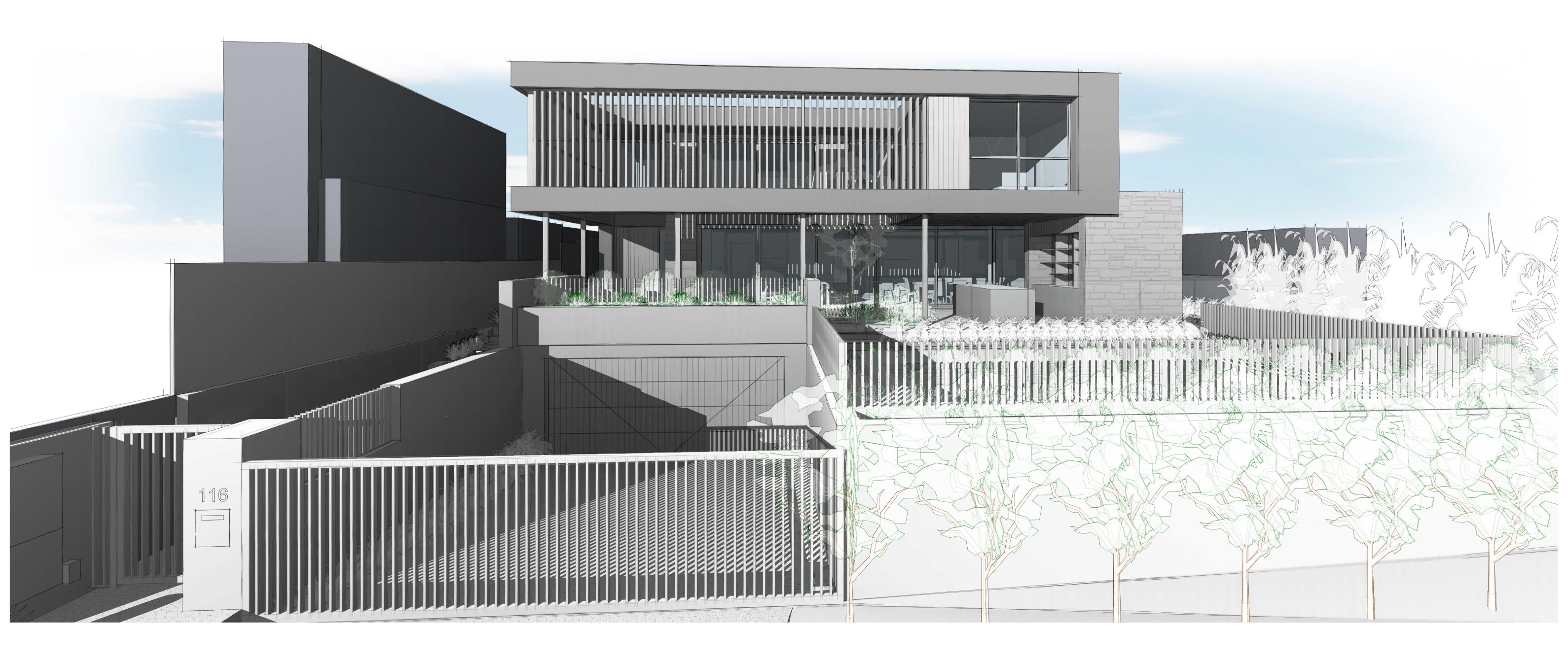
## DRAWING LIST

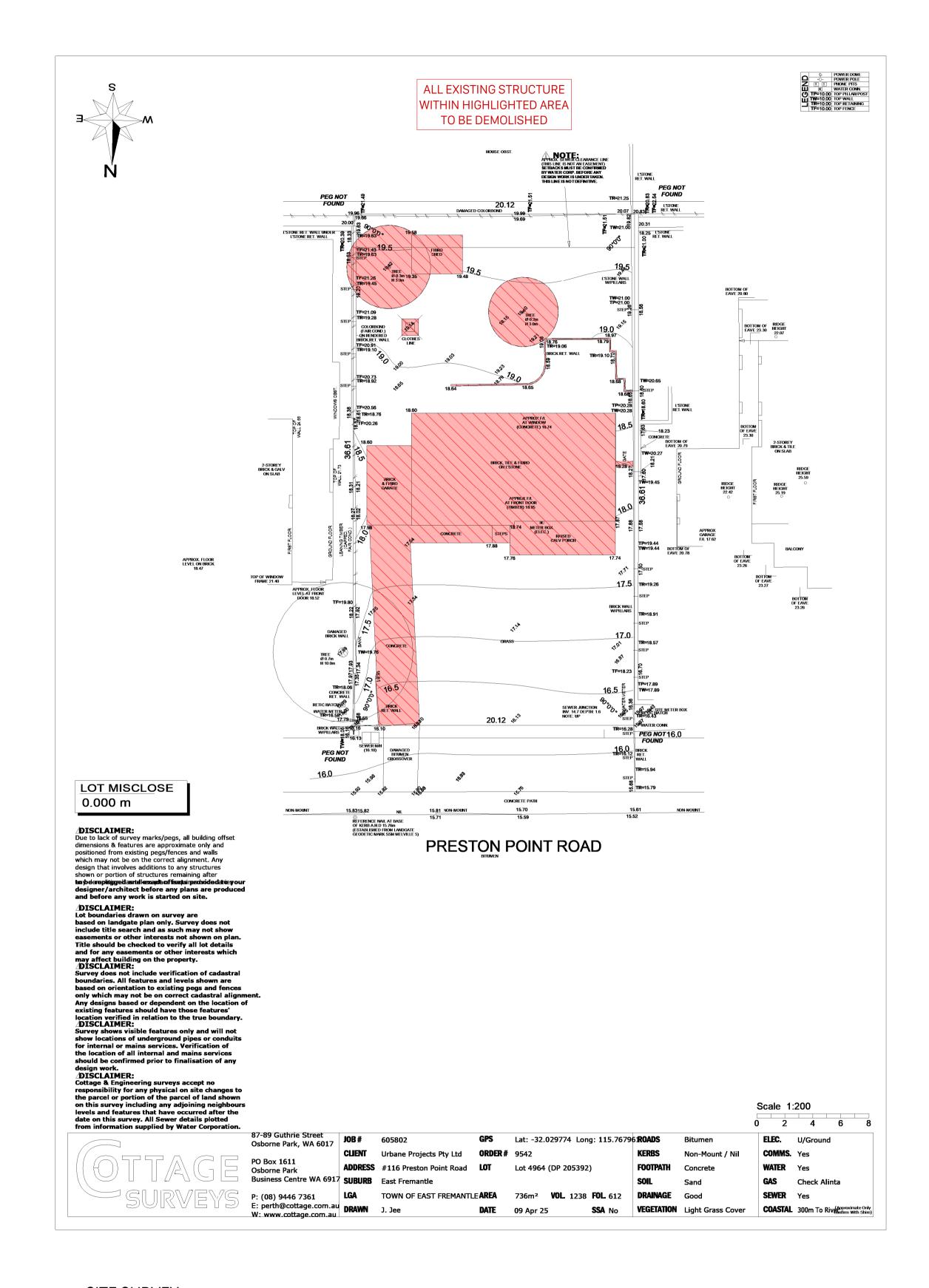
NUMBER	SHEET NAME	REV	DATE
A1.01	SITE SURVEY	F	14.07.25
A1.02	UNDERCROFT SITE PLAN	F	14.07.25
A1.03	GROUND SITE PLAN	F	14.07.25
A2.01	UNDERCROFT PLAN	F	14.07.25
A2.02	GROUND FLOOR PLAN	F	14.07.25
A2.03	FIRST FLOOR PLAN	F	14.07.25
A2.04	ROOF PLAN	F	14.07.25
A3.01	ELEVATIONS	F	14.07.25
A3.02	SECTIONS	F	14.07.25











SITE LOCATION
SCALE 1:500

SCALE 1:200



CATCHMENT AREA

APPROX. ROOF AREA
APPROX. DRIVEWAY & HARDSCAPING AREA

TOTAL AREA

= 257m2
= 200m2

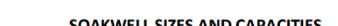
= 457m2

TOTAL AREA = 457m2
CAPACITY REQUIRED 457x0.0125 = 5.71m3

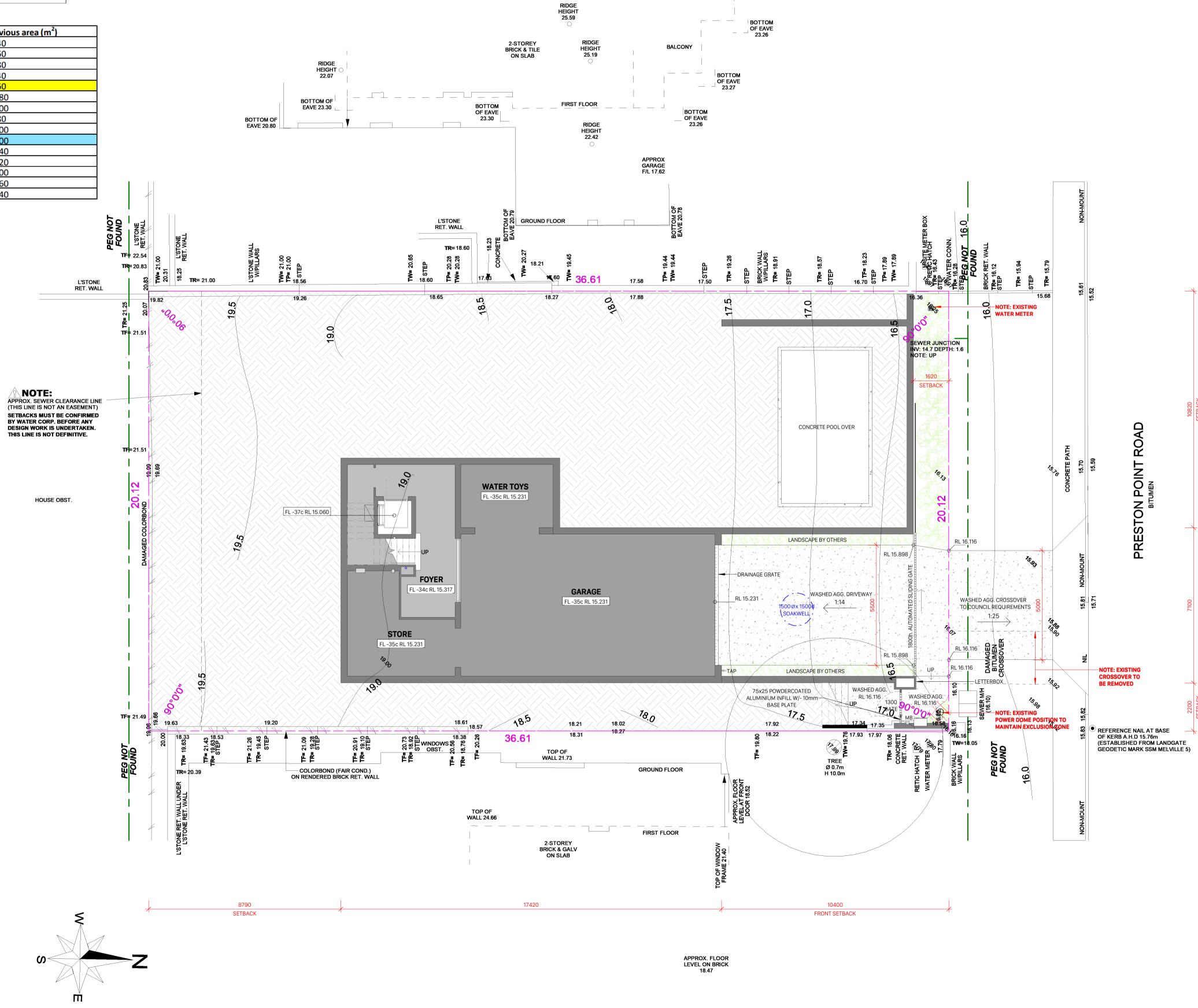
SOAKWELLS PROPOSED (2 x 1500DIA x 1500H)
(1 x 1200DIA x 900H)

NOTE: The following formula shall be used to determine the soakwell capacities

Impervious Area (m²) x 0.0125m = Capacity Required m³



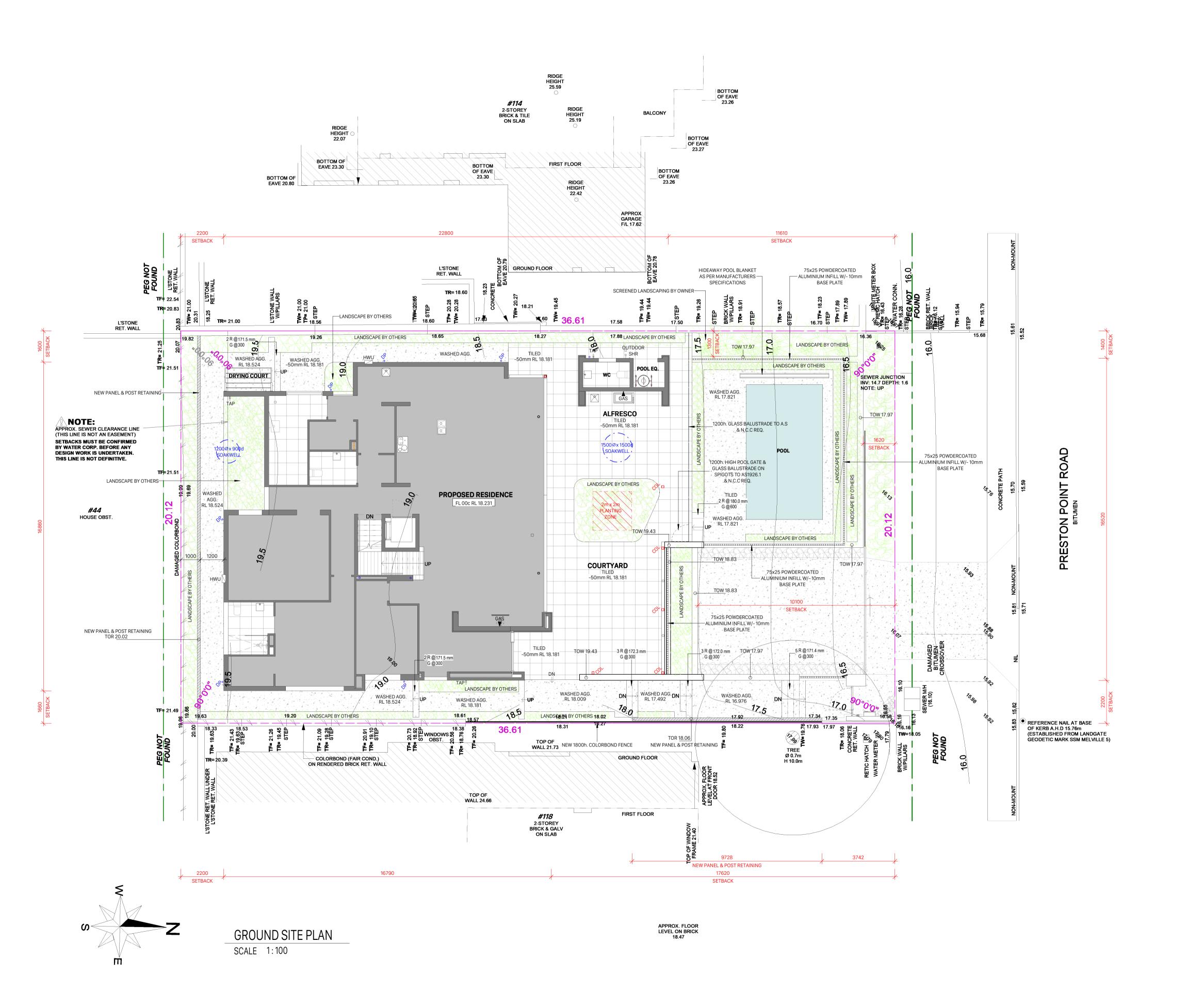
SOAKWELL SIZES AND CAPACITIES			
Diameter	Depth	Capacity (m <sup>3</sup> )	Equivalent Impervious area (m²)
900	600	0.38	30.40
900	900	0.57	45.60
900	1200	0.76	60.80
1200	600	0.68	54.40
1200	900	1.02	81.60
1200	1200	1.36	108.80
1200	1500	1.70	136.00
1500	600	1.06	84.80
1500	1200	2.10	168.00
1500	1500	2.65	212.00
1800	600	1.53	122.40
1800	900	2.29	183.20
1800	1200	3.05	244.00
1800	1500	3.82	305.60
1800	1800	4.58	366.40

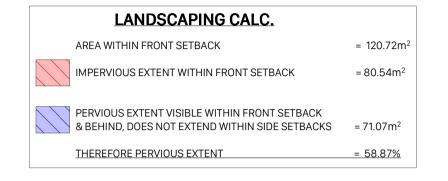














OPEN	SPACE
ZONING	= R17.5
SITE AREA	$= 736m^2$
<b>BUILDING AREA</b>	$= 272.37 \text{m}^2$
SITE COVER	= 37%
THEREFORE OPE	N SPACE = 63%

UNDERCROFT (-34c)	
GARAGE	121.03 m²
UNDERCROFT	34.59 m²
	155.61 m²
GROUND FLOOR (00c)	
GROUND FLOOR	246.87 m <sup>2</sup>
EXT. WC/PE	7.84 m²
ALFRESCO	30.66 m²
	285.37 m²
FIRST FLOOR (37c)	
FIRST FLOOR	215.44 m²
	215.44 m²
TOTAL	656.43 m <sup>2</sup>

**BUILDING AREAS** 

LANDSCAPE PLAN SCALE 1:100



Urbane Projects Pty Ltd 32A McCoy Street, ABN 78 009 438 662 T 93299560 E info@urbane.net.au DEVELOPMENT APPROVAL

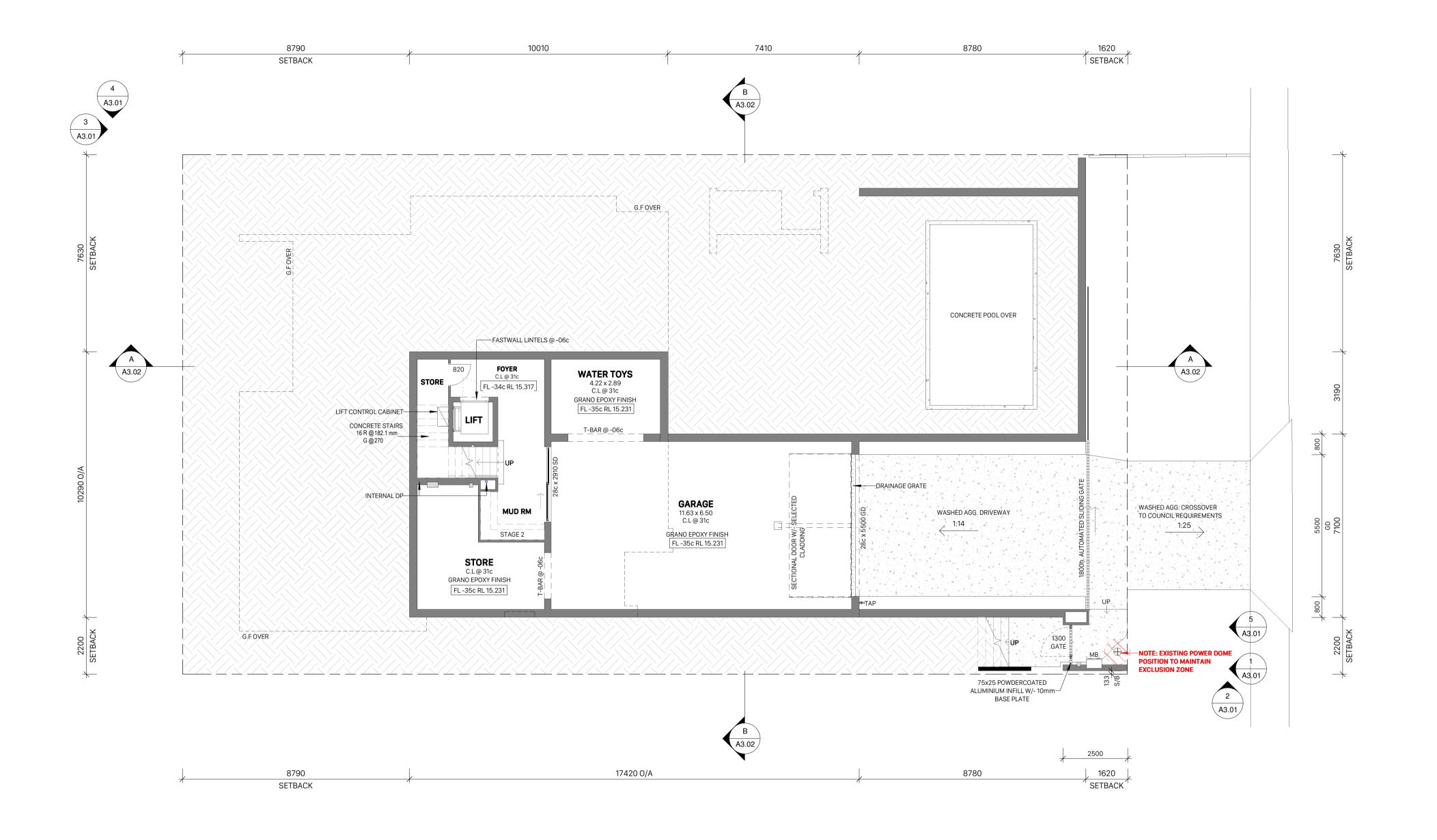
Wilshaw Residence LOT 4964 #116 PRESTON POINT ROAD, EAST FREMANTLE

JOB No. 363 DRG No. A1.03 REVISION: F SCALE: 1:100 @ A1

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TITLE GROUND SITE PLAN



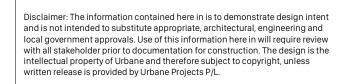
UNDERCROFT (-34c)	
GARAGE	121.03 m²
UNDERCROFT	34.59 m²
	155.61 m²
GROUND FLOOR (00c)	)
GROUND FLOOR	246.87 m <sup>2</sup>
EXT. WC/PE	7.84 m²
ALFRESCO	30.66 m²
	285.37 m <sup>2</sup>
FIRST FLOOR (37c)	
FIRST FLOOR	215.44 m²
	215.44 m²
TOTAL	656.43 m

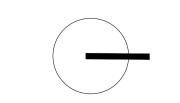


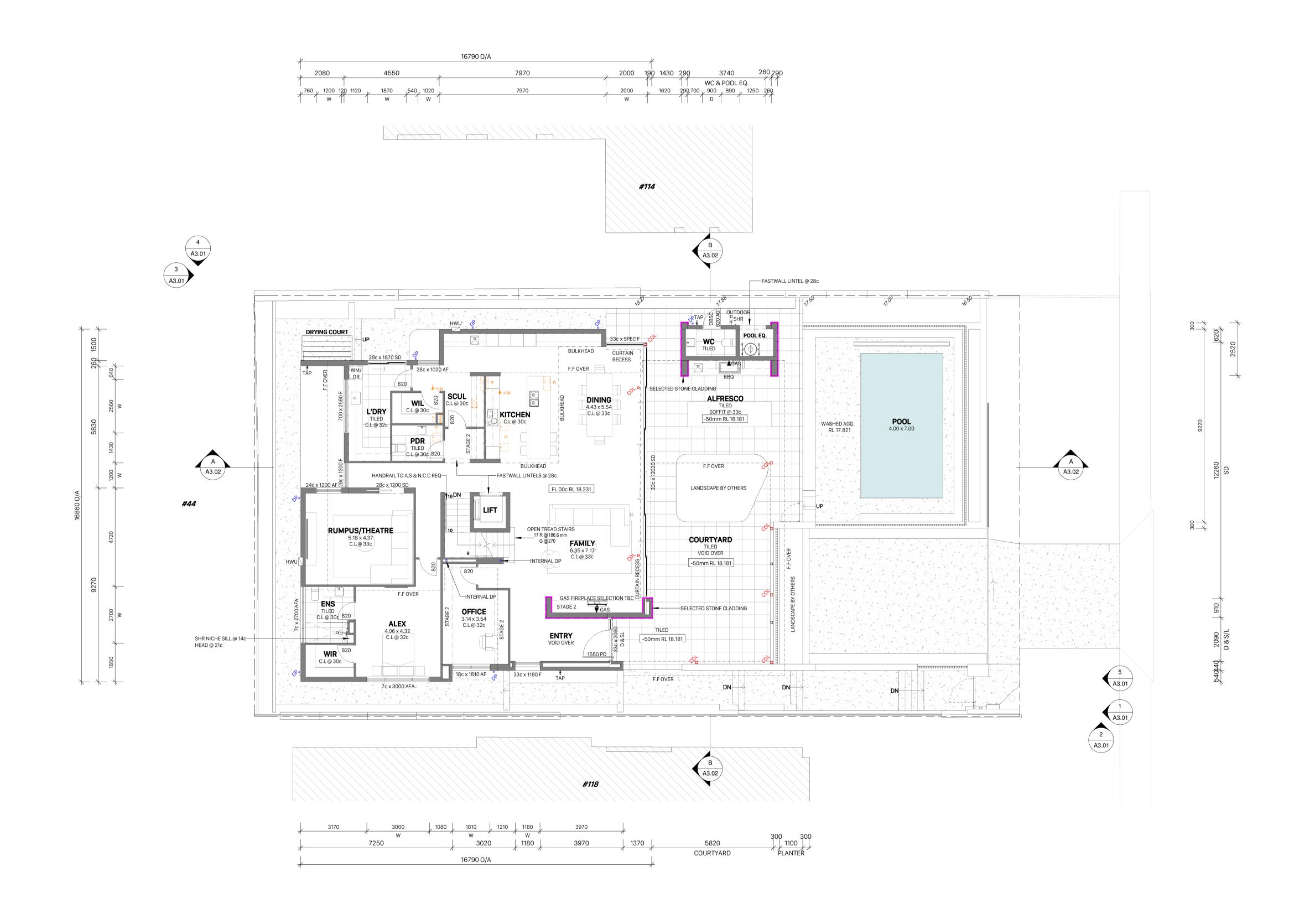












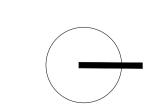
UNDERCROFT (-34c)	
GARAGE	121.03 m <sup>2</sup>
UNDERCROFT	34.59 m²
	155.61 m²
GROUND FLOOR (00c)	
GROUND FLOOR	246.87 m²
EXT. WC/PE	7.84 m²
ALFRESCO	30.66 m²
	285.37 m²
FIRST FLOOR (37c)	
FIRST FLOOR	215.44 m²
	215.44 m²
TOTAL	656.43 m <sup>2</sup>

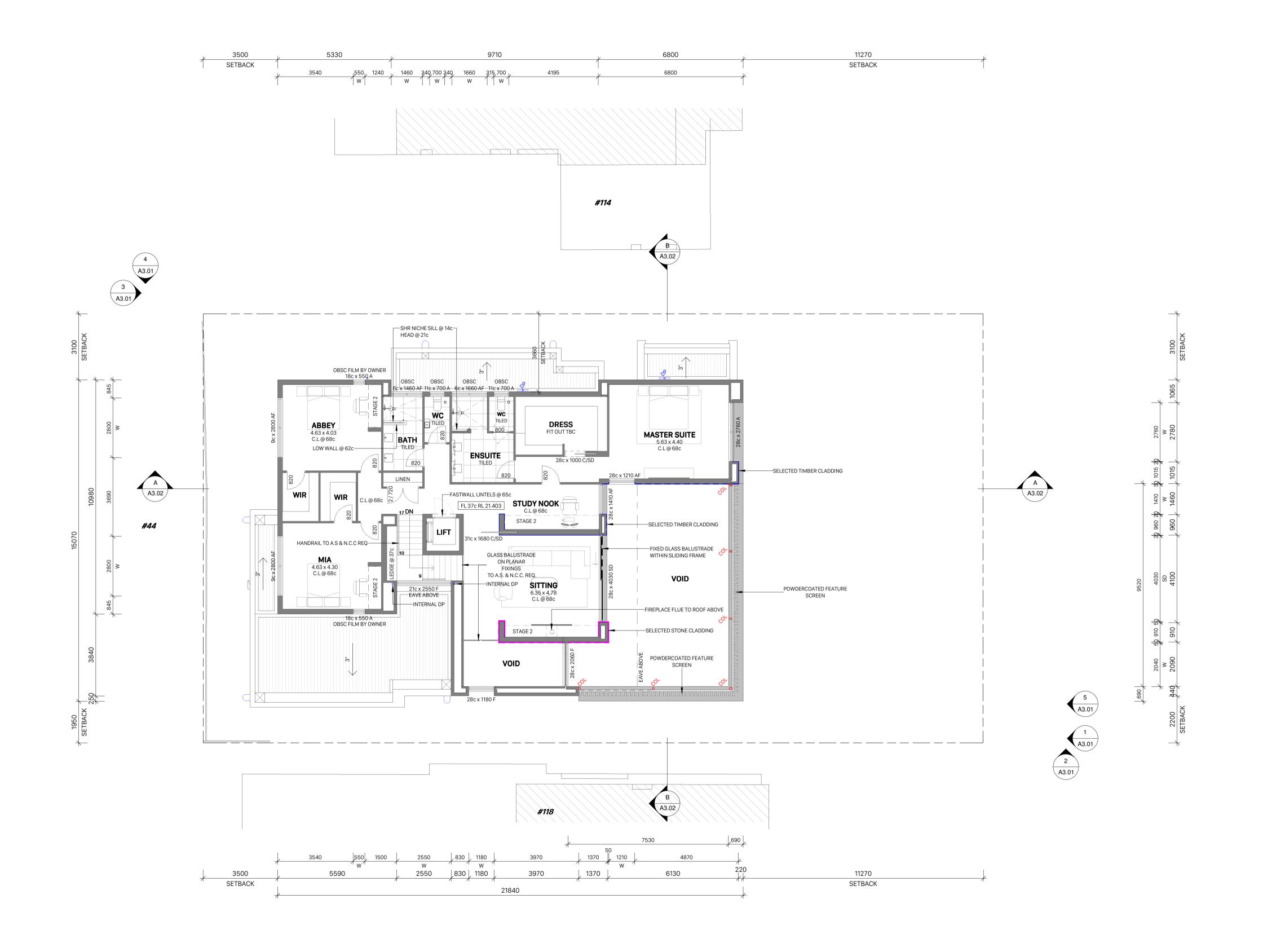












UNDERCROFT (-34c)	
GARAGE	121.03 m²
UNDERCROFT	34.59 m²
	155.61 m²
GROUND FLOOR (00c)	
GROUND FLOOR	246.87 m²
EXT. WC/PE	7.84 m²
ALFRESCO	30.66 m <sup>2</sup>
	285.37 m²
FIRST FLOOR (37c)	
FIRST FLOOR	215.44 m²
	215.44 m²
TOTAL	656.43 m <sup>2</sup>







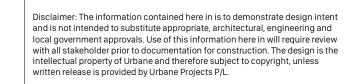


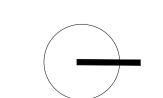
JOB No. 363

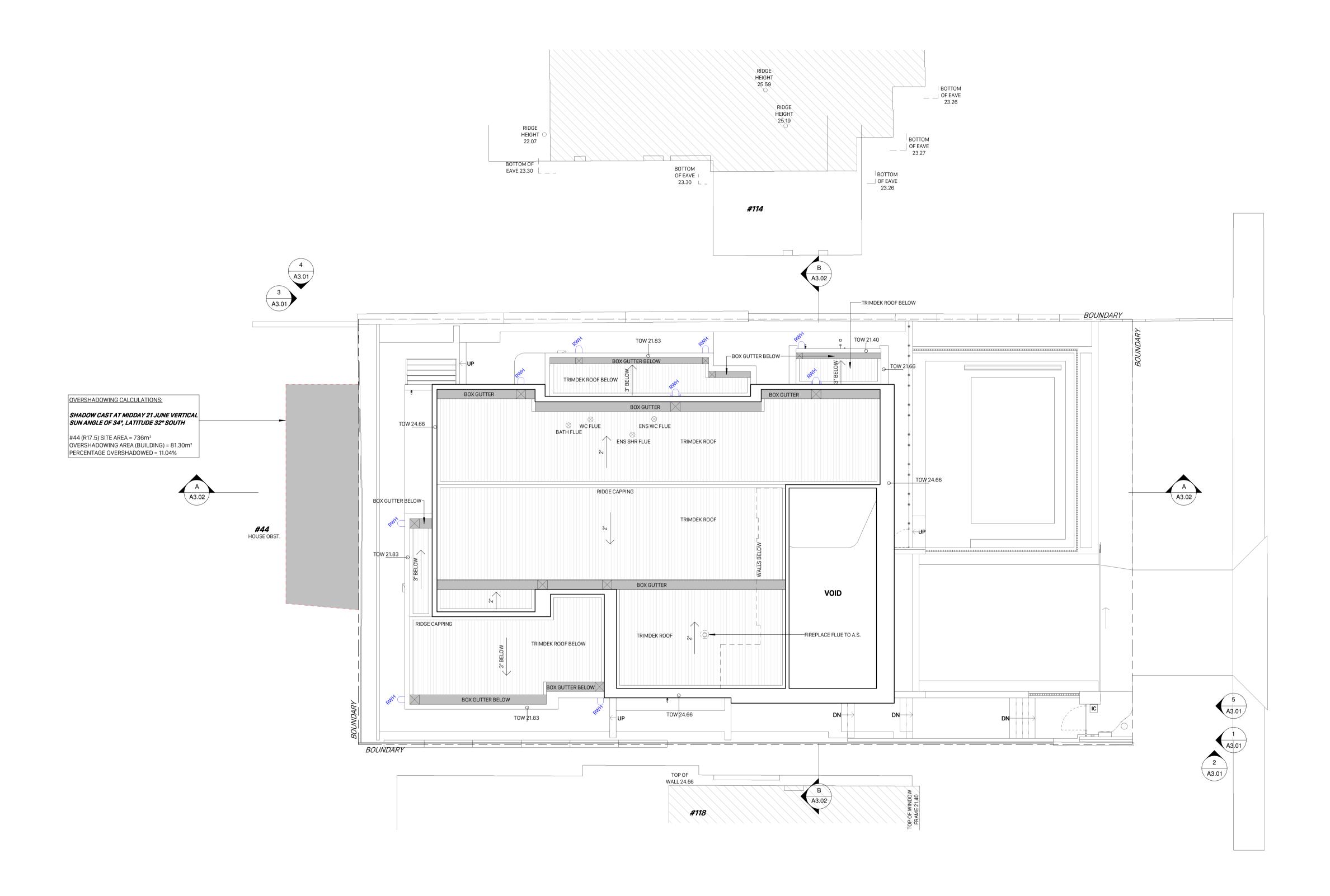
DRG No. A2.03

REVISION: F

SCALE: 1:100 @ A1



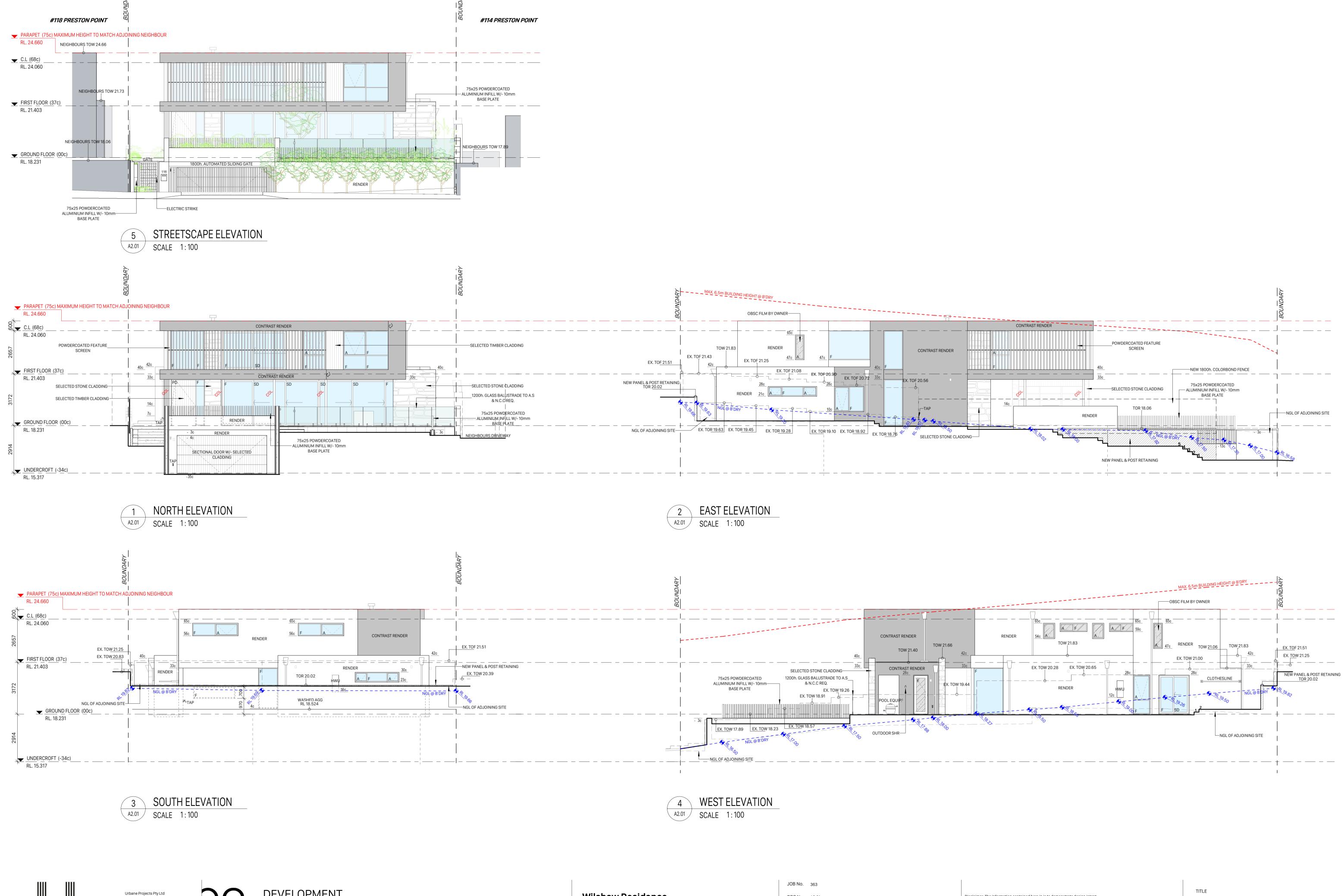












URBANE

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DEVELOPMENT APPROVAL DRAWINGS

Wilshaw Residence
LOT 4964 #116 PRESTON POINT ROAD,
EAST FREMANTLE

JOB No. 363

DRG No. A3.01

REVISION: F

SCALE: 1:100 @ A1

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ELEVATIONS

