



Department of Planning,
Lands and Heritage

OFFICIAL



Residential Design Codes

Volume 1

2024

PART C

ASSESSMENT TEMPLATE

R-CODES VOLUME 1, PART C – ASSESSMENT TEMPLATE

April 2024

Planning Framework	
Region Scheme Zoning:	Urban
Local Planning Scheme zoning/R-code:	Mixed Use & Additional Use
Land Use permissibility:	Grouped Dwelling: (Permitted - 'P')
Special Control area:	N/A
Structure Plan Area:	N/A
Local Development Plan Area:	N/A
Local Planning Policies:	Local Planning Policy 3.1.1 – Residential Design Guidelines.
Planning Control Area:	N/A

Schedule 13 of Local Planning Scheme 13

Provision:	Assessment:
<p>Exemption from Variations:</p> <p>Provisions relating to height, additional height, setback, plot ratio and overshadowing in this schedule are not open to variation through any provision of this scheme or any other mechanism.</p>	<p>The proposed development does not seek to vary the prescribed building height, additional height, setback and plot ratio and overshadowing requirements.</p>
<p>Design Objectives:</p> <p>Development must achieve urban design and architecture that is exemplary with respect to mixed use and multiple dwelling design. The design of development must:</p> <p>(i) ensure height, built form and façade design considers and makes a positive contribution to vistas toward the site from the surrounding locality; and</p> <p>(ii) demonstrate careful arrangement of building massing and height to minimise negative impacts on the amenity of adjoining properties.</p>	<p>The proposed development is solely a residential development relating to stage 1 of the ultimate development of the site.</p> <p>The proposed development demonstrates a high standard of architectural and urban design through a carefully considered response to site context, built form, landscape and amenity. The design draws on key characteristics of the surrounding Plympton Ward residential and high street context, reinterpreting these elements through a contemporary architectural language that contributes positively to the evolving character of the locality.</p> <p>Building massing and scale have been deliberately modulated across the site to provide an appropriate transition between the lower-scale residential properties to the south and the commercial context to the west. The built form steps from two storeys along the eastern portion of the site to three storeys at the Sewell Street corner, ensuring the development responds sensitively to surrounding development while maintaining an appropriate urban presence. The sculptural composition of the built form and façade articulation contributes positively to views of the site from surrounding streets, creating a distinctive yet contextually responsive development.</p> <p>The arrangement of building height, setbacks and landscape elements has been carefully designed to minimise impacts on adjoining properties. Extensive landscaping, including 20 small trees and over 190m² of soft landscaping, integrates with the architecture through planter boxes and layered endemic planting to soften the built form and enhance the local ecological context.</p> <p>The townhouses are designed to deliver a high level of residential amenity and environmental performance. All dwellings feature dual or triple aspect layouts with northern orientation and 100% natural cross-ventilation, while generous internal spaces connect directly to landscaped courtyards. Each dwelling also incorporates an internal lift, secure garaging and substantial storage, supporting long-term functionality and ageing in place.</p> <p>Collectively, the proposal delivers a well-resolved architectural outcome that balances contextual response, built form articulation, landscape integration and residential amenity. The design therefore achieves an exemplary standard of development consistent with the objectives of Schedule 13 and the broader design principles of the Residential Design Codes.</p>
<p>Land Use and Density:</p> <p>1. Only residential development shall front St Peters Road, and commercial development and vehicle parking are not permitted to front St Peters Road.</p>	<p>The application proposes residential development to St Peters Road with no other land use proposed. Vehicular parking is proposed in a basement configuration with the crossover proposed to St Peters Road. Whilst the crossover is proposed to St Peters, there is no visual impact of vehicle parking to St Peters Road.</p>

2. Vehicle parking is not permitted to front Canning Highway.

3. Clause 5.3.4 of the scheme does not apply to development on this site.

Clause 5.3.4 Residential Development in Non-Residential Zones: Subject to clause 5.3.5, where residential development is provided for in non-residential zones, a maximum density of R40 shall apply, although the local government may vary the requirements relating to bulk, form and setbacks so as to facilitate coordinated development, having regard to the local government's objectives for the Precinct.

The application does not propose any vehicle parking to Canning Highway.

An R-coding of R40 has not been applied to this proposal with built form controls controlled via the provisions of this schedule.

Plot Ratio

The maximum plot ratio of development within the site is 3.0:1.

This application relates to Stage 1 of the overall development with the total plot ratio area of 1,967m², resulting in a plot ratio of 0.5:1.0. The remaining plot ratio area of 9,569m² (2.49) will be utilised for the future development of Stage 2.

Building Height and Setbacks:

1. Development is to be contained within the building envelope shown in Figures 1 and 2 of this schedule.

The proposed development is consistent with the development envelope with the exception of architectural elements consisting of canopies, blade walls, ground planters and suspended planters. All minor projections are clearly noted within the application drawings and do not comprise any residential floor area outside of the building envelope.

These projections are justified in accordance with point 2 as they are non-habitable residential components of the development and provide a vertical architectural element positively contributing towards the exemplary architectural design.

As such, the proposed minor variation is still consistent with the design objectives of schedule 13 of the scheme and the associated building envelope.

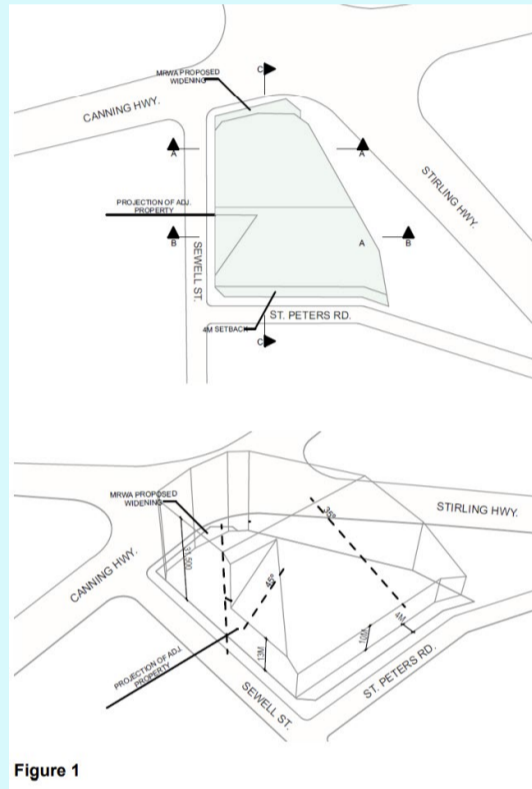


Figure 1

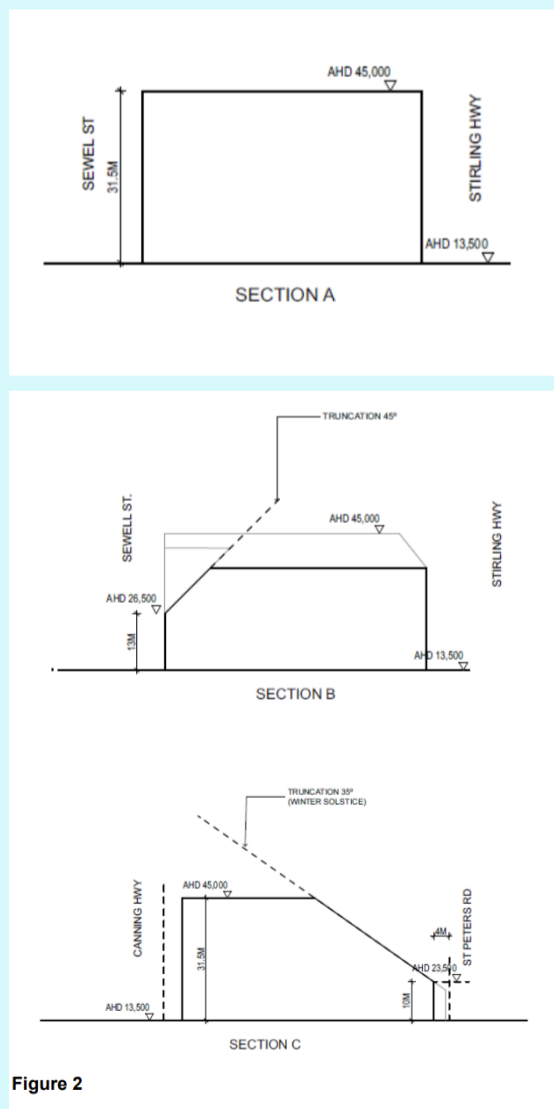
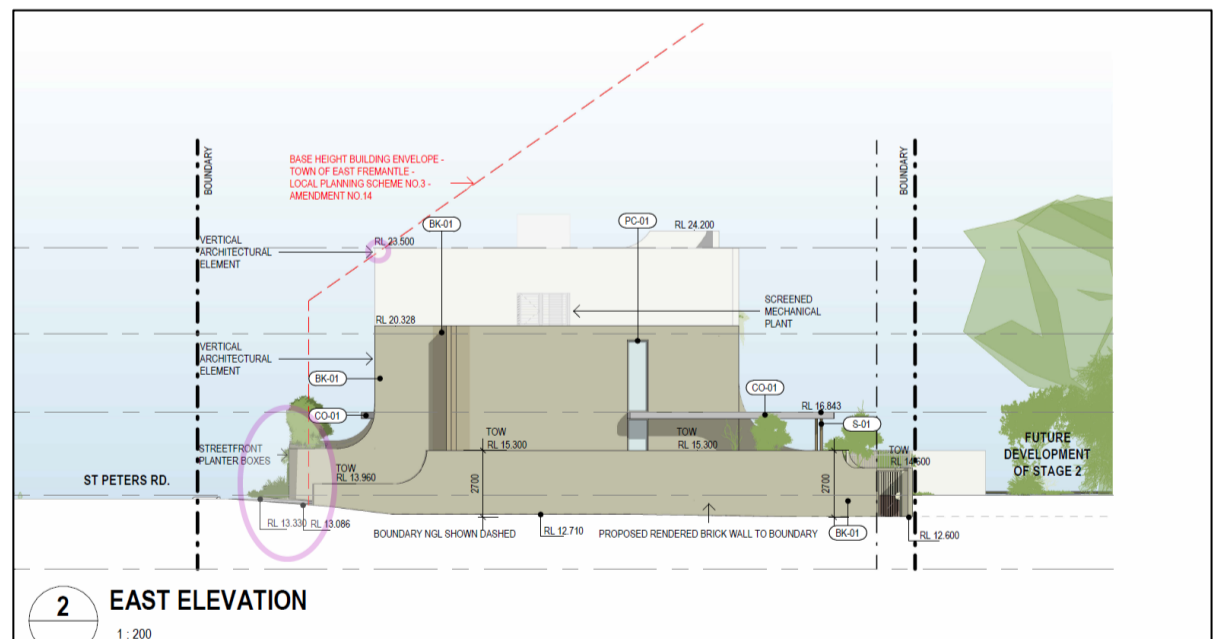
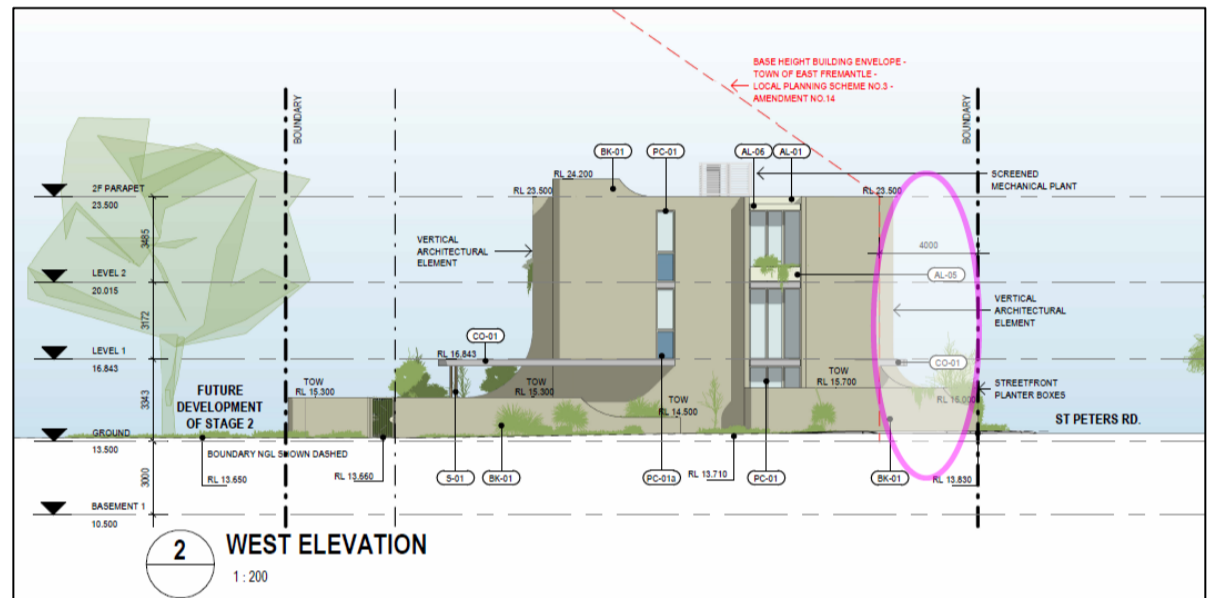


Figure 2



<p>2. Non-habitable residential amenities such as roof terraces, gardens and shade structures may project outside the building envelope where suitably integrated with the architecture of the development.</p> <p>3. Solar collectors, air conditioning units, mechanical plant rooms and lift overruns setback within a 45-degree plane taken from the edge of the building may project outside the building envelope where suitably screened from view and integrated with the architecture of the development.</p>	
<p>Additional Height:</p> <p>1. The height of development on the site may exceed the building envelope shown in Figures 1 and 2 of this schedule up to a maximum of 76.5m AHD where:</p> <p>(i) the building envelope permits development to a height of 45.0m AHD;</p> <p>(ii) Lot 81 St Peters Road and Lot 423 King Street, or an area of a similar size and location, are transferred to the local government free of cost, for the purpose of public open space, or subject to appropriate measures to ensure the public is granted permanent and unrestricted access at all times;</p> <p>(iii) the land subject to (ii) above is to be upgraded and landscaped to a standard suitable for public open space purposes to the satisfaction of the local government, and if not ceded to the Local Government maintained by the owner of the open space;</p> <p>(iv) a tree protection and management plan which ensures that trees identified for retention on the land subject to (ii) above are protected, is provided to the satisfaction of the local government;</p> <p>(v) overshadowing of adjoining residential properties does not exceed the maximum permitted under the deemed to comply requirements of the R Code applying to the impacted land;</p> <p>(vi) development incorporates dwellings, private open space or communal open space at ground level overlooking and contiguous with the land subject to (ii) above; and</p> <p>(vii) in the opinion of the local government, having regard to the advice of its nominated design review panel, development achieves and demonstrates design consistent with the design objectives.</p> <p>2. Land subject to 1(ii) above shall continue to be considered as part of the site for the purposes of calculating the maximum plot ratio area.</p>	<p>Not applicable – no additional height is being sought other than the minor variation to the building envelope.</p>


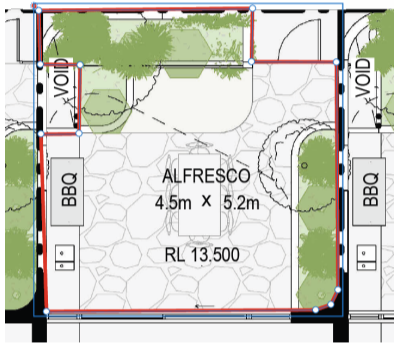

PART D - LAND

1.1 SITE AREA

DEEMED-TO-COMPLY		YES	NO	N/A	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	COMMENTS
C1.1.1	Average & Minimum site area in accordance with Table D	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				The site requirements of Part D do not apply to this application given that Schedule 13 of the LPS prescribes the density for the site and given that schedule 13 states that clause 5.3.4 of the Town's scheme does not apply, which nominates an R-Coding for the site.
C1.1.2	Minimum site area calculated as required for a single house or grouped dwelling	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
C1.1.3	Corner Truncation to a public street, up to a maximum of 20m ² to be added	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
	Battle-axe access leg no more than 20% of required site area in Table D	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
C1.1.4	Variation approved by the WAPC	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
	Existing lot with permanent legal access to a public road	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
C1.1.5	R25 & below only			<input checked="" type="checkbox"/>				
C1.1.6 R30 - R40 only	Reduced by up to 35% for an accessible dwelling to gold level universal design or a small dwelling	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
	Site not less than 100m ²	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
	Where 4 or more dwellings or sites, reduction applied to a maximum 50%	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
C1.1.7 R50+	Reduced by up to 35% for an accessible dwelling to gold level universal design or a small dwelling	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
	Site not less than 100m ²	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
	Where 4 or more dwellings or sites, small dwelling reduction applied to a maximum 50%	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				
C1.1.8	For multiple dwellings in areas coded R30 to R60; where a significant existing tree is retained, the average site area may be reduced by 10%. (This reduction is limited to dwellings not already subject to a reduced average site area under C1.1.6 or C1.1.7)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>				

1.0 THE GARDEN

1.1 PRIVATE OPEN SPACE

DEEMED-TO-COMPLY				YES	NO	N/A	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	COMMENTS / CONDITION OF APPROVAL								
C1.1.1	Primary garden area in accordance with Table 1.1a			<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<p>Town House 1: (183 sqm site) requires 30sqm</p> <p>Town House 2 (152sqm site) Requires 25sqm.</p> <p>Town House 3-6: (153 sqm site) requires 25sqm</p> <p>Town House 7-8 (153sqm site) Requires 25sqm</p> <p>Town House 9: (183sqm site) Requires 35sqm</p>	<p>Town House 1: 48.03m² 20m² uncovered (41%)</p>  <p>Town House 2-8: 37.47m² 20.3m² uncovered (54%)</p>  <p>Town House 9: 57.74m² 37.59m² – uncovered (65%)</p>  <p>All primary garden areas meet the minimum dimension of 3m.</p>	<p>While the extent of permanent roof cover exceeds the Deemed-to-Comply limit, the remaining uncovered portion of the primary garden area remains of sufficient size and dimension to function effectively for outdoor recreation, leisure and informal entertaining for the intended occupants.</p> <p>The primary garden area is appropriately sited and oriented to achieve reasonable solar access consistent with the local climatic context. The partial roof coverage provides a balance between weather protection and openness, supporting year-round use while still allowing sunlight penetration and natural ventilation to both the outdoor area and adjoining internal spaces. Further to this the covering provides architectural interest that positively contributes to the schedule 13 requirement for exemplar architectural design.</p> <p>The primary garden areas are directly accessible from, and capable of use in conjunction with, the primary living area of the dwelling (kitchen& dining). This strong visual and physical connection supports indoor–outdoor living, enhances residential amenity, and ensures the space performs as an extension of the main living area rather than a residual or unusable area.</p> <p>The proposed primary garden area is also north facing and permitting adequate winter sunlight and ventilation to the dwelling.</p>	The proposal satisfies the design principle.								
	<table border="1"> <thead> <tr> <th>Site area (m²)</th> <th>Minimum primary garden area (m² per dwelling)</th> <th>Maximum permanent roof cover¹</th> <th>Minimum dimension²</th> </tr> </thead> <tbody> <tr> <td>Greater than 220</td> <td>40</td> <td rowspan="3">One-third of the primary garden area provided</td> <td rowspan="3">3m</td> </tr> <tr> <td>191-220</td> <td>35</td> </tr> <tr> <td>161-190</td> <td>30</td> </tr> <tr> <td>131-160</td> <td>25</td> <td rowspan="2">0m² (open to the sky)</td> <td rowspan="2"></td> </tr> <tr> <td>100-130</td> <td>20</td> </tr> </tbody> </table> <p><i>Site area rounded up to the nearest whole number.</i></p> <p>¹ Permanent roof cover excludes <i>minor projections</i> (eaves).</p> <p>² Minimum dimension refers to the minimum length and width of the primary garden area. Refer to Figure 1.1a for dimensions and calculations of primary garden areas.</p>	Site area (m ²)	Minimum primary garden area (m ² per dwelling)								Maximum permanent roof cover ¹	Minimum dimension ²	Greater than 220	40	One-third of the primary garden area provided	3m	191-220	35
Site area (m ²)	Minimum primary garden area (m ² per dwelling)	Maximum permanent roof cover ¹	Minimum dimension ²															
Greater than 220	40	One-third of the primary garden area provided	3m															
191-220	35																	
161-190	30																	
131-160	25	0m ² (open to the sky)																
100-130	20																	
C1.1.2	Splitting of PGA for grouped dwellings	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable	Not Applicable									
C1.1.3	Private open space to multiple dwellings (balcony) in accordance with Table 1.1b	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable	The application relates to a grouped dwelling development.									
C1.1.4	Balconies to be unscreened for 25%	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable	The application does not include any balconies.									

1.2 TREES AND LANDSCAPING

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	COMMENTS / CONDITION OF APPROVAL
C1.2.1 – 15% soft landscaping per site	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Town House 1: 27.9 sqm required Town House 2: 23.6sqm Town House 3-8: 22.7sqm required Town House 9: 26.8 sqm required.	Town House 1: 22.9sqm Town House 2: 18.2sqm Town House 3: 17sqm Town House 4: 17sqm Town House 5: 17sqm Town House 6: 18.2sqm Town House 7: 16sqm Town House 8: 17.2sqm Town House 9: 38.2 sqm	The proposed built form responds to the site constraints by consolidating development footprint and hardstand areas, enabling landscaping to be strategically located where it provides the greatest functional and visual benefit. While at-grade soft landscaping is reduced, the proposal incorporates landscaped planter areas at first-floor level, contributing to increased greening within the streetscape and private realm and softening of the built form. Soft landscaping provisioning on the ground level has been maximised whilst balancing functionality of the outdoor courtyards.	The proposed development satisfies the design principle. Note: the proposed assessment includes measurements based on the L2 landscaping in accordance with the accompanying landscape plans.
C1.2.2 – 30% soft landscaping of the primary street setback area	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Town House 1: PS Setback Area= 26.34m ² Requirement = 7.9m ² Town House 2-8: PS Setback Area= 25.03m ² Requirement =7.5m ² Town House 9: PS Setback Area= 26.95m ² Requirement =8.05m ²	Town House 1: 5.01m ² Town House 2-8: 6.15m ² Town House 9: 6.19m ²	Although the primary street setback does not achieve the 30% soft landscaping benchmark, the development incorporates deep planting zones (where achievable), second-floor landscaped planters visible from the street, and a building form that frames landscaping elements to maintain visual permeability and soften presentation. The inclusion of elevated planting provides visual interest and greenery at the second level, contributing positively to the streetscape character and reducing the perceived bulk of the development. This layered landscaping approach improves outlook from habitable rooms and enhances residential amenity for occupants, achieving the qualitative outcomes sought by the design principle.	The proposed development satisfies the design principle.
C1.2.3 – Communal Street and communal open space is landscaped and provided with adequate lighting to footpaths and vehicle access areas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	As referenced in the deemed-to-comply provisions column.	The proposed common property includes a landscaped strip along the western lot boundary.	Not Applicable	An appropriate condition can be applied requiring lighting within the common property.
C1.2.4 – Minimum trees and deep soil area in accordance with Tables 1.2a & 1.2b.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	1 small tree or 2 small trees per dwelling where the primary garden area is reduced Tree specifications as per the table in the Deemed-to-Comply column.	Townhouse 1: Includes 3 small trees Townhouse 2-8: Includes 2 trees small trees Townhouse 9: Includes 3 trees small trees Total =20 small trees (refer landscaping plans) All dwellings include a small tree within the	Not Applicable	Not Applicable.

Dwelling Type	Minimum tree requirements	
Single house (per dwelling)	1 small tree	Where the primary street setback is 1.5m or greater:
Grouped dwellings (per dwelling)	1 small tree OR	- frontages less than 20m: 1 small tree in the primary street setback area;
	2 small trees where primary garden area is reduced in accordance with C1.1.2	- frontages 20m or greater: 1 small tree in the primary street setback area per 10m frontage.
Multiple dwellings (per lot)	Sites less than 700m ²	1 medium tree and 2 small trees
	Sites of 700-1000m ²	2 medium trees or 1 large tree and 1 small tree
	Sites greater than 1000m ²	2 medium trees or 1 large tree and 1 small tree PLUS 1 medium tree per 400m ² in excess of 1000m ² or part thereof

Trees required within the street setback area are in addition to trees required per dwelling and where providing a secondary private open space.
Frontage to be rounded down to the nearest 10m.
Tree requirements exclude ancillary dwellings.
Refer to Figure 1.2c for grouped dwelling tree requirements.

Tree size	Tree specifications			
	Canopy diameter at maturity	Tree height at maturity	Minimum deep soil area	Minimum deep soil area dimension
Small	2-6m	3-8m	9m ²	1.5m
Medium	6-9m	8-12m	36m ²	3m
Large	>9m	>12m	64m ²	6m

Refer to Figure 1.2d for the provision of deep soil area for tree requirements.

					primary street setback area.		
					Deep soil areas are provided in section 5 of the landscaping plans depicting that the trees all achieve the minimum dimension of 1.5m and minimum deep soil areas.		

C1.2.5 – Shade trees for uncovered at grade car-parking for grouped and multiple dwellings	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C1.2.6 – reduced landscaping subject to retaining a significant existing tree	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C1.2.7 – Where a significant existing tree is retained on site, tree protection zone is provided in accordance with AS4970	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C1.2.8 – Landscaping plan (for multiple dwellings or 5+ dwellings) in accordance with Appendix 3	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Landscaping plan is required as part of the development application.	A landscaping plan has been prepared in support of the proposed development.	Not Applicable	Not Applicable

1.3 COMMUNAL OPEN SPACE – Multiple dwellings only

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	COMMENTS / CONDITION OF APPROVAL
C1.3.1 – Minimum communal open space requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C1.3.2 – Communal open space separated or screened sources of noise and odour	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C1.3.3 – Design and orientation of communal open space to minimise impacts of noise, odour, light spill and overlooking	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable

1.4 WATER MANAGEMENT AND CONSERVATION

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	COMMENTS / CONDITION OF APPROVAL
C1.4.1 – Stormwater retained on site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Stormwater runoff draining from roofs, driveways, communal streets and other impervious surfaces generated by a small rainfall event to be retained on site, with run-off directed to garden areas, rainwater tanks and infiltration cells (e.g. soak wells), appropriate to climatic, local soil and groundwater conditions.	Stormwater will be retained on site.	Not Applicable	An appropriate condition of development approval can be applied.
C1.4.2 – Notwithstanding C1.4.1, stormwater directed to a district or local stormwater drainage system where required by the decision-maker	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable

2.0 THE BUILDING

2.1 SIZE AND LAYOUT OF DWELLINGS

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C2.1.1 – Designated primary living space, for multiple dwellings the primary living space with a minimum dimension of 3.8m	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C2.1.2 – Primary living space to have direct and physical access to primary garden area/private open space (single houses and grouped dwellings)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	As per description under column one.	All townhouses have access to an outdoor alfresco from a kitchen and dining room at the northern portion of dwellings.	Not Applicable	Not Applicable.
C2.1.3 – Primary living space to have direct access to private open space (multiple dwellings)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C2.1.4 – Max depth of single aspect primary living space (multiple dwellings only)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C2.1.5 – Bedrooms to have a minimum internal floor area of 9m ² and a minimum dimension of 2.7m (multiple dwellings only)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C2.1.6 – Minimum ceiling height (multiple dwellings)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable

C2.1.7 – Minimum internal dwelling floor area (multiple dwellings)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable												
C2.1.8 – Dwelling mix (10+ multiple dwellings)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable												
C2.1.9 – Storage requirements in Table 2.1b				4m ²	All proposed dwellings include a storage area of 10m ² with the minimum dimension of 2.5m	Not Applicable	Not Applicable												
<p>Table 2.1b Storage requirements</p> <table border="1"> <thead> <tr> <th>Dwelling Size</th> <th>Minimum storage area</th> <th>Minimum storage area dimension</th> <th>Minimum storage area height</th> </tr> </thead> <tbody> <tr> <td>Studio / 1 bedroom dwelling</td> <td>3m²</td> <td rowspan="3">1.5m'</td> <td rowspan="3">2.1m</td> </tr> <tr> <td>2 bedroom dwelling</td> <td>4m²</td> </tr> <tr> <td>3+ bed bedroom dwelling</td> <td>Single houses and grouped dwellings: 4m² Multiple dwellings: 5m²</td> </tr> </tbody> </table> <p><i>Minimum dimension refers to the minimum length and width of the storage area.</i></p> <p><i>Storage can be co-located within a garage or carport but must provide a dedicated area.</i></p> <p><i>Dimensions and areas are exclusive of services, plant, utilities, bin storage, bicycle parking and fixtures and facilities.</i></p> <p><i>*Minimum dimension can be reduced in accordance with C2.1.10</i></p>								Dwelling Size	Minimum storage area	Minimum storage area dimension	Minimum storage area height	Studio / 1 bedroom dwelling	3m ²	1.5m'	2.1m	2 bedroom dwelling	4m ²	3+ bed bedroom dwelling	Single houses and grouped dwellings: 4m ² Multiple dwellings: 5m ²
Dwelling Size	Minimum storage area	Minimum storage area dimension	Minimum storage area height																
Studio / 1 bedroom dwelling	3m ²	1.5m'	2.1m																
2 bedroom dwelling	4m ²																		
3+ bed bedroom dwelling	Single houses and grouped dwellings: 4m ² Multiple dwellings: 5m ²																		
C2.1.10 – Reduced storage area dimension	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable												
C2.1.11 – Major openings setback a minimum of 3m where facing directly onto car parking and corridors (multiple dwellings)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable												
C2.1.12 – Separation of noise sources (multiple dwellings)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable												

2.2 SOLAR ACCESS AND NATURAL VENTILATION

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C2.2.1 – Openable external window requirements for habitable rooms i. Visible from all parts of the room; ii. With an aggregate glazed area not less than 10% of the habitable room internal floor area; and iii. Comprising a minimum 50% transparent glazing.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Refer to deemed-to-comply column.	All habitable rooms in the dwellings include openable external windows that satisfy the minimum dimensions for each room size.	Not Applicable	Not Applicable
C2.2.2 – Courtyard requirements (when proposed as the only source of daylight to a habitable room)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C2.2.3 – Openable window requirements for bathrooms on external walls (excluding boundary walls)	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Bathrooms located on external walls (excluding boundary walls) must have a minimum of one openable window for natural ventilation.	All bathrooms are located along boundary walls with the exception of the Town House 1 Level 1 powder room and the Townhouse 9 Level 1 bathroom. The powder room in Townhouse 1 includes an openable window whilst Townhouse 9's ensuite does not.	The design is considered to satisfy the intent of the Design Principle, which encourages the optimisation of natural ventilation to bathrooms where possible, having regard to site constraints, functionality and climatic responsiveness. In this instance, the external wall to the ensuite is required to accommodate a full-height vanity and mirror layout to ensure appropriate internal amenity, functionality and usability of the space. Provision of a window on this wall would compromise the practical use of the bathroom, reduce mirror and storage opportunities, and result in a less efficient and functional internal layout. Given the compact nature of the ensuite, there are no alternative locations on the external wall where a compliant window could be reasonably accommodated without detriment to the overall design outcome. Mechanical ventilation could be considered an acceptable alternative in circumstances where natural ventilation is not reasonably achievable and is commonly relied upon for non-habitable rooms such as bathrooms. The ventilation system will ensure satisfactory internal amenity outcomes despite the absence of an openable window.	The proposed development satisfies the design principles.
C2.2.4 – Orientation of major openings to primary living spaces (single houses and grouped dwellings)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	For single houses and grouped dwellings in climate zones 4,5 and 6, a major opening to the primary living space is oriented	All dwellings include a north facing kitchen and dining room with a dimension of 6.2m x 4.9m. This primary living space does include shading devices that	The development is sited, oriented and designed to optimise winter solar gain while limiting summer solar penetration to primary living spaces, habitable rooms and private open space. The primary living space is oriented between north-west and east,	The proposed development satisfies the design principles.

				<p>between north-west and east in accordance with Figure 2.2b, with an adjoining uncovered open area with:</p> <p>i. a minimum dimension 3m x 3m1 in accordance with Figure 2.2c; and</p> <p>ii. the exception of shading devices up to 2m depth.</p>	<p>permit some direct daylight access to most of the dwelling.</p>	<p>ensuring access to low-angle winter sun consistent with passive solar design principles.</p> <p>The increased depth shading structure is located immediately adjacent to the primary living space and functions as a solar control device, rather than an obstruction to solar access.</p> <p>The covered outdoor living area provides seasonal modulation of sunlight, limiting high-angle summer sun while still allowing filtered winter sunlight to penetrate beneath the structure and into the primary living space.</p> <p>The covered shading structure does not obstruct daylight access, instead it provides diffused natural light, reducing excessive heat gain.</p> <p>The covered outdoor living area assists in facilitating ventilation by allowing windows and doors to remain open during warmer periods while providing weather protection.</p> <p>Overall, the design achieves the intent of optimising year-round solar performance, balancing solar access with thermal comfort and improved outdoor amenity.</p>	
C2.2.5 – Percentage of dwellings achieving solar access to major openings to primary living spaces (multiple dwellings)	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable

2.3 PARKING

DEEMED-TO-COMPLY	MEETS-DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)																																								
<p>C2.3.1 – Occupant parking in accordance with Table 2.3a</p> <table border="1"> <tr> <th colspan="2">Location A</th> <th>Minimum parking spaces⁽¹⁾ (per dwelling)</th> <th>Maximum garage and carport parking (per dwelling)</th> </tr> <tr> <td>Ancillary dwelling</td> <td></td> <td>0</td> <td>1</td> </tr> <tr> <td>Studio and 1 bedroom dwelling</td> <td></td> <td>0</td> <td>1</td> </tr> <tr> <td>2 bedroom dwelling</td> <td></td> <td>0</td> <td>2</td> </tr> <tr> <td>3+ bedroom dwelling</td> <td></td> <td>1</td> <td>2</td> </tr> <tr> <th colspan="2">Location B</th> <th>Minimum parking spaces⁽¹⁾ (per dwelling)</th> <th>Maximum garage and carport parking (per dwelling)</th> </tr> <tr> <td>Ancillary dwelling</td> <td></td> <td>0</td> <td>1</td> </tr> <tr> <td>Studio and 1 bedroom dwelling</td> <td></td> <td>1</td> <td>1</td> </tr> <tr> <td>2 bedroom dwelling</td> <td></td> <td>1</td> <td>2</td> </tr> <tr> <td>3+ bedroom dwelling</td> <td></td> <td>1</td> <td>2</td> </tr> </table>	Location A		Minimum parking spaces ⁽¹⁾ (per dwelling)	Maximum garage and carport parking (per dwelling)	Ancillary dwelling		0	1	Studio and 1 bedroom dwelling		0	1	2 bedroom dwelling		0	2	3+ bedroom dwelling		1	2	Location B		Minimum parking spaces ⁽¹⁾ (per dwelling)	Maximum garage and carport parking (per dwelling)	Ancillary dwelling		0	1	Studio and 1 bedroom dwelling		1	1	2 bedroom dwelling		1	2	3+ bedroom dwelling		1	2	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All dwellings include 3 bedrooms and therefore require a minimum of 1 bay and a maximum of 2.	The proposed development includes 2 bays per dwelling	Not Applicable	Not Applicable
Location A		Minimum parking spaces ⁽¹⁾ (per dwelling)	Maximum garage and carport parking (per dwelling)																																												
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2 bedroom dwelling		1	2																																												
3+ bedroom dwelling		1	2																																												
C2.3.2 – Motorcycle/scooter parking (multiple dwellings)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable																																								
C2.3.3 – Design of car spaces and manoeuvring areas as per AS2890.1	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	All car spaces and manoeuvring areas are to be constructed as per AS2890.1	All car parking and manoeuvring spaces will be constructed to the AS2890.1 standards.	Not Applicable	Not Applicable																																								
<p>C2.3.4 – Visitor parking in accordance with Table 2.3a</p> <table border="1"> <tr> <th>Number of dwellings</th> <th>Minimum Parking</th> </tr> <tr> <td>0-4 dwellings</td> <td>No visitor car parking required</td> </tr> <tr> <td>5-8 dwellings</td> <td>1</td> </tr> <tr> <td>9-12 dwellings</td> <td>2</td> </tr> <tr> <td>13 or more dwellings</td> <td>3, plus 1 additional space per four dwellings or part thereof</td> </tr> </table>	Number of dwellings	Minimum Parking	0-4 dwellings	No visitor car parking required	5-8 dwellings	1	9-12 dwellings	2	13 or more dwellings	3, plus 1 additional space per four dwellings or part thereof	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Given the proposal relates to 9 grouped dwellings there is a requirement for 2 visitor bays.	<p>The proposal does not include any visitor parking.</p>	<p>Although the proposal does not provide the two on-site visitor parking bays required under the deemed-to-comply provisions, the intent of Design Principle P2.3.1 is satisfied.</p> <p>Each dwelling provides two on-site private parking bays, which is at the upper end of the permitted range (minimum one bay, maximum two bays per dwelling). This exceeds the minimum occupant parking requirement and provides flexibility for residents with lower vehicle ownership. It is also reasonable to comment that some occupants may have only one vehicle, allowing the second private bay to function informally as visitor parking, thereby reducing demand for dedicated on-site visitor bays.</p> <p>The absence of dedicated visitor parking enables a more efficient use of the site, avoiding additional hardstand areas,</p>	The proposed development satisfies the design principles.																														
Number of dwellings	Minimum Parking																																														
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						<p>reducing the extent of paving and vehicle manoeuvring areas, and allowing the development to present a less car-dominated built form. This outcome supports a higher quality streetscape response.</p> <p>In addition, there are nine existing on-street parking bays located in close proximity to the site, which are available for shared use by visitors and are currently relied upon by surrounding developments. The availability of this on-street parking provides a practical and convenient alternative to on-site visitor bays and reflects the established parking pattern within the locality.</p>																			
C2.3.5 – Design and location of visitor parking				<p>Visitor car parking to be:</p> <p>Marked and clearly signposted as dedicated for visitor use only;</p> <p>Located on common property; and</p> <p>Connected to building entries via a continuous path of travel.</p>	Not Applicable as visitor parking is not provided.	Not Applicable	Not Applicable																		
C2.3.6 – Bicycle parking in accordance with Table 2.3b				Refer to Table 2.3b	The proposed development is a grouped dwelling application and does not require any bicycle parking.	Not Applicable	Not Applicable																		
<table border="1"> <thead> <tr> <th rowspan="2"></th> <th colspan="3">Minimum number of bicycle spaces</th> </tr> <tr> <th>Single houses</th> <th>Grouped dwellings</th> <th>Multiple dwellings</th> </tr> </thead> <tbody> <tr> <td>Occupant bicycle parking</td> <td colspan="2">No minimum requirement</td> <td>0.5 x the total number of dwellings</td> </tr> <tr> <td rowspan="2">Visitor bicycle parking</td> <td>0-9 dwellings</td> <td colspan="2">No visitor bicycle parking required</td> </tr> <tr> <td>10 or more dwellings</td> <td>No visitor bicycle parking required</td> <td>0.1 x the total number of dwellings</td> </tr> </tbody> </table> <p><small>Where the bicycle parking calculation results in a fraction of a space, the requirement is to be rounded up to the nearest whole number.</small></p>									Minimum number of bicycle spaces			Single houses	Grouped dwellings	Multiple dwellings	Occupant bicycle parking	No minimum requirement		0.5 x the total number of dwellings	Visitor bicycle parking	0-9 dwellings	No visitor bicycle parking required		10 or more dwellings	No visitor bicycle parking required	0.1 x the total number of dwellings
	Minimum number of bicycle spaces																								
	Single houses	Grouped dwellings	Multiple dwellings																						
Occupant bicycle parking	No minimum requirement		0.5 x the total number of dwellings																						
Visitor bicycle parking	0-9 dwellings	No visitor bicycle parking required																							
	10 or more dwellings	No visitor bicycle parking required	0.1 x the total number of dwellings																						

2.4 WASTE MANAGEMENT

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C2.4.1 – Space for bin storage A dedicated and accessible space is provided to accommodate the required number and type of waste storage bins for the development, in line with requirements of the local government and separate from any waste storage areas associated with the non-residential component of a mixed use development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Refer to text under the Deemed-to-Comply provision.	All dwellings include an appropriately screened bin storage area to accommodate 1x 140L and 2x 240L bins.	Not Applicable	Not Applicable
C2.4.2 – Waste management plan (multiple dwellings or 5+ grouped dwellings)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A waste management plan is to be provided as part of the development application given that the application seeks approval for 9 grouped dwellings.	A Waste Management Plan has been prepared to accompany this application.	Not Applicable	Not Applicable
C2.4.3 – Screening of waste storage	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Waste storage bins are screened from view from communal areas, the street, public open space, and other areas accessible to the public.	The proposed waste storage areas are located within a screened enclosure and screened from the streetscape.	Not Applicable	Not Applicable

C2.4.4 – Communal waste storage area requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	The development does not propose any communal waste storage areas.	Not Applicable	Not Applicable
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2.5 UTILITIES

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C2.5.1 – Service utilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Service utilities are designed and located such that they: i)are accessible and can be safely maintained; ii)maintain clear sightlines for vehicle access; and iii)integrated into the design of the development and/or screened from view of the street.	Service utilities are appropriately screened and accessible. These services are located outside of the street setback area and are not visually intrusive.	Not Applicable	Not Applicable
C2.5.2 – Functional utilities	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	i)Are located behind the primary street setback and not visible from the primary street; ii) Are designed to integrate with the development; and iii) Are located and/or screened so that they are not visually obtrusive and minimise the impact of noise sources to habitable rooms and private open space both in the development and adjoining properties.	Functional utilities are appropriately screened and accessible. These services are located outside of the street setback area and are not visually intrusive.	Not Applicable	Not Applicable
C2.5.3 – Solar collectors (where provided)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Are located on the roof or other parts of buildings and prioritise functional performance.	Solar collectors are provided on the roof plan.	Not Applicable	Not Applicable

2.6 OUTBUILDINGS

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C2.6.1 – Requirements for outbuildings	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C2.6.2 – Additional outbuilding standards where designed to be compatible with the colour and materials of the dwelling	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable

2.7 UNIVERSAL DESIGN

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C2.7.1 – 20% of dwellings to achieve silver level universal design (10 + grouped or multiple dwellings)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C2.7.2 – Gold level universal design requirements where seeking to apply site area variation in Part D, C1.1.6 or C1.1.7	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable

2.8 ANCILLARY DWELLINGS

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C2.8.1 – Ancillary dwelling requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable

3.0 NEIGHBOURLINESS

3.1 SITE COVER

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C3.1.1 – Site cover in accordance with Table 3.1a <i>(For single house and grouped dwelling development, refer section 5, C5.1 until 10 April 2026)</i>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Site cover is varied via Schedule 13 of the Town's LPS3. The site cover requirements of the R-Codes are therefore not applicable.	Refer to Schedule 13 of LPS Assessment above.	Not Applicable	Not Applicable

3.2 BUILDING HEIGHT

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C3.2.1 – Building height in accordance with Table 3.2a	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Building height is varied via Schedule 13 of the Town's LPS3. The building height requirements of the R-Codes are therefore not applicable.	Refer to Schedule 13 of LPS Assessment above.	Not Applicable	Not Applicable

3.3 STREET SETBACKS

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C3.3.1 – Setback of buildings in accordance with Table 3.3a	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Setbacks are varied via Schedule 13 of the Town's LPS3. The setback requirements of the R-Codes are therefore not applicable to this application.	Refer to Schedule 13 of LPS Assessment above.	Not Applicable	Not Applicable
C3.3.2 – Porch, verandah, balcony projections into the street setback area	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			Not Applicable	Not Applicable
C3.3.3 – Setback from corner truncations	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			Not Applicable	Not Applicable
C3.3.4 – Garages setback from primary street in accordance with Table 3.3b	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			Not Applicable	Not Applicable
C3.3.5 – Setback of carports from a primary street	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			Not Applicable	Not Applicable
C3.3.6 – Setback of garages and carports from a secondary street, right-of way and communal street in accordance with Table 3.3a	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			Not Applicable	Not Applicable

3.4 LOT BOUNDARY SETBACKS

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C3.4.1 – Buildings set back from lot boundaries in accordance with Table 3.4a	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Setbacks are varied via Schedule 13 of the Town's LPS3. The setback requirements of the R-Codes are therefore not applicable to this application.	Refer to Schedule 13 of LPS Assessment above.	Not Applicable	Not Applicable
C3.4.2 – Maximum length for two storey walls	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			Not Applicable	Not Applicable
C3.4.3 – Setback of carports, patios, verandahs or equivalent structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			Not Applicable	Not Applicable
C3.4.4 – Maximum height and length of boundary walls in accordance with Table 3.4b	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			Not Applicable	Not Applicable
C3.4.5 – Boundary wall abutting an existing or simultaneously constructed wall	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			Not Applicable	Not Applicable
C3.4.6 – Grouped dwellings on the same lot set back as if there is a boundary between them	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			Not Applicable	Not Applicable
C3.4.7 – Multiple dwelling buildings on the same lot set back as though there is a lot boundary	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			Not Applicable	Not Applicable

3.5 SITE WORKS AND RETAINING WALLS

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C3.5.1 – Retaining walls, fill and excavation in the street setback area max 0.5m, except where necessary to provide for pedestrian universal access and/or vehicle access, drainage works, or natural light to a dwelling	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	0.5m of fill and excavation in the street setback area.	0.15 - 0.244 of excavation and fill is proposed within the front setback.	Not Applicable	Not Applicable
C3.5.2 - Retaining walls and fill behind the street setback in accordance Table 3.5a	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Refer to the table under the deemed-to-comply column.	The proposed development proposes retaining up to 1m for the planter boxes. Some of these planter boxes have a nil setback which comply with the setback requirements for Table 3.5a.	Not Applicable	Not Applicable

Height of retaining walls and fill ¹ <i>As measured from natural ground level</i>	Setback required							
1m or less	0m							
1.5m	1.5m							
2m	2m							
2.5m	2.5m							
3m +	3m							
¹ Take the nearest higher value for all height calculations. Measurement of the height of site works or retaining walls for the purpose of calculating Table 3.5a setback is to be taken from the natural ground level at the lot boundary adjacent to that point of the site works or retaining wall. The relevant provisions of 3.9 Solar access for adjoining sites and 3.10 Visual privacy apply.								
C3.5.3 – Excavation within the site is permitted behind the street setback line and may be constructed up to the lot boundary.		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Excavation within the site is permitted behind the street setback line and may be constructed up to the lot boundary.	Excavation within the site complies with this provision.	Not Applicable	Not Applicable

3.6 STREETScape

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C3.6.1 – Single houses and grouped dwellings address the street	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The primary entrance to each dwelling must be readily identifiable from the street; and Provide at least one major opening on the dwelling frontage.	All dwellings have a legible primary entrance and have at least one major opening to the street.	Not Applicable	Not Applicable
C3.6.2 – Multiple dwelling upper-level balconies address the street	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C3.6.3 – Front door protection from the weather	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Front doors to be protected from the weather with a minimum dimension of 1.2m	The proposed front door entries provide an architectural feature that comprises a length of 2m and a width of 1m.	Not Applicable	Not Applicable
C3.6.4 – Ground floor multiple dwellings access to the street	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C3.6.5 – Maximum garage door width	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	A garage door and its supporting structures (or a garage wall where a garage is aligned parallel to the street) facing the primary street is not to occupy more than 50 per cent of the frontage at the setback line as viewed from the street.	The proposed garage doors are located in the basement and are not accessible from the street. The proposed basement gate has a proposed width of 3m.	Not Applicable	Not Applicable
C3.6.6 – Maximum carport width	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C3.6.7 – Fence or wall within the primary street setback area requirements	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	i) A maximum height of 1.8m; and ii) Visually permeable above 1.2m	The proposed front fence has a height of 1.77m and is visually permeable from 0.6m in height. A portion of the front fence is proposed to be a solid fence for the entire 1.8m.	The proposal has been assessed against Design Principle P3.6.5. As illustrated in the elevations, the fencing to the primary street is not a continuous blank wall but is visually articulated through changes in alignment, integrated pedestrian gates, varied materials and landscaping within the front setback. This articulation reduces visual bulk and contributes positively to the streetscape. While the fence is solid, passive surveillance of the street is maintained through the orientation of dwelling entries and habitable room windows addressing both street frontages. The solid fence height provides an appropriate balance between surveillance and the need for privacy and acoustic buffering to ground-level private open space, particularly given the dual street exposure. On balance, the proposed fencing achieves the intent of Design Principle P3.6.5 by	The variation satisfies the design principle.

						providing a visually managed street interface that supports residential amenity while maintaining a safe and orderly streetscape outcome.	
C3.6.8 – Pillars as part of street fence/wall	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Solid pillars that form part of front fences or walls are not more than 1.8m above natural ground level, provided the horizontal dimension of the pillars is not greater than 450mm by 450mm and pillars are separated by visually permeable fencing.	The application does not include any pillars as part of street fencing and walls.	Not Applicable	Not Applicable
C3.6.9 – Secondary Street fencing for corner sites	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	For sites on street corners, street fences or walls within the secondary street setback area are to be designed in accordance with C3.6.7 and C3.6.8 for a minimum 50 per cent of the street boundary behind the primary street setback	The proposed secondary fence is proposed as a solid wall up to 1.8m in height.	<p>The proposed 1.8 -metre-high solid wall along the secondary street frontage directly abuts ground-level outdoor living areas and does not meet the deemed-to-comply requirement for visual permeability above 1.2 metres. The development has therefore been assessed against Design Principle P3.6.5.</p> <p>The secondary street wall is not a continuous or visually dominant blank structure. It incorporates articulated changes in height and alignment, integrated pedestrian access, and soft landscaping along the street interface. This treatment breaks up the built form, softens the appearance of the wall, and provides visual interest within the streetscape, reducing perceived bulk and scale when viewed from the public realm.</p> <p>The solid wall is considered appropriate in this location as it provides a necessary level of privacy and acoustic protection to outdoor living areas that directly interface with the secondary street. Requiring visual permeability in this circumstance would compromise the usability and amenity of these spaces by exposing them to overlooking, pedestrian activity and traffic noise. The wall therefore enables the effective and reasonable use of private open space, consistent with good residential design outcomes.</p> <p>Passive surveillance of the secondary street is maintained through the orientation of dwelling entries and habitable room windows addressing the street, ensuring a safe and legible interface despite the solid wall form. On balance, the proposed secondary street wall achieves the intent of Design Principle P3.6.5 by appropriately balancing passive surveillance with privacy, acoustic performance and residential amenity, while delivering a well-articulated and visually responsive streetscape outcome.</p>	The variation satisfies the design principle.

3.7 ACCESS

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C3.7.1 – Vehicle access hierarchy	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Vehicle access to on site car parking spaces to be provided via the lowest available street in the hierarchy as follows:</p> <p>i. where available, from a right-of-way or communal street available for lawful use to access the relevant site and which is trafficable and drained from the property boundary to a constructed street; or</p> <p>ii. from the secondary street or primary street where no right-of-way or communal street exists.</p>	<p>Vehicle access is proposed off the primary street with this being Saint Peters Road.</p> <p>A communal street provides internal access to each allotment with access to this street provided from Saint Peters Road.</p>	Not Applicable	Not Applicable
C3.7.2 – One vehicle access per lot	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>Vehicle access points are limited to one per lot except where:</p> <p>An existing dwelling is being retained that has an established access point that is not able to serve the other dwellings.</p> <p>Dwellings front the street and access is not available from a communal street or rear right-of-way, whereby a maximum of one vehicle access point is permitted per dwelling; or the lot frontage exceeds 40m, two vehicle access points are permitted.</p>	Each dwelling has one vehicle access point with this occurring to the common property road.	Not Applicable	Not Applicable
C3.7.3 – Driveway dimension requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>i. a minimum 3m wide;</p> <p>ii. a maximum 6m wide at the street boundary;</p> <p>iii. set back 0.3m from a side lot boundary or street pole;</p> <p>iv. set back 6m to a street corner</p> <p>v. aligned at right angles to the road carriageway; and</p> <p>vi. adequately trafficable and drained.</p>	<p>The proposed driveway has a width of 3.7m - 4m and is setback 0.38m from the lot boundary.</p> <p>The driveway is setback greater than 6m from a street corner and is aligned at a right angle to the carriageway.</p> <p>The driveway will be trafficable and drained.</p>	Not Applicable	An appropriate condition can be applied to the determination regarding trafficability and drainage.
C3.7.4 – Driveways that allow vehicles to exit in forward gear	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Where the driveway serves five or more dwellings.	Vehicles are capable of entering and exit in a forward gear. Access to the driveway is gated and will only be utilised by residents.	Not Applicable	Not Applicable
C3.7.5 – Driveway allow passing (when 30m+)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Passing points are to be provided at least every 30m with driveways to be minimum 5.5m wide for a minimum 6.3m length (excluding manoeuvring tapers)	The proposed common property includes a waiting bay on the car ramp with the driveway having a 6.3m dimension at this point.	Not Applicable	Not Applicable
C3.7.6 – Driveways onto primary distributor or integrator arterial roads	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C3.7.7 - Sightlines	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Walls, fences and other structures truncated or	There are no proposed walls and fences where the driveway intersects St Peters Road.	Not Applicable	Not Applicable

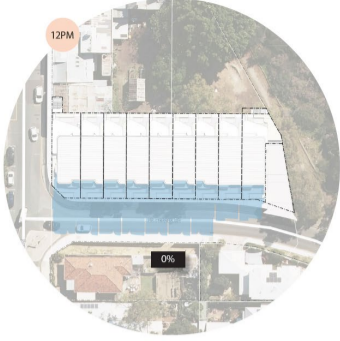

				reduced to no higher than 0.75m within 1.5m of where walls, fences, or other structures adjoin: i. a driveway that intersects a street, right-of-way or communal street; ii. a right-of-way or communal street that intersects a public street; and iii. two streets that intersect.			
C3.7.8 – Pedestrian access (grouped and multiple dwellings)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	For grouped and multiple dwellings, a legible, well defined, continuous path of travel is provided from the public footpath and car parking areas to building access areas such as lift lobbies, stairs, accessways and individual dwelling entries.	The proposed development does not include lifts with car parking areas being secure and only accessible to residents of the dwellings. Pedestrian entries to the proposed dwellings are legible and well connected.	Not Applicable	Not Applicable
C3.7.9 – Delineated or separate pedestrian access (10+ grouped and multiple dwellings)	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C3.7.10 – Pedestrian access legs	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Where a pedestrian access leg is required to provide access from a dwelling site to a public street, it is to: i. be a minimum width of 1.5m; and ii. provide a continuous path of travel with a minimum width of 1m, clear of any utilities or minor projections.	No pedestrian access legs are proposed as part of this application.	Not Applicable	Not Applicable
C3.7.11 – Communal street or battleaxe leg requirements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A communal street or battleaxe leg is to be a minimum width of 3.6m, inclusive of a minimum: i. 3m wide driveway in accordance with C3.7.3; and ii. 0.3m setback either side of the driveway.	The proposed communal street/common property has a width of 6.3m. The common property includes a 0.3m setback from either side of the driveway.	Not Applicable	Not Applicable
C3.7.12 – Lighting and landscaping of communal streets or battleaxe legs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	A communal street or battleaxe leg, including any adjoining setbacks, is provided with adequate lighting and be landscaped in accordance with C1.2.3.	The communal street can be appropriately lit. The communal street includes a portion of landscaping along the western boundary	Not Applicable	An appropriate condition can be applied regarding lighting.
C3.7.13 – Notwithstanding C3.7.11, communal streets to 20 or more lots requirements	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable

3.8 RETAINING EXISTING DWELLINGS

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C3.8.1 – Requirements where a dwelling is retained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable

3.9 SOLAR ACCESS FOR ADJOINING SITES

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)
C3.9.1 – Maximum overshadowing in accordance with Table 3.9a	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The neighbouring properties have a residential density of R25 (25%)	The proposed town houses do not overshadow any adjoining properties given that the site is bound by two road reservations	Not Applicable	Not Applicable

Adjoining property R-Coding	Maximum overshadowing				maximum and 12.5% for diagonally adjacent lots).	 WINTER SOLSTICE: JUN 21st	 SUMMER SOLSTICE: DEC 21st		
	Adjoining property (percentage of dwelling site area) ¹	Diagonally adjacent lots (percentage of dwelling site area) ¹							
R25 and lower	25%	12.5%							
R30 – R40	35%	17.5%							
R50 or higher	50%	25%							
For the purpose of calculating overshadowing, site area refers to the area of the ground surface and is measured without regard to any building on it, but taking into account its natural ground levels . Dividing fences up to 2m in height do not contribute to overshadowing calculations. ¹ Where proposed development adjoins a grouped dwelling development, the maximum overshadowing requirement is to be applied for each grouped dwelling site area and excludes portions of common property (refer Figure 3.9.c)									
C3.9.2 – Maximum overshadowing where R40 or greater and has a lot frontage of 7.5m or less			<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable
C3.9.3 – Maximum overshadowing requirements where the adjoining property shares a northern lot boundary with more than one lot			<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable

3.10 VISUAL PRIVACY

DEEMED-TO-COMPLY	MEETS DEEMED-TO-COMPLY	ADDRESSES DESIGN PRINCIPLE	NOT APPLICABLE	DEEMED-TO-COMPLY REQUIREMENT	PROVIDED	DESIGN PRINCIPLE (IF APPLIED)	CONDITION OF APPROVAL (IF APPLIED)														
C3.10.1 – Visual privacy requirements where adjoining a developed site <table border="1"> <thead> <tr> <th rowspan="2">Type of habitable room/ active habitable space <i>(with a floor level of more than 0.5m above natural ground level)</i></th> <th colspan="2">Cone of vision radius</th> </tr> <tr> <th>Areas coded R50 or lower</th> <th>Areas coded higher than R50</th> </tr> </thead> <tbody> <tr> <td>Major opening from bedroom and study</td> <td>4.5m</td> <td>3m</td> </tr> <tr> <td>Major opening from habitable room other than bedroom and study</td> <td>6m</td> <td>4.5m</td> </tr> <tr> <td>Outdoor active habitable space</td> <td>7.5m</td> <td>6m</td> </tr> </tbody> </table>	Type of habitable room/ active habitable space <i>(with a floor level of more than 0.5m above natural ground level)</i>	Cone of vision radius		Areas coded R50 or lower	Areas coded higher than R50	Major opening from bedroom and study	4.5m	3m	Major opening from habitable room other than bedroom and study	6m	4.5m	Outdoor active habitable space	7.5m	6m	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Refer to the table under the Deemed-to-Comply provisions.	The eastern, southern and western boundaries of the site are road reservations and not subject to visual privacy requirements.	Not Applicable	Not Applicable
Type of habitable room/ active habitable space <i>(with a floor level of more than 0.5m above natural ground level)</i>		Cone of vision radius																			
	Areas coded R50 or lower	Areas coded higher than R50																			
Major opening from bedroom and study	4.5m	3m																			
Major opening from habitable room other than bedroom and study	6m	4.5m																			
Outdoor active habitable space	7.5m	6m																			
C3.10.2 – Notwithstanding C3.10.1, Visual privacy design solutions	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable														
C3.10.3 – Offsetting of bedroom and study windows	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable														
C3.10.4 – Overlooking for grouped or multiple dwellings within a lot	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable														
C3.10.5 – Visual privacy where adjoining a vacant or unknown site	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Where an adjoining property is vacant residential zoned land, or when the location of a major opening or an active habitable space is unknown, all sources of overlooking are oriented, offset or set back in accordance with Table 3.10a so that the cone of vision does not extend beyond the lot boundaries.	All dwellings are setback 6.4m from the northern boundary which is subject to future development. Given that there are no outdoor active habitable spaces on the first and second floor, the proposal is consistent with the visual privacy requirements of C3.10.1.	Not Applicable	Not Applicable														
C3.10.6 – Notwithstanding C3.10.5, visual privacy design solutions where adjoining a vacant or unknown site	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Not Applicable	Not Applicable	Not Applicable	Not Applicable														