxtel Pt	4
	GPO 1 GANG HIGH	7
	GPO 1 GANG LOW	6
	GPO 1 GANG WP	4
	GPO 2 GANG HIGH	4
	GPO 2 GANG LOW	4
	GPO 2 GANG WP	7
	NBN Outlet	4
	Phone Pt	4
	TV pt	4
		52

NOTE:
Artificial lighting to be in accordance
within accordance with NCC Vol. 2 Part
3.12.5.5

Electrical GF - LIGHTING

Scale: 1:100



A: Suite 44 Cottesloe Central Shopping Centre, 460 Stirling Highway, Peppermint Grove, WA 6011
T: 08 9284 4866 **F:** 08 9284 6144 **E:** reception@riverstone.com.au
W: www.riverstone.com.au
© **Copyright.** This drawing and design is copyright and may not be reproduced or copied in whole or in part without the express written permission of Riverstone Custom Homes.

Frederickson & Thompson
Lot 1 (#2) Parker St
East Fremantle, WA 6158

Wind Classification	T.B.C.
Local Authority	Town of E FREMANTLE
Drawn	Daniel Zhao
Plot Date	21/03/2025 at 11:51 AM

Amendments:
DA03 - drawing changes as per client request - 02-12/03/25
DA02 - Drawings changes as per Council's required - 12-18/03/24

Signatures:

Client:

Client:

Builder:

Electrical GF - LIGHTING

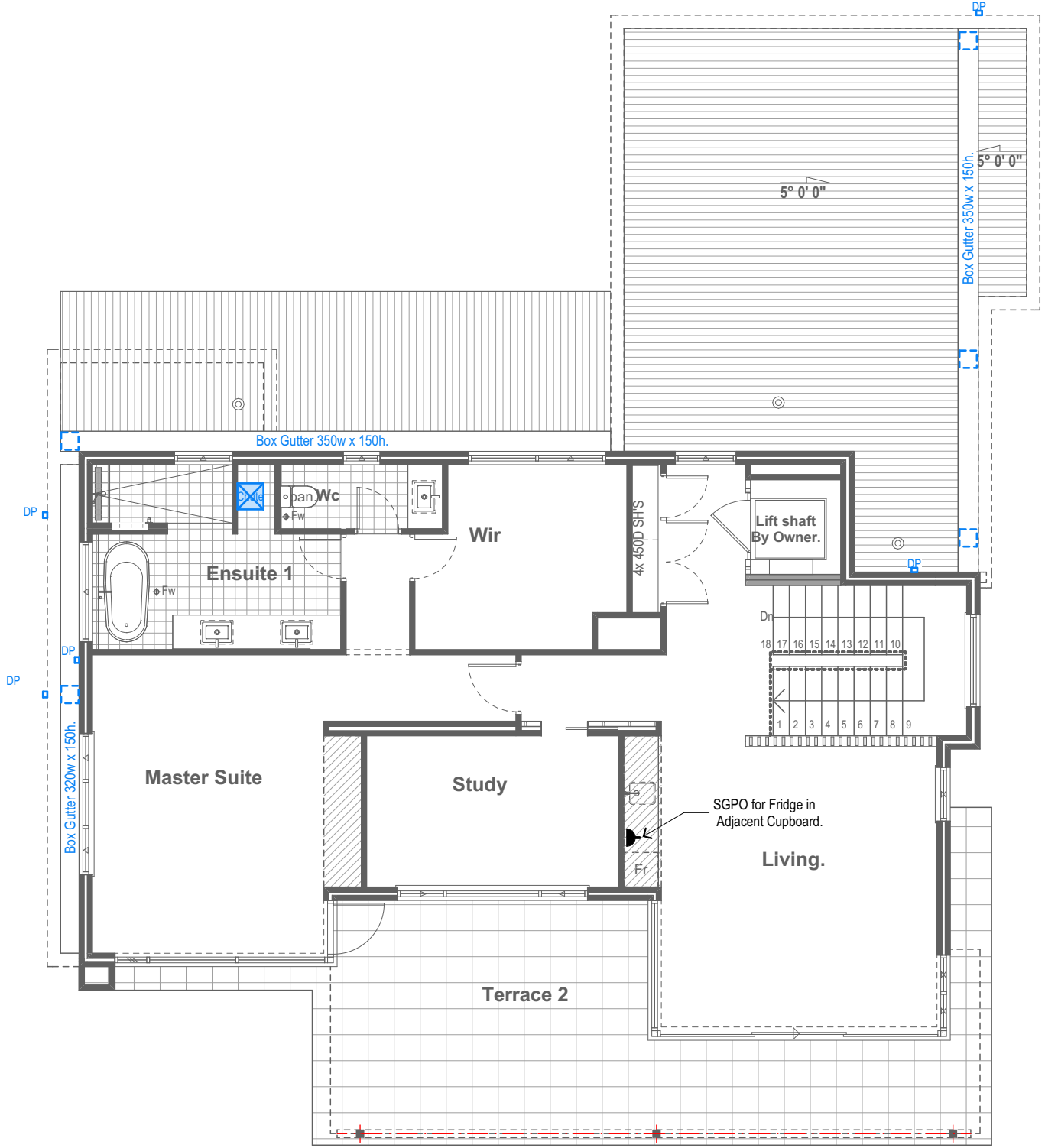
Rev No.	N/A.
Job No.	5130
Dwn No.	8.04

This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.

ELECTRICAL LEGEND

	SWITCH, 1300 AFL
	2WAY SWITCHING.
	SINGLE GPO @ 1050 AFL
	DOUBLE GPO @ 1050 AFL
	SINGLE GPO @ 257 AFL
	DOUBLE GPO @ 257 AFL
	DOUBLE GPO w/ SURGE PROTECTOR.
	DOUBLE GPO w/ USB port.
	SINGLE WIPROOF GPO @ 1114 AFL
	DOUBLE WIPROOF GPO @ 1114 AFL
	LED DOWNLIGHT.
	LED DOWNLIGHT-DIMMER.
	LED DOWNLIGHT-CONC.
	LED DOWNLIGHT-CONC-DIMMER.
	BAYONET LIGHT POINT.
	BAYONET LIGHT POINT-DIMMER.
	BAYONET LIGHT POINT-CONC.
	BAYONET LIGHT POINT-CONC-DIMMER.
	WALL LIGHT, 2100 AFL
	WALL LIGHT, 2100 AFL-DIMMER.
	WALL LIGHT EXTERNAL, 2100 AFL
	POOL WALL LIGHT.
	O/H CABINET 12v LIGHTS.
	DOWNLIGHT STD.
	DOWNLIGHT STD-DIMMER.
	DOWNLIGHT STD-CONC.
	DOWNLIGHT STD-CONC-DIMMER.
	EXTERNAL WIPROOF UPLIGHT.
	EXTERNAL SUBMERSIBLE UPLIGHT.
	SINGLE LINEAR FITTING.
	TWIN LINEAR FITTING.
	WALL LIGHT 12V RECESS MOUNTED.
	GARDEN LIGHTS.
	CEILING SWEEP FAN.
	CEILING SWEEP FANLIGHT.
	EXHAUST FAN- fumed to external air and not into the roof space
	WALL EXHAUST FAN - wall flue.
	3 in 1-4 heat Lamps.
	3 in 1-2 heat Lamps.
	MOTION DETECTOR.
	MOTION DETECTOR w/ LIGHT.
	GAS NEGUS POINT, 257 AFL.
	SMOKE ALARM- Heat Wired, Interfaced and to AS 3786-2014
	PHONE DATA POINT, 257 OR 1286 AFL.
	DATA POINT, 257 AFL.
	T.V. POINT, 257 AFL.
	FOXTEL POINT, 257 AFL.

ELECTRICAL NOTES	
1. All dimensions are given in millimetres.	
2. Dimensions are given to underside of gpo box.	
3. All Electric Ovens, Hot plates and other electrical equipment shall have isolation switches within 2 metres of equipment.	
4. Unless otherwise noted the following heights are to be adhered to:-	
- a. Dishwasher GPO @ 300 afl.	
- b. Hot plate GPO @ 750afl.	
- c. Range hood GPO @ 1800 afl.	
- d. Microwave GPO @ 1450 afl.	
- e. Fridge GPO @ 1900 afl.	
- f. Kitchen GPO @ 1050 afl.	
- g. Washing machine GPO inside c'brd	
5. The Restricted Zones in Wet Areas.	
-a. Basin (<45L) offset to GPO or Switch = 200mm.	
-b. Trough (>45L) offset to GPO or Switch = 600mm.	
-c. Shr offset to GPO or Switch = 600mm or 1800mm from Rose if frameless Shr screen used.	
-d. Bath offset to GPO or Switch = 600mm.	



NOTE:
All smoke alarms to be interconnected and in accordance with NCC Vol. 2 Part 3.7.2.

Electrical FF - GPO Scale: 1:100

Electrical List		
	Data Pt	4
	Foxtel Pt	4
	GPO 1 GANG HIGH	7
	GPO 1 GANG LOW	6
	GPO 1 GANG WP	4
	GPO 2 GANG HIGH	4
	GPO 2 GANG LOW	4
	GPO 2 GANG WP	7
	NBN Outlet	4
	Phone Pt	4
	TV pt	4
		52

Rev No.	BA1, Basing	N/A.
Job No.		5130
Dwn No.		8.05

Electrical FF - GPO DA03



A: Suite 44 Cottesloe Central Shopping Centre, 460 Stirling Highway, Peppermint Grove, WA 6011
T: 08 9284 4866 F: 08 9284 6144 E: reception@riverstone.com.au
W: www.riverstone.com.au
© Copyright. This drawing and design is copyright and may not be reproduced or copied in whole or in part without the express written permission of Riverstone Custom Homes.

Frederickson & Thompson
Lot 1 (#2) Parker St
East Fremantle, WA 6158

Wind Classification	T.B.C.
Local Authority	Town of E FREMANTLE
Plot Date	21/03/2025 at 11:51 AM

Amendments.
DA03 - drawing changes as per client request - 02-12/03/25
DA02 - Drawings changes as per Council's required - 12-18/03/24

Signatures:

Client:

Client:

Builder:

This Drawing is to be read in conjunction with all relevant Drawings related to the Project for accurate co-ordination of services. The Contractor is to check all dimensions on site before the commencement of work. Should any discrepancies occur, notify the Builder immediately. These Drawings remain the property of the Builder and shall be returned upon request.

Building Permit

ELECTRICAL LEGEND

	SWITCH, 1300 AFL
	2WAY SWITCHING.
	SINGLE GPO @ 1050 AFL.
	DOUBLE GPO @ 1050 AFL.
	SINGLE GPO @ 257 AFL.
	DOUBLE GPO @ 257 AFL.
	DOUBLE GPO w/ SURGE PROTECTOR.
	DOUBLE GPO w/ USB port.
	SINGLE WIPROOF GPO @ 1114 AFL.
	DOUBLE WIPROOF GPO @ 1114 AFL.
	LED DOWNLIGHT.
	LED DOWNLIGHT-DIMMER.
	LED DOWNLIGHT-CONC.
	LED DOWNLIGHT-CONC-DIMMER.
	BAYONET LIGHT POINT.
	BAYONET LIGHT POINT-DIMMER.
	BAYONET LIGHT POINT-CONC.
	BAYONET LIGHT POINT-CONC-DIMMER.
	WALL LIGHT, 2100 AFL.
	WALL LIGHT, 2100 AFL-DIMMER.
	WALL LIGHT EXTERNAL, 2100 AFL.
	POOL WALL LIGHT.
	O/H CABINET 12v LIGHTS.
	DOWNLIGHT STD.
	DOWNLIGHT STD-DIMMER.
	DOWNLIGHT STD-CONC.
	DOWNLIGHT STD-CONC-DIMMER.
	EXTERNAL WIPROOF UPLIGHT.
	EXTERNAL SUBMERSIBLE UPLIGHT.
	SINGLE LINEAR FITTING.
	TWIN LINEAR FITTING.
	WALL LIGHT 12V RECESS MOUNTED.
	GARDEN LIGHTS.
	CEILING SWEEP FAN.
	CEILING SWEEP FANLIGHT.
	EXHAUST FAN- fumed to external air and not into the roof space
	WALL EXHAUST FAN - wall flue.
	3 in 1-4 heat Lamps.
	3 in 1-2 heat Lamps.
	MOTION DETECTOR.
	MOTION DETECTOR w/ LIGHT.
	GAS NEGUS POINT, 257 AFL.
	SMOKE ALARM- hard wired, installed and to AS 3786-2014
	PHONE DATA POINT, 257 OR 1286 AFL.
	DATA POINT, 257 AFL.
	T.V. POINT, 257 AFL.
	FOXTEL POINT, 257 AFL.

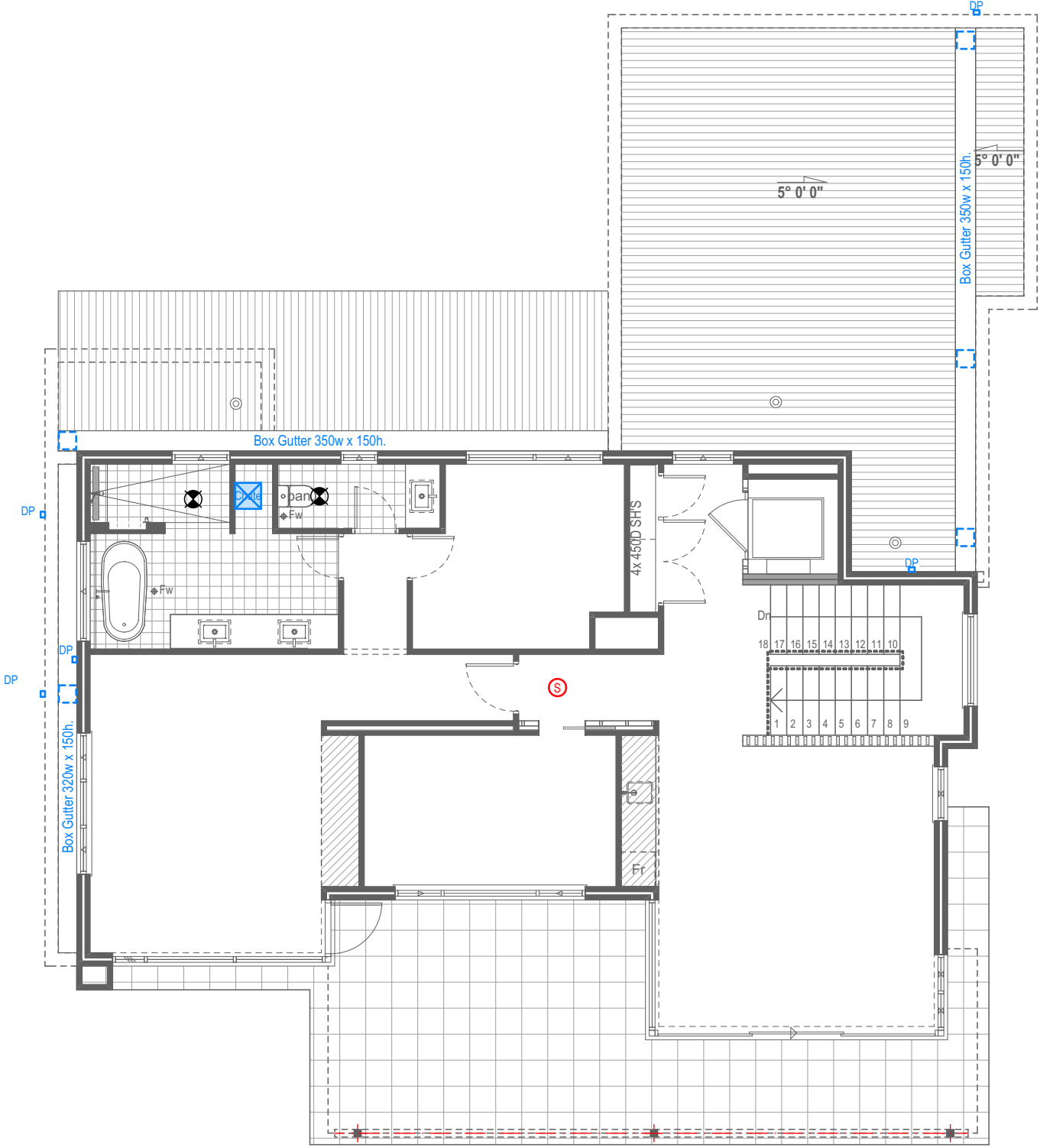
ELECTRICAL NOTES	
1. All dimensions are given in millimetres.	
2. Dimensions are given to underside of gpo box.	
3. All Electric Ovens, Hot plates and other electrical equipment shall have isolation switches within 2 metres of equipment.	
4. Unless otherwise noted the following heights are to be adhered to:-	
- a. Dishwasher GPO @ 300 afl.	
- b. Hot plate GPO @ 750afl.	
- c. Range hood GPO @ 1800 afl.	
- d. Microwave GPO @ 1450 afl.	
- e. Fridge GPO @ 1900 afl.	
- f. Kitchen GPO @ 1050 afl.	
- g. Washing machine GPO inside c'brd	
5. The Restricted Zones in Wet Areas.	
-a. Basin (<45L) offset to GPO or Switch = 200mm.	
-b. Trough (>45L) offset to GPO or Switch = 600mm.	
-c. Shr offset to GPO or Switch = 600mm or 1800mm from Rose if frameless Shr screen used.	
-d. Bath offset to GPO or Switch = 600mm.	

Electrical List		
	Data Pt	4
	Foxtel Pt	4
	GPO 1 GANG HIGH	7
	GPO 1 GANG LOW	6
	GPO 1 GANG WP	4
	GPO 2 GANG HIGH	4
	GPO 2 GANG LOW	4
	GPO 2 GANG WP	7
	NBN Outlet	4
	Phone Pt	4
	TV pt	4
		52

NOTE:
Artificial lighting to be in accordance
within accordance with NCC Vol. 2 Part
3.12.5.5

Electrical FF - LIGHTING

Scale: 1:100



A: Suite 44 Cottesloe Central Shopping Centre, 460 Stirling Highway, Peppermint Grove, WA 6011
T: 08 9284 4866 **F:** 08 9284 6144 **E:** reception@riverstone.com.au
W: www.riverstone.com.au
© **Copyright.** This drawing and design is copyright and may not be reproduced or copied in whole or in part without the express written permission of Riverstone Custom Homes.

Frederickson & Thompson
Lot 1 (#2) Parker St
East Fremantle, WA 6158

Wind Classification **T.B.C.**
Local Authority **Town of E FREMANTLE**
Drawn: **Daniel Zhao**
Plot Date: **21/03/2025 at 11:52 AM**

Amendments:
DA03 - drawing changes as per client request - 02-12/03/25
DA02 - Drawings changes as per Council's required - 12-18/03/24

Signatures:

Client: _____

Client: _____

Builder: _____

Rev No.

Job No.

DA03

Rev No.

Job No.

Rev No.

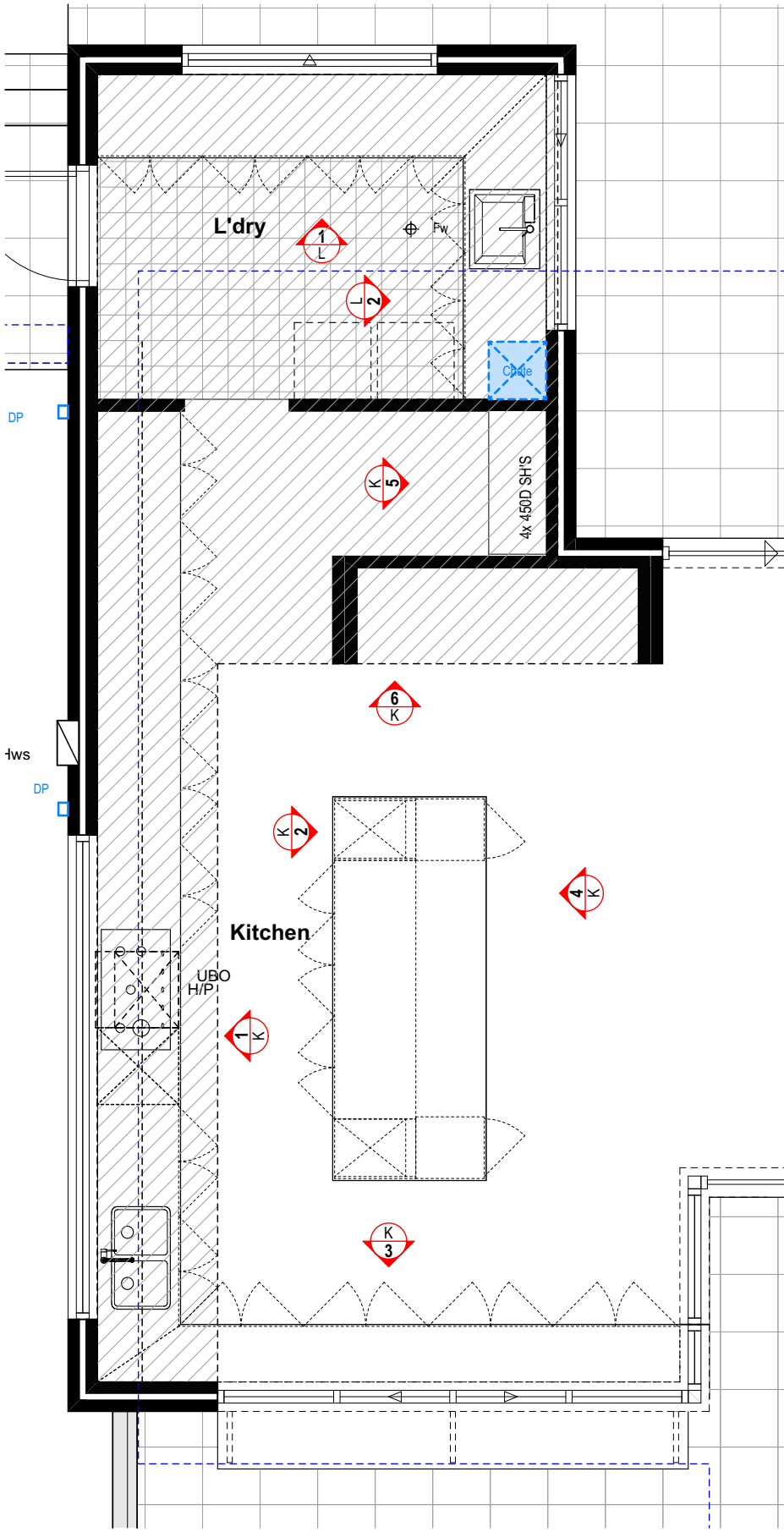
Job No.

N/A.

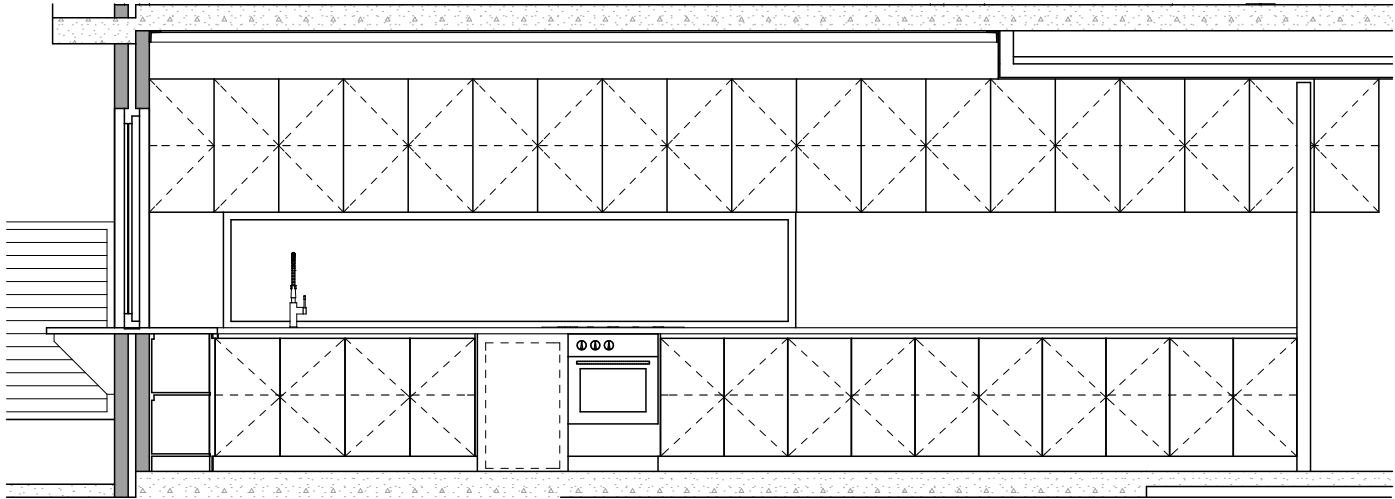
5130

8.06

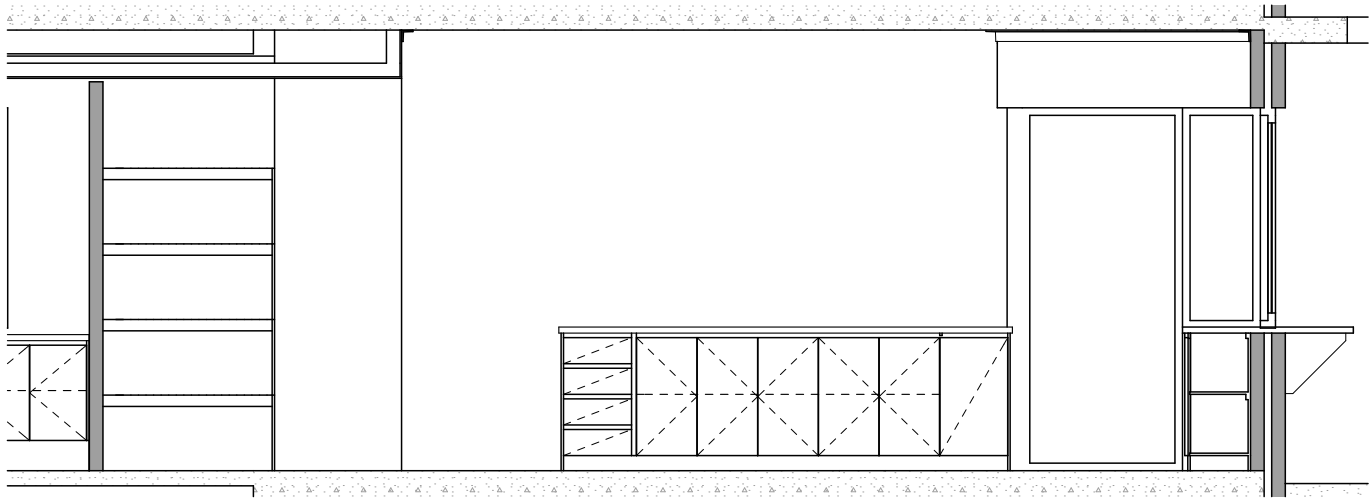
Electrical FF - LIGHTING



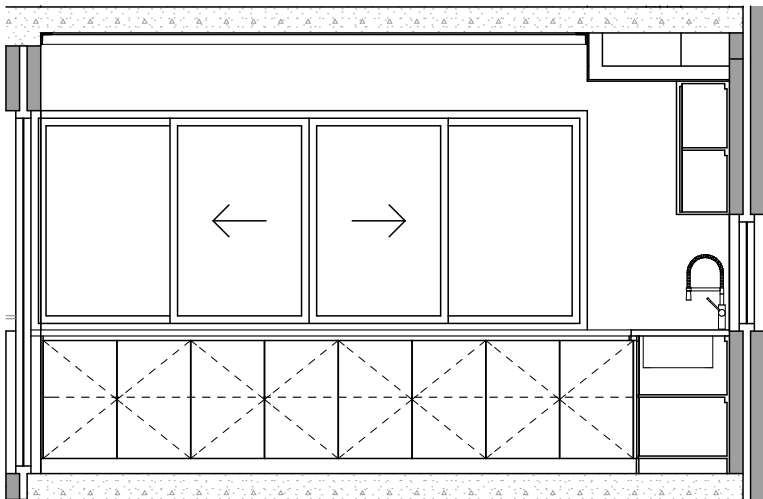
Kitchen / L'dry Plan Scale: 1:50



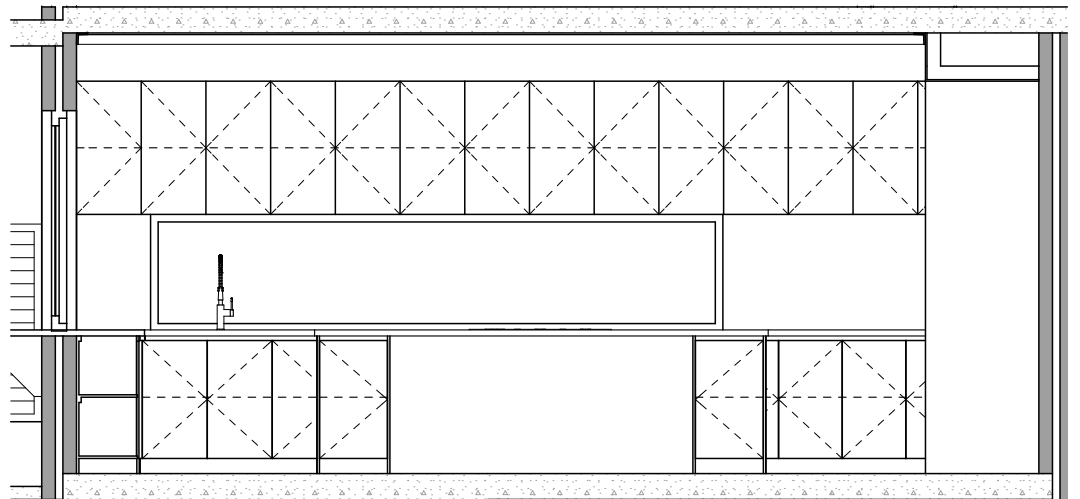
1 Kitchen Scale: 1:50
9.01



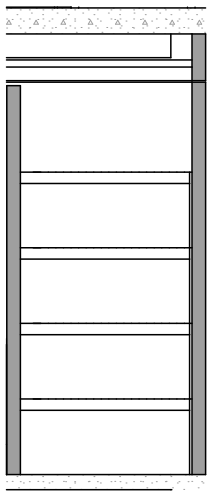
2 Kitchen Scale: 1:50
9.01



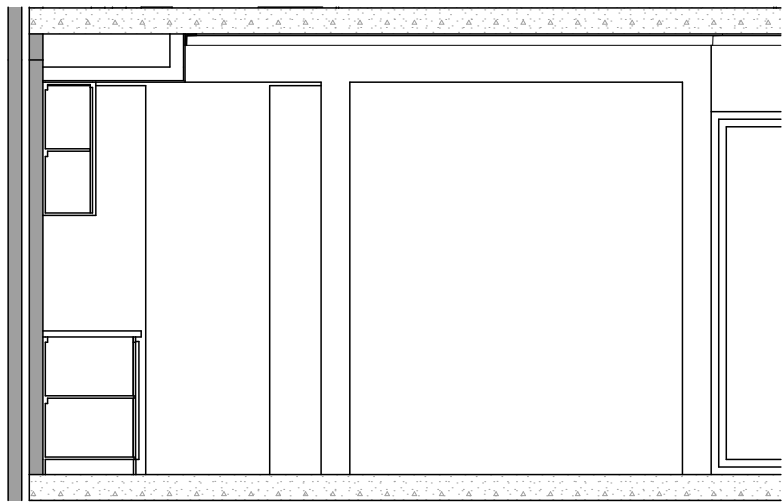
3 Kitchen Scale: 1:50
9.01



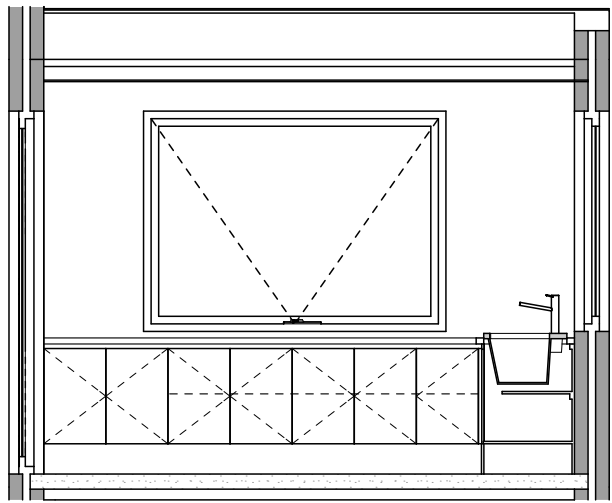
4 Kitchen Scale: 1:50
9.01



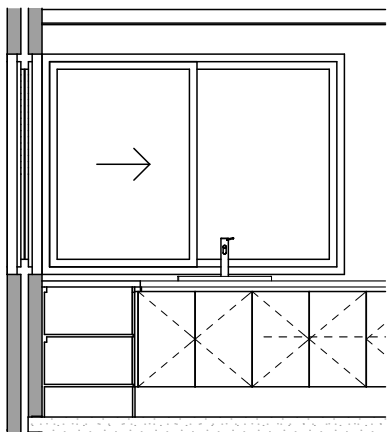
5 Kitchen Scale: 1:50
9.01



6 Kitchen Scale: 1:50
9.01

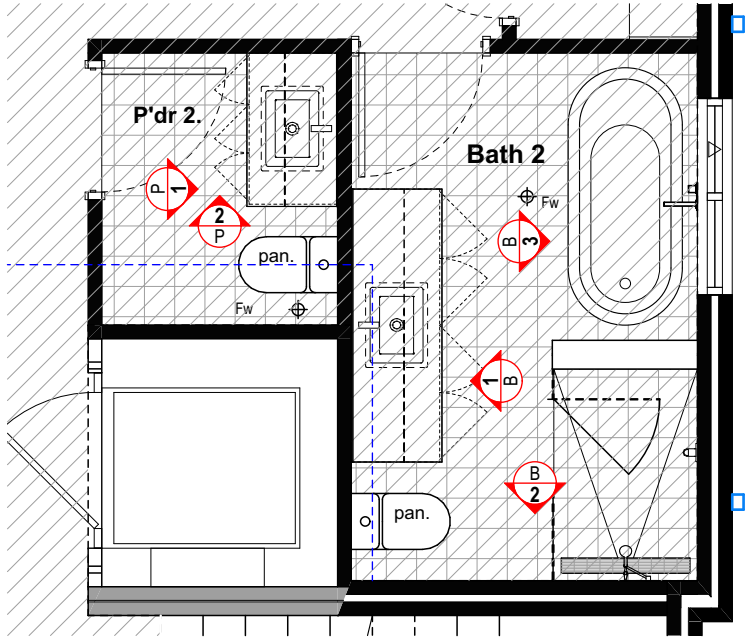


1 L'dry Scale: 1:50
9.01

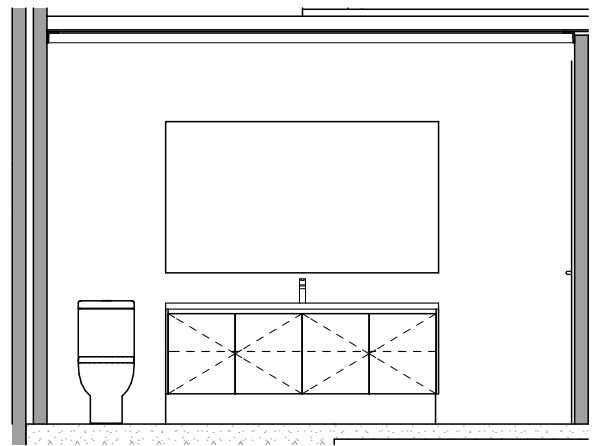


2 L'dry Scale: 1:50
9.01

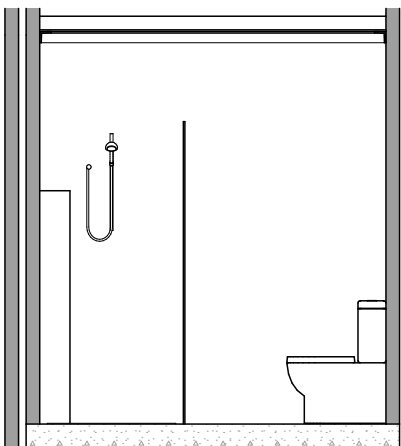
Note!
Please refer to Addenda
Cabinetry for Appliances
and Drawer Allowance.
Drawings are Diagramatic
at this stage.



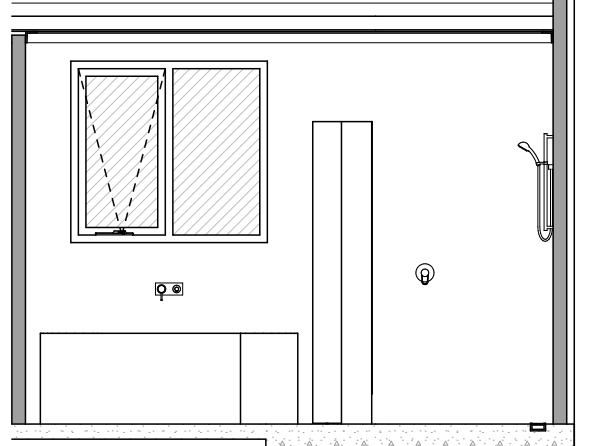
Bath 2 / P'dr 2 Scale: 1:50



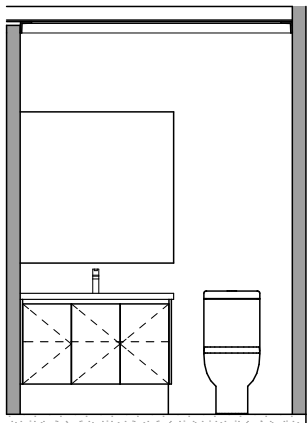
1 9.02 Bath Scale: 1:50



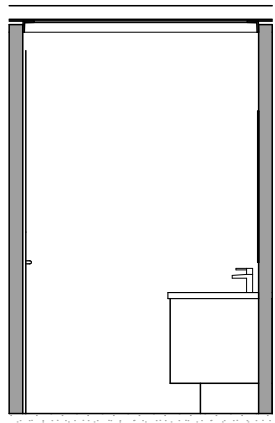
2 9.02 Bath Scale: 1:50



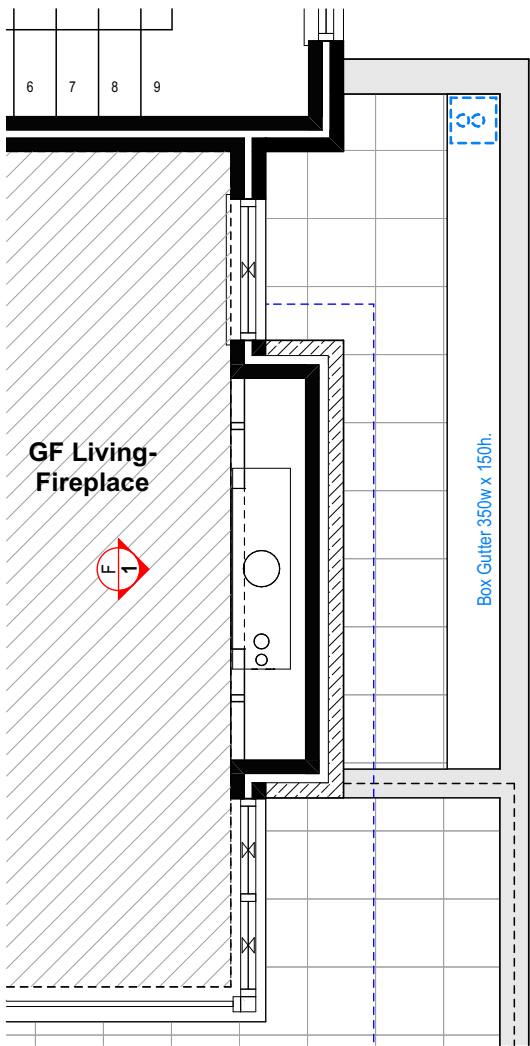
3 9.02 Bath Scale: 1:50



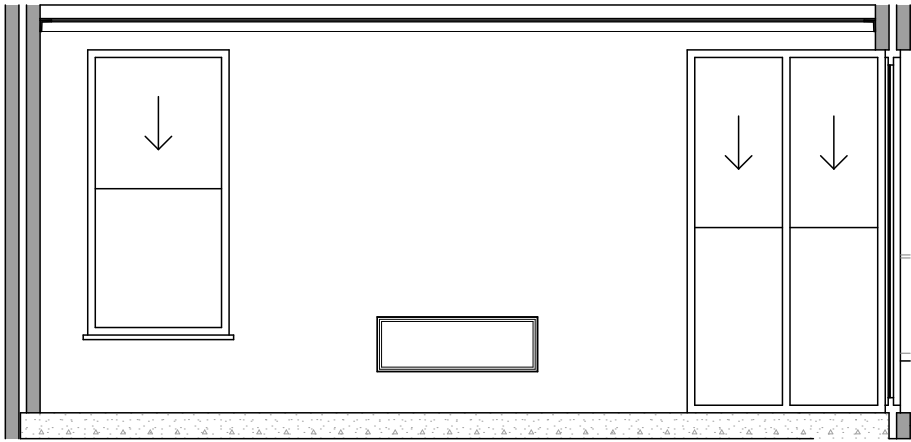
1 9.02 P'dr 2 Scale: 1:50



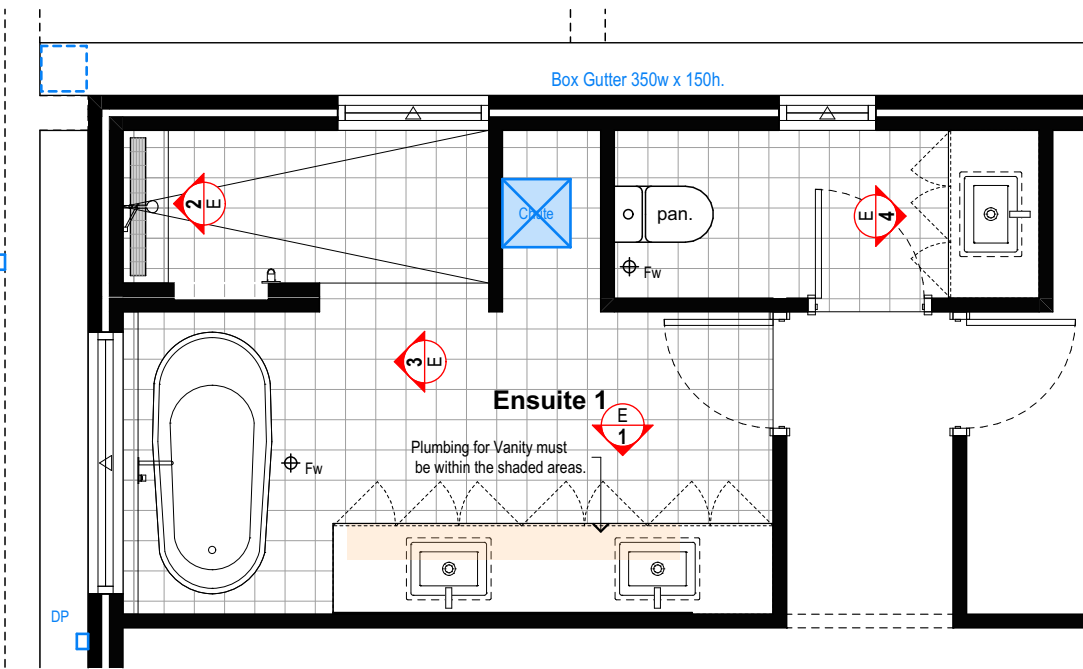
2 9.02 P'dr 2 Scale: 1:50



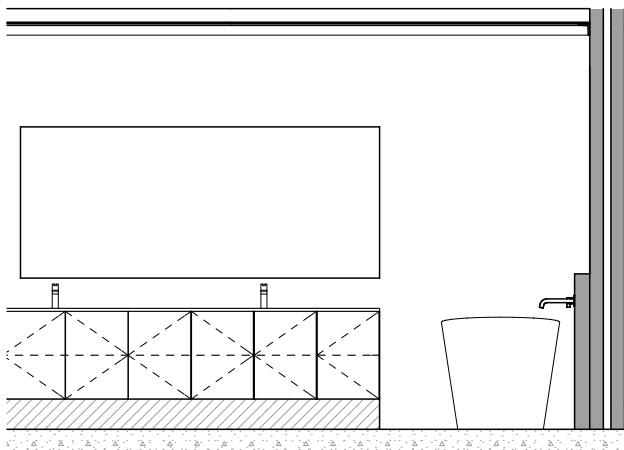
GF - Fireplace Scale: 1:50



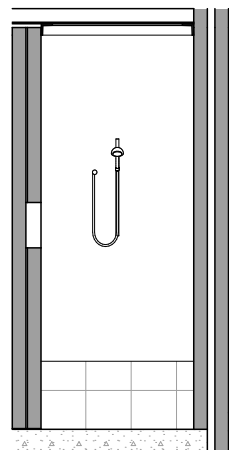
1 9.02 Fireplace Scale: 1:50



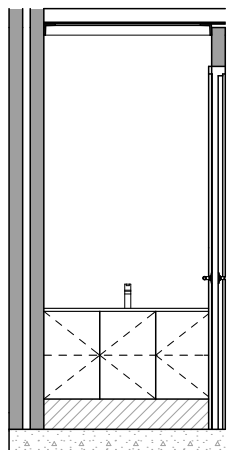
Ensuite 1 Plan Scale: 1:50



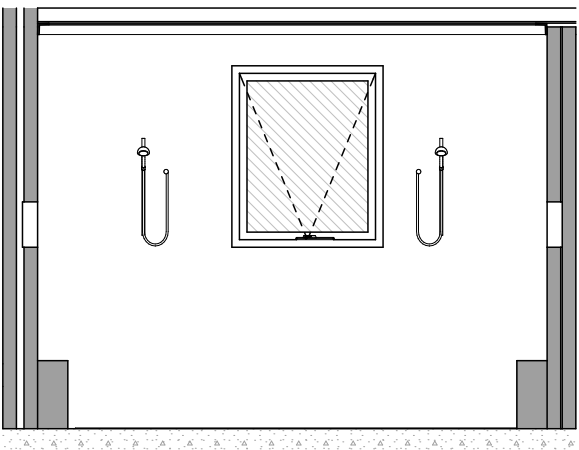
1 9.02 Ensuite 1 Scale: 1:50



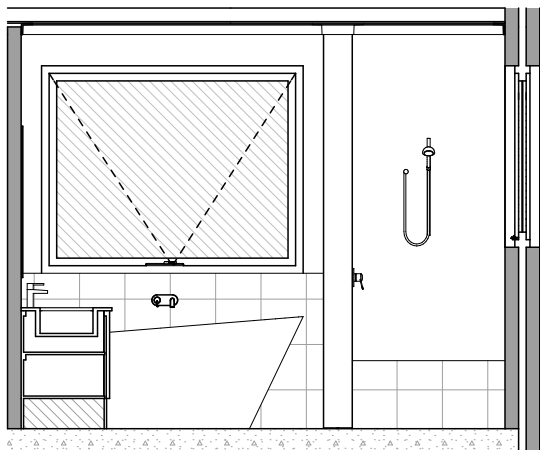
2 9.02 Ensuite 1 Scale: 1:50



4 9.02 Ensuite 1 Scale: 1:50

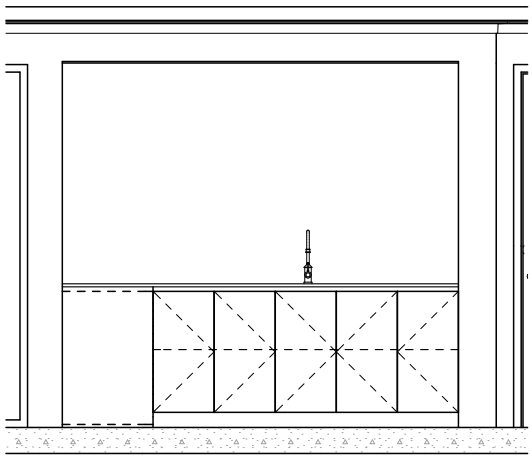
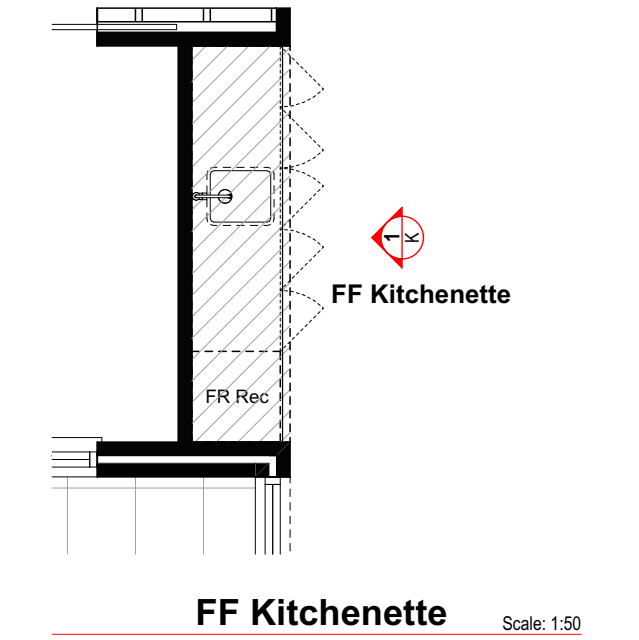


4 9.02 Ensuite 1 Scale: 1:50

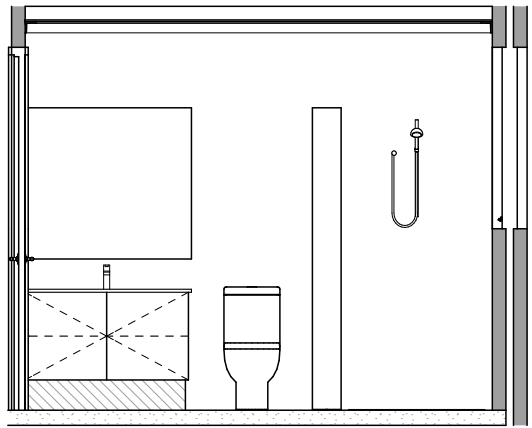
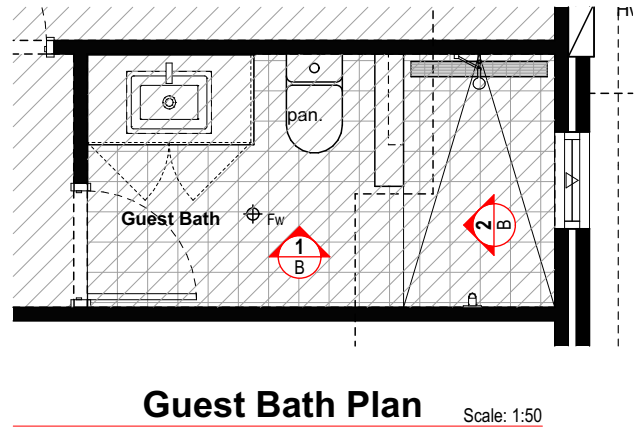


3 9.02 Ensuite 1 Scale: 1:50

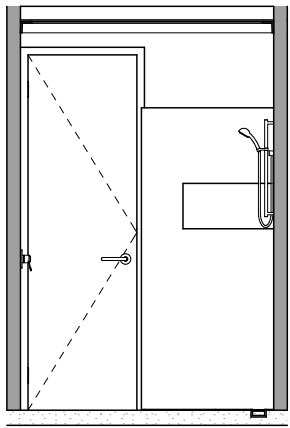
Note!
Please refer to Addenda
Cabinetry for Appliances
and Drawer Allowance.
Drawings are Diagrammatic
at this stage.



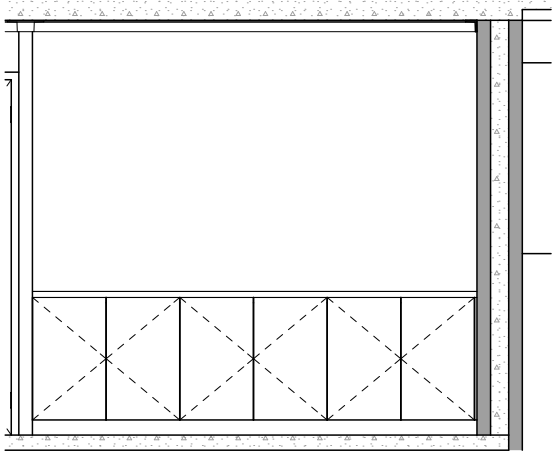
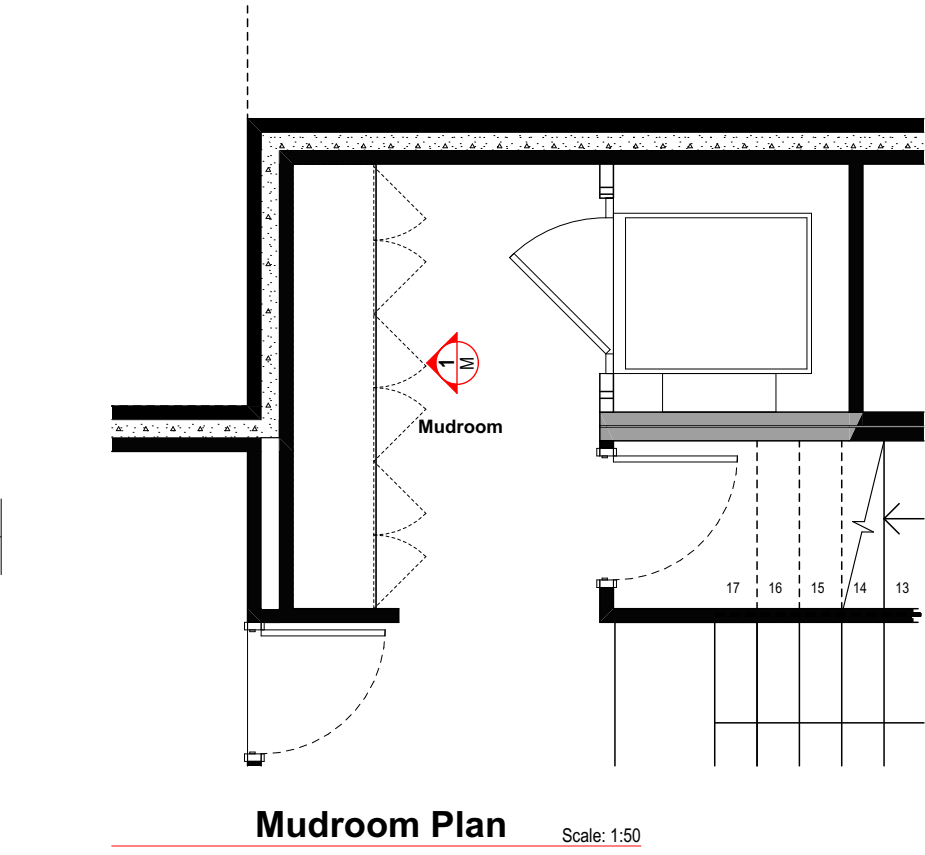
1 **FF - Kitchenette** Scale: 1:50
9.03



1 **Guest Bath** Scale: 1:50
9.03



2 **Guest Bath** Scale: 1:50
9.03



1 **Mudroom** Scale: 1:50
9.03

Note!
Please refer to Addenda
Cabinetry for Appliances
and Drawer Allowance.
Drawings are Diagramatic
at this stage.