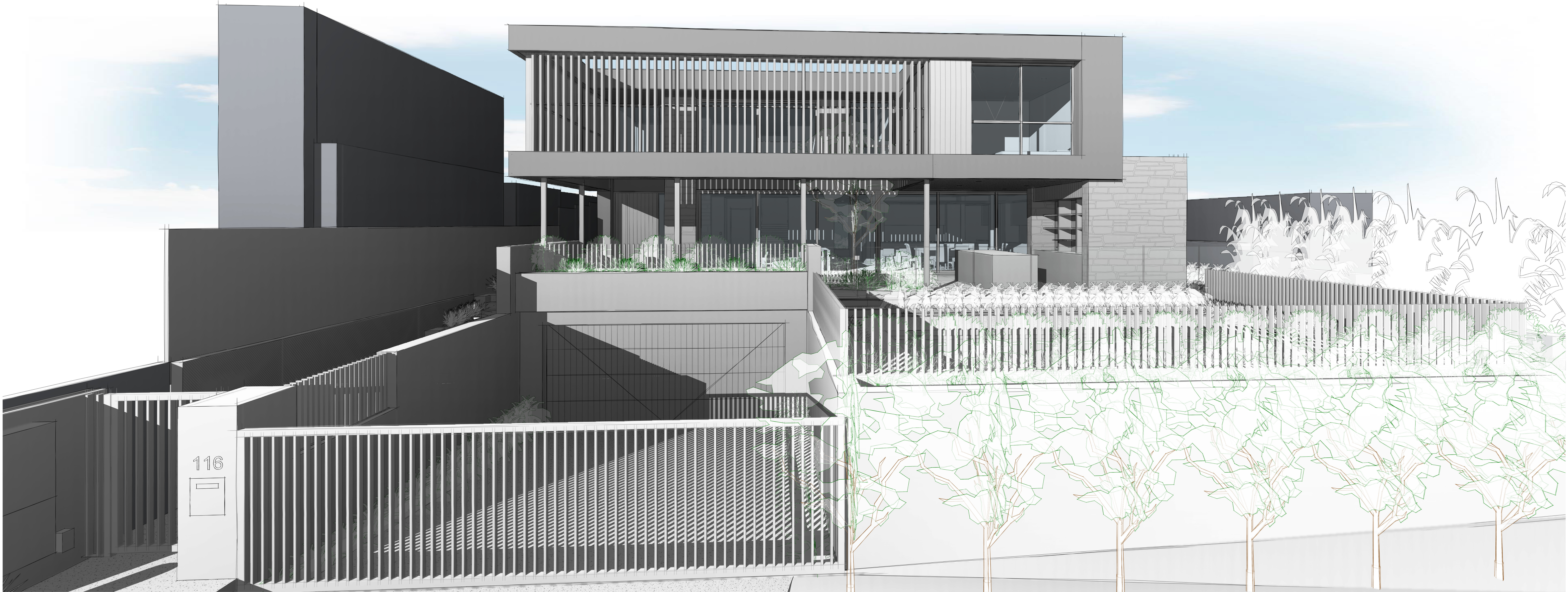
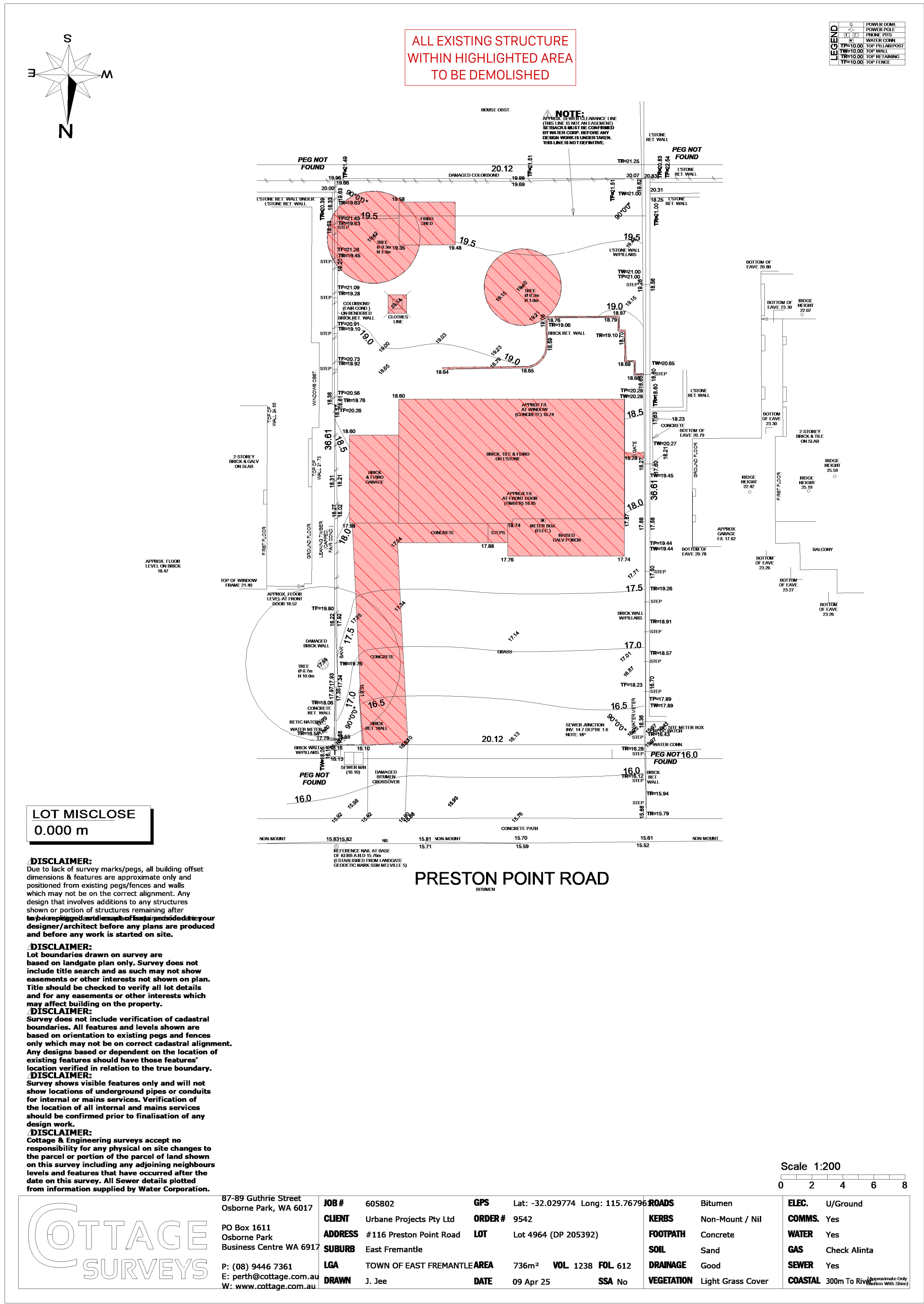


DRAWING LIST

NUMBER	SHEET NAME	REV	DATE
A1.01	SITE SURVEY	F	14.07.25
A1.02	UNDERCROFT SITE PLAN	F	14.07.25
A1.03	GROUND SITE PLAN	F	14.07.25
A2.01	UNDERCROFT PLAN	F	14.07.25
A2.02	GROUND FLOOR PLAN	F	14.07.25
A2.03	FIRST FLOOR PLAN	F	14.07.25
A2.04	ROOF PLAN	F	14.07.25
A3.01	ELEVATIONS	F	14.07.25
A3.02	SECTIONS	F	14.07.25







SITE SURVEY

SCALE 1:200



SITE LOCATION

SCALE 1:500

Scale 1:200

0 2 4 6 8

Wilshaw Residence

LOT 4964 #116 PRESTON POINT ROAD,  
EAST FREMANTLE

JOB No. 363

DRG No. A1.01

REVISION: F

SCALE: As indicated @ A1

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Disclaimer: The information contained here in is to demonstrate design intent and is not intended to substitute appropriate architectural, engineering and local government approvals. Use of this information here in will require review with all stakeholder prior to documentation for construction. The design is the intellectual property of Urbane and therefore subject to copyright, unless written release is provided by Urbane Projects P/L.

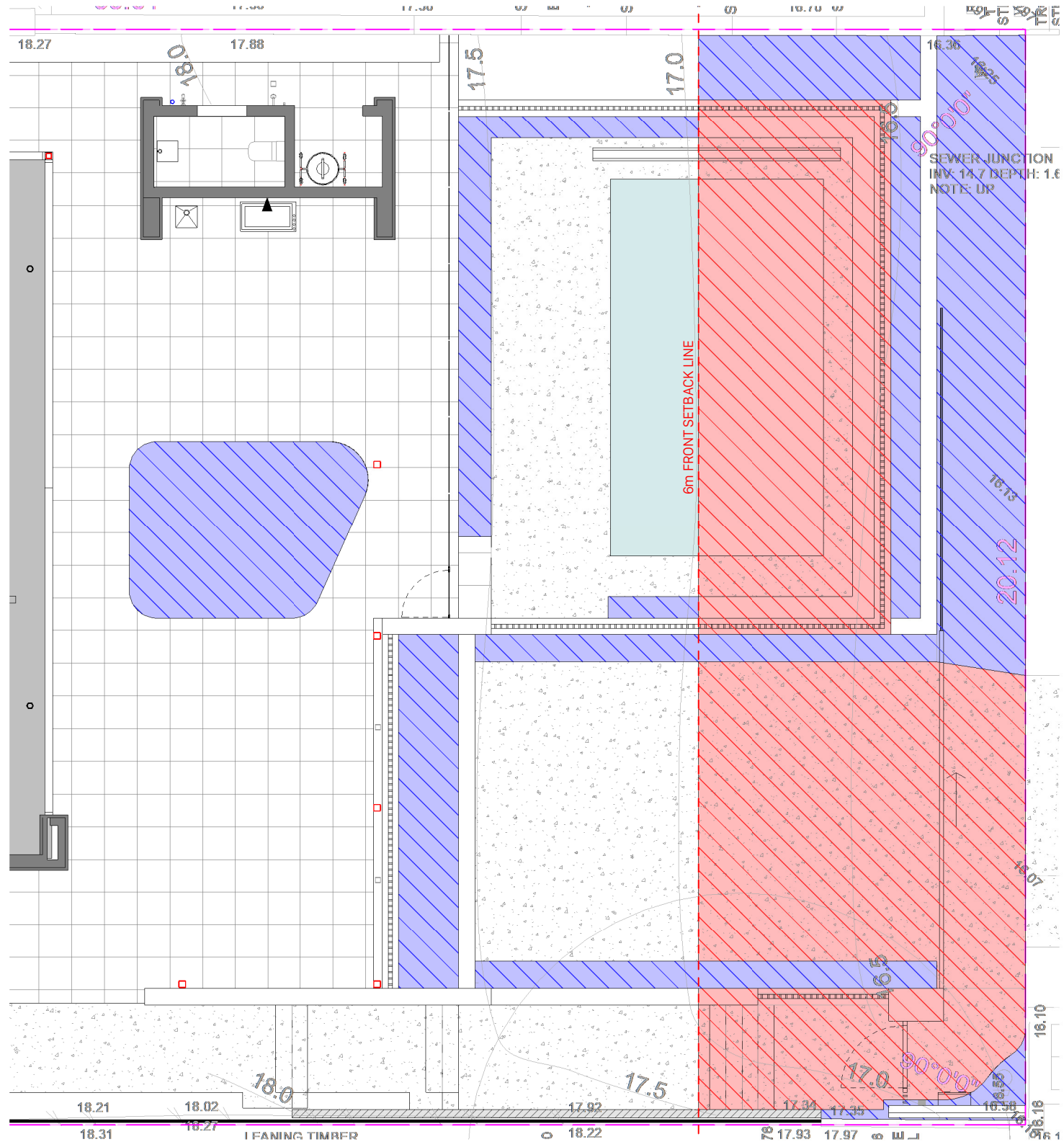
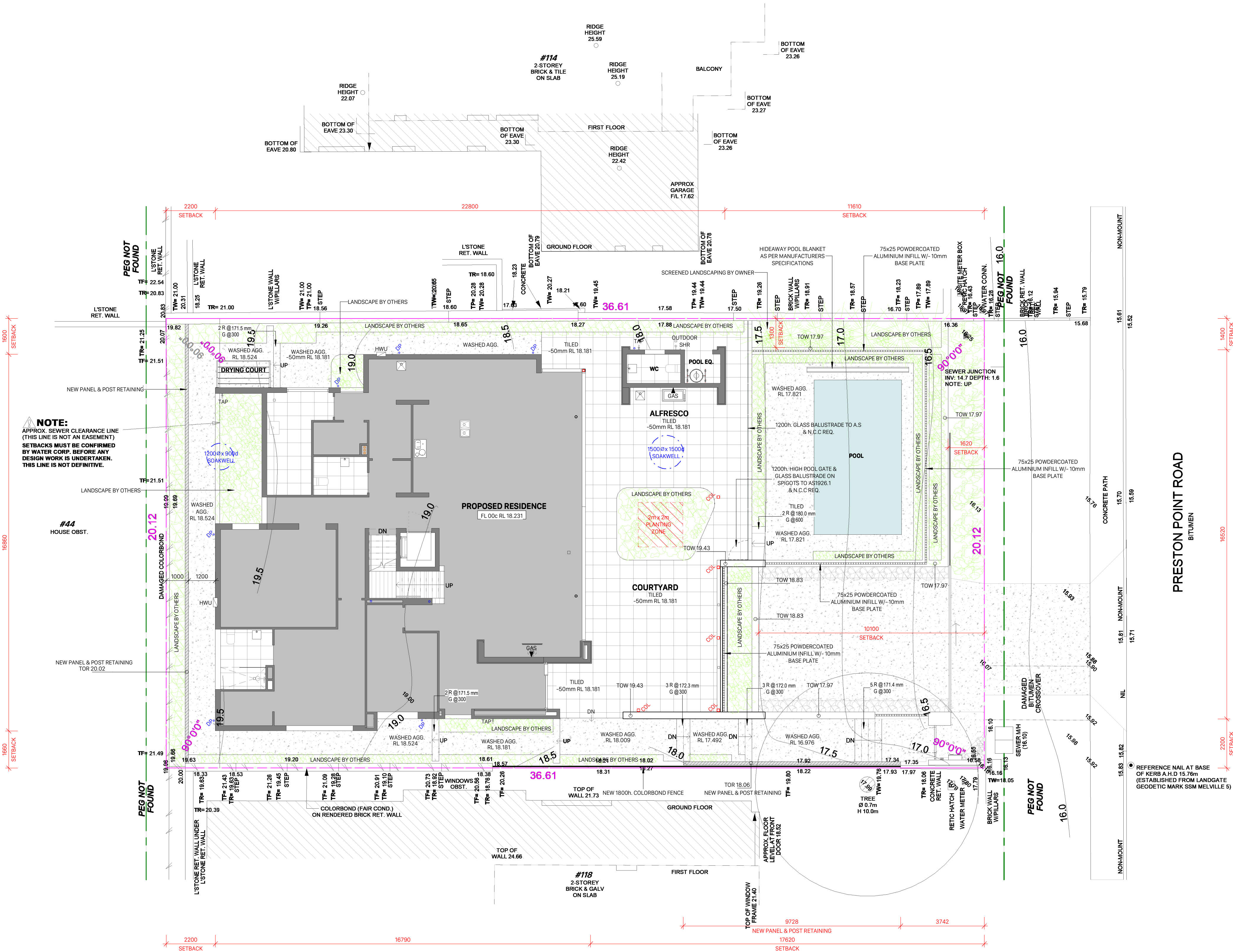
TITLE

SITE SURVEY









LANDSCAPING CALC.	
AREA WITHIN FRONT SETBACK	= 120.72m <sup>2</sup>
IMPERVIOUS EXTENT WITHIN FRONT SETBACK	= 80.54m <sup>2</sup>
PERVIOUS EXTENT VISIBLE WITHIN FRONT SETBACK & BEHIND, DOES NOT EXTEND WITHIN SIDE SETBACKS	= 71.07m <sup>2</sup>
THEREFORE PERVIOUS EXTENT	= 58.87%

OPEN SPACE	
ZONING	= 817.5
SITE AREA	= 736m <sup>2</sup>
BUILDING AREA	= 272.37m <sup>2</sup>
SITE COVER	= 37%
THEREFORE OPEN SPACE	= 63%

BUILDING AREAS	
UNDERCROFT (-34c)	
GARAGE	121.03 m <sup>2</sup>
UNDERCROFT	34.59 m <sup>2</sup>
	155.61 m <sup>2</sup>
GROUND FLOOR (00c)	
GROUND FLOOR	246.87 m <sup>2</sup>
EXT. WC/PE	7.84 m <sup>2</sup>
ALFRESCO	30.66 m <sup>2</sup>
	285.37 m <sup>2</sup>
FIRST FLOOR (37c)	
FIRST FLOOR	215.44 m <sup>2</sup>
	215.44 m <sup>2</sup>
TOTAL	656.43 m <sup>2</sup>









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	155.61 m²
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