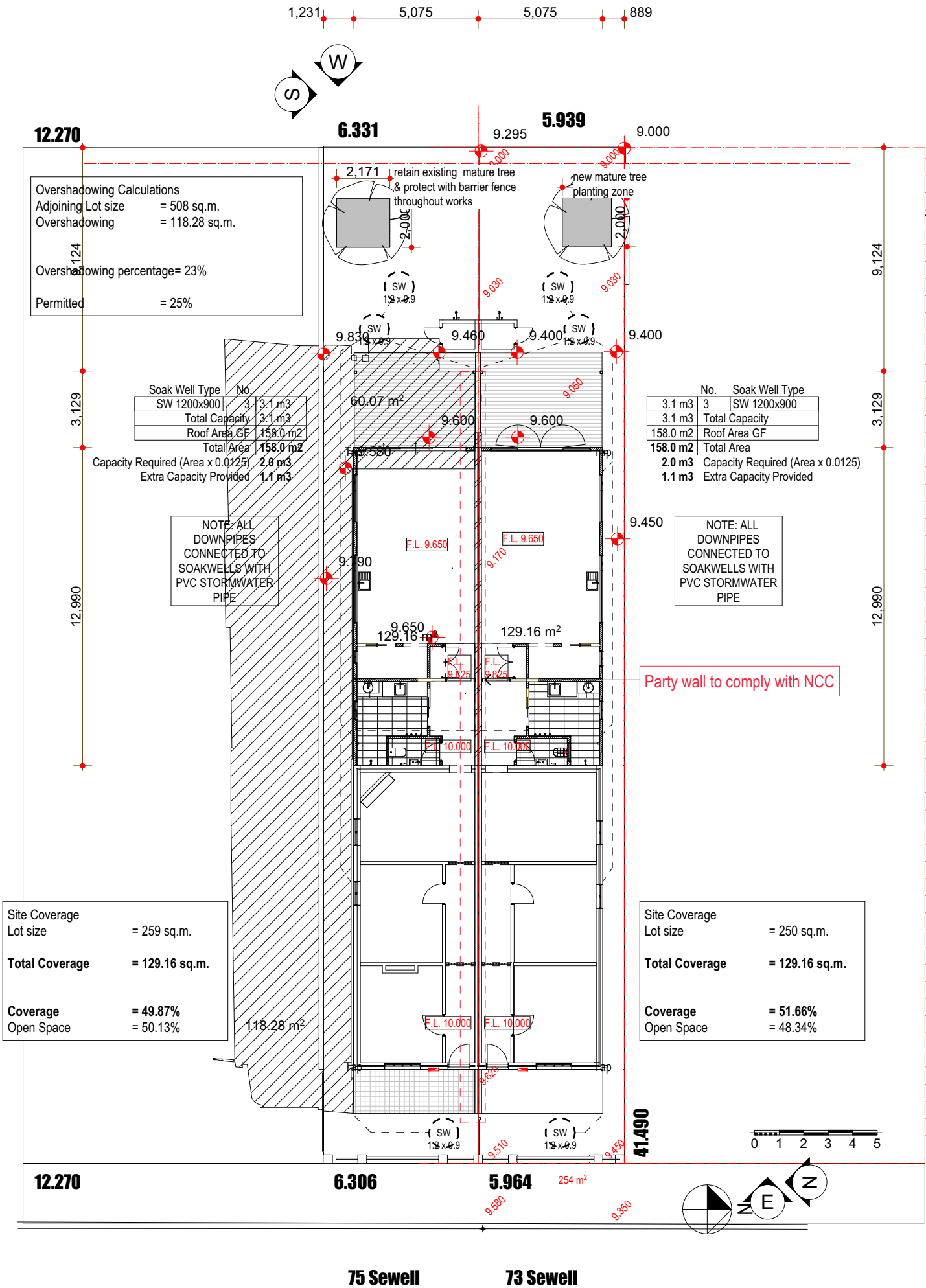


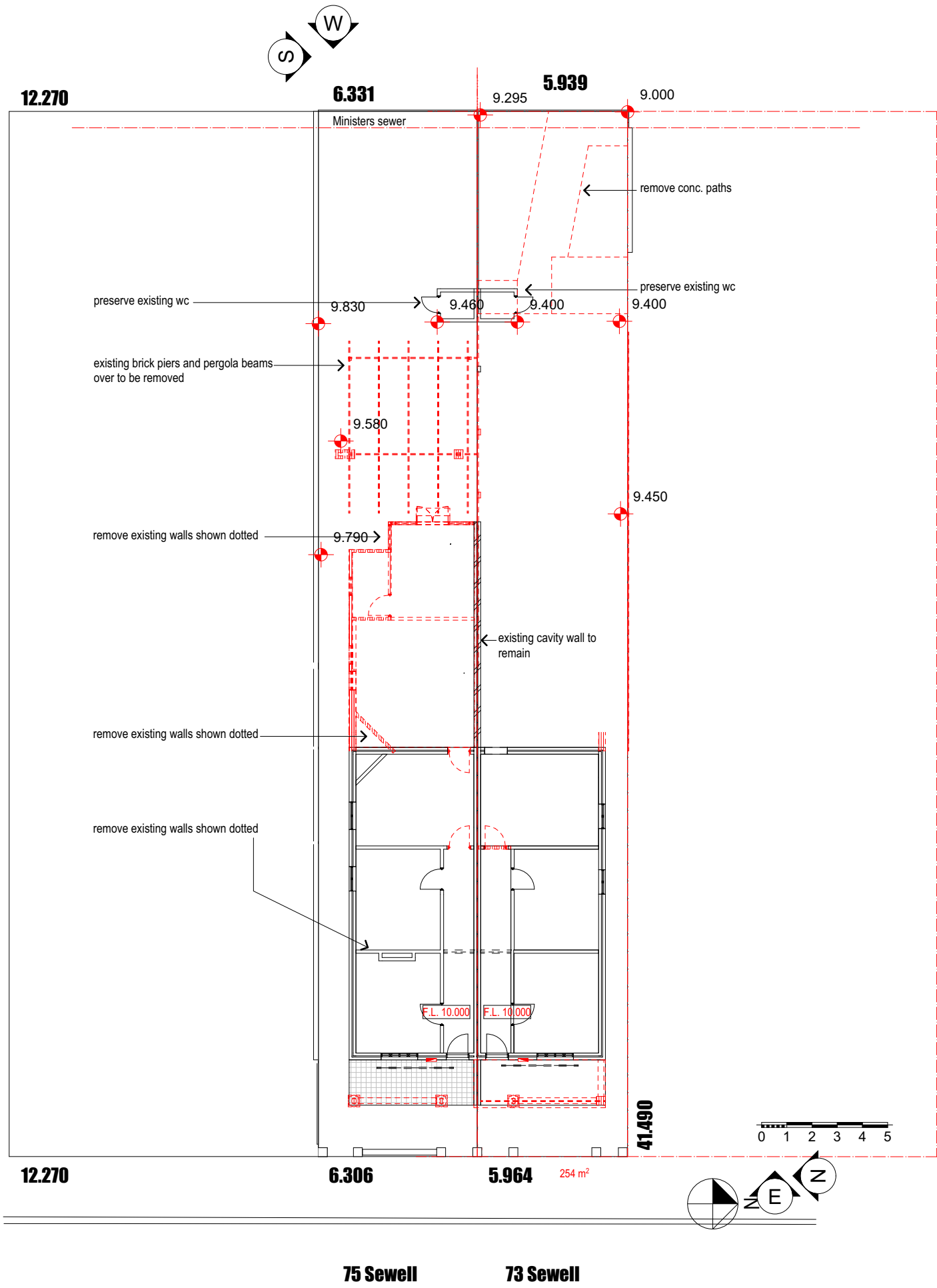


Site Plan
1:200

CONDITION(S):

1. Common walls being shown on the survey strata plan as prescribed "party wall easements", pursuant to Regulation 33 of the Strata Titles General Regulations 2019 and Section 61 of the Strata Titles Act 1985. (Local Government)
2. The existing dwelling being retained is to comply with the requirements of the Residential Design Codes. (Local Government)
3. All buildings and effluent disposal systems having the necessary clearance from the new boundaries as required under the relevant legislation including the Local Planning Scheme, Building Act 2011, and National Construction Code Series/Building Code of Australia (as amended) . (Local Government)

Drawing:
Site Plan



Demolition
1:200

Drawing:

Demolition

REV.	AMENDMENT	DATE	REV.	AMENDMENT	DATE	Date:	Drwn:
4	building permit	31/3/2026				2/09/2026	JC
3	demolition	14/10/2025				Job No:	Dwg No.:
2	planning	2/9/2025	6	planning	2/9/2026	2351	A200
1	planning	23/5/2025	5	building permit	28/7/2026		6
						The builder must verify all dimensions on site before commencing any work or shop dwgs.	

planning

existing fence to remain.
new proposal is to extend height, in
agreement with neighbours, to a
compliant height to ensure privacy

new 7.5mm Hardiegroove soffit lining,
paint finish

Party wall to comply
with NCC
Lacunza Atlantic 613 wood fire

new fire wall to be built from 2 x leaves of
230 x 110 x 76 solid brickwork, all perps fully
filled, with Bradford 'EziCav' cavity insulation.
add 2X layers of 16mm Gyprock Fyrchek to
south side of wall

General Note:
install skylights a min.
900mm from party wall

obscure glazed fixed
highlight (W06)

2m high boundary fence for privacy

new 100mm thick conc. slab to front
verandahs, SL62 mesh 30 top cover,
200 deep x 250 wide edge thickening
remove existing asbestos fence.
replace with Colorbond fence

bin store to future detail

New front doors to both No. 73 & No. 75,
Corinthian Classic PCL 4G, glazing to be
selected

new picket fence to top of brick wall,
min. 50% visually permeable

new picket fence to top of brick wall,
min. 50% visually permeable

Note: this level reads as high due
to a local raised planter bed, to
be removed

Velux C04 550w x 980H
fixed skylights

new 7.5mm Hardiegroove soffit lining,
paint finish

new stacking sliders, to comply
with AS 1288

new 120 x 45 H2 MGP10 framed walls,
Hardies Axon 133 vertical cladding

new 100mm reinf. conc. slab to S.E.
details, 0.2mm polythene membrane
under

extend roof line to rear wall
note: ceiling is to be lined on the rake
to collar tie level, and flat at collar tie
level

slab to extend through to east wall
of scullery.
build up new timber framed walls
& landing off new slab.
gauge joists for landing to suit

Velux C01 550 x 700 VSE skylight

new Hardies Scyon wet area flooring, with
screed to falls, waterproof membrane,
tiles over

obscure glazed fixed
highlight (W06)

existing chimney over to be preserved

new 'lume' skylights in passage, LED
surface mounted panels & no
penetration to roof surface

Note: existing timber floors to be
sanded, bleached and sealed with
water based sealant

new 100mm thick conc. slab to front
verandahs, SL62 mesh 30 top cover,
200 deep x 250 wide edge thickening

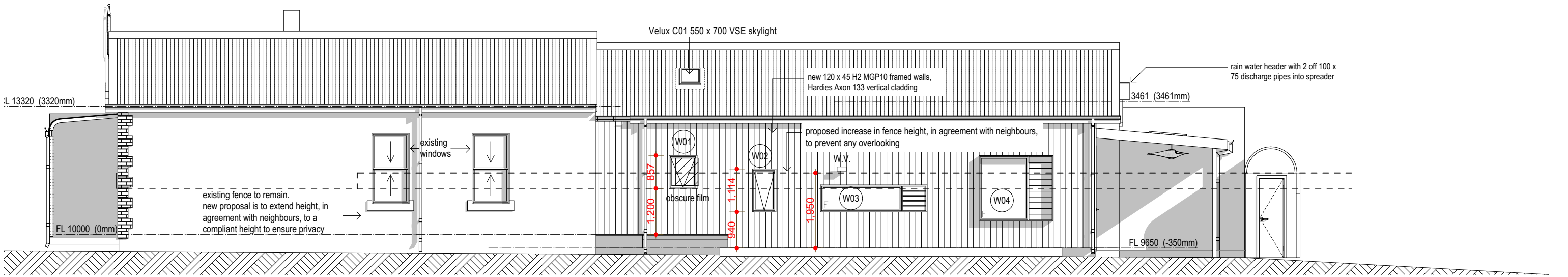
new timber posts to match posts @ 73 Sewell St.

bin store to future detail

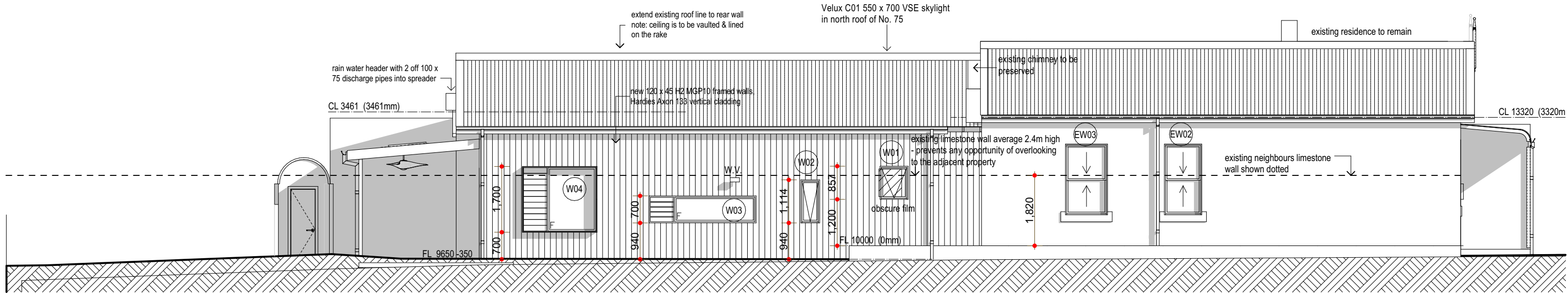
Proposed Floor Plan
1:100

Ground Floor Plan

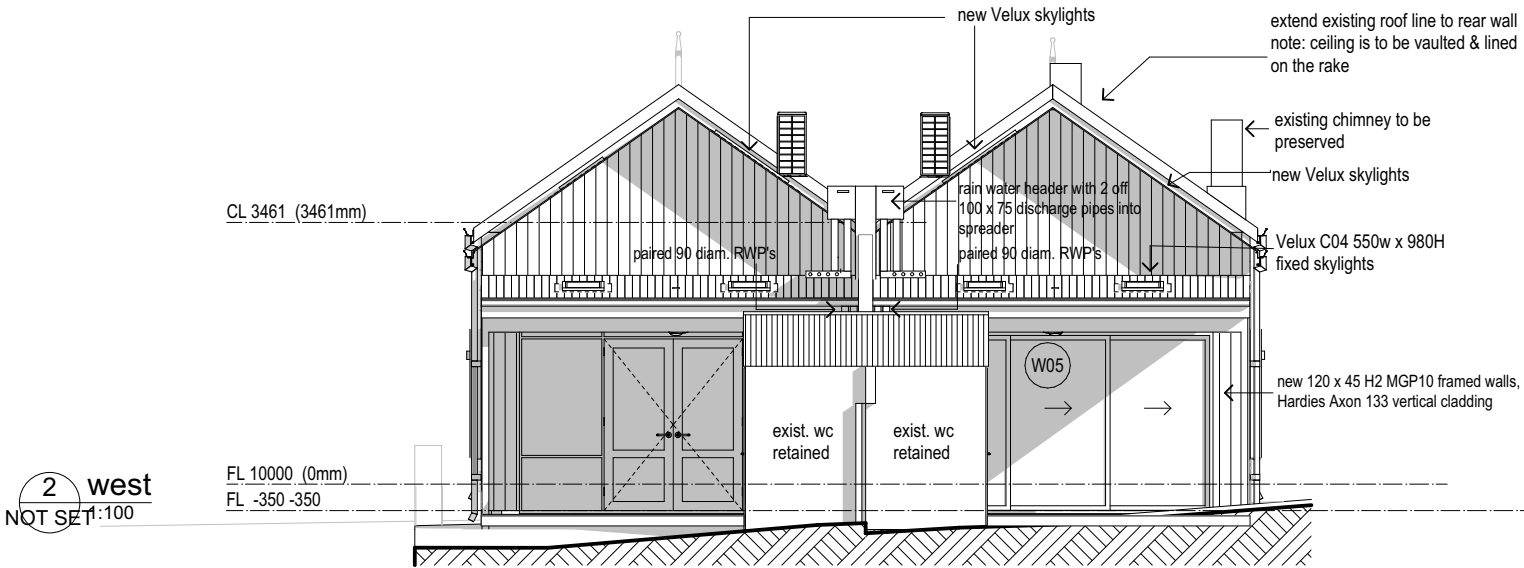
planning

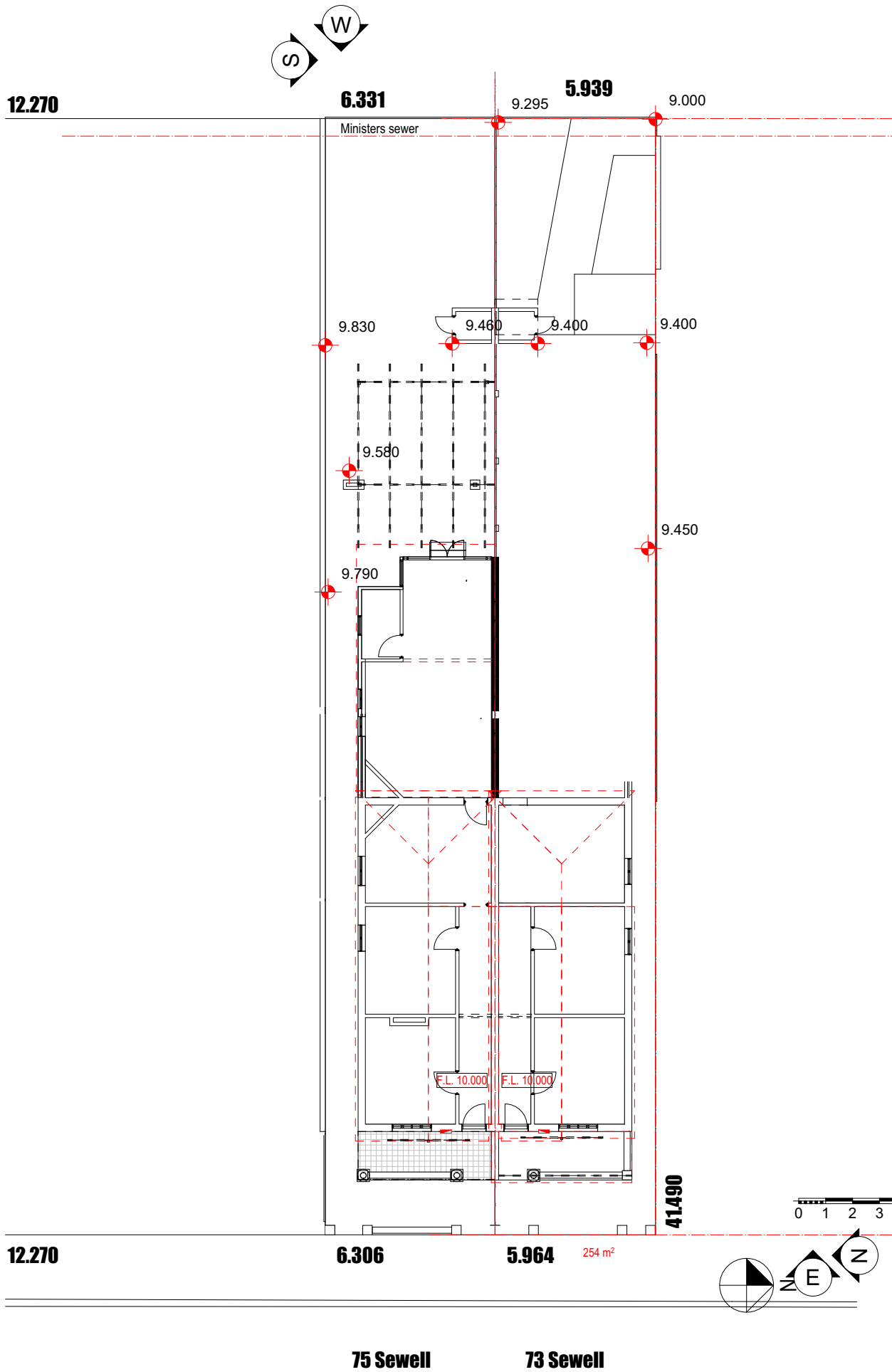


2 north
NOT SET 1:100



1 south
NOT SET 1:100

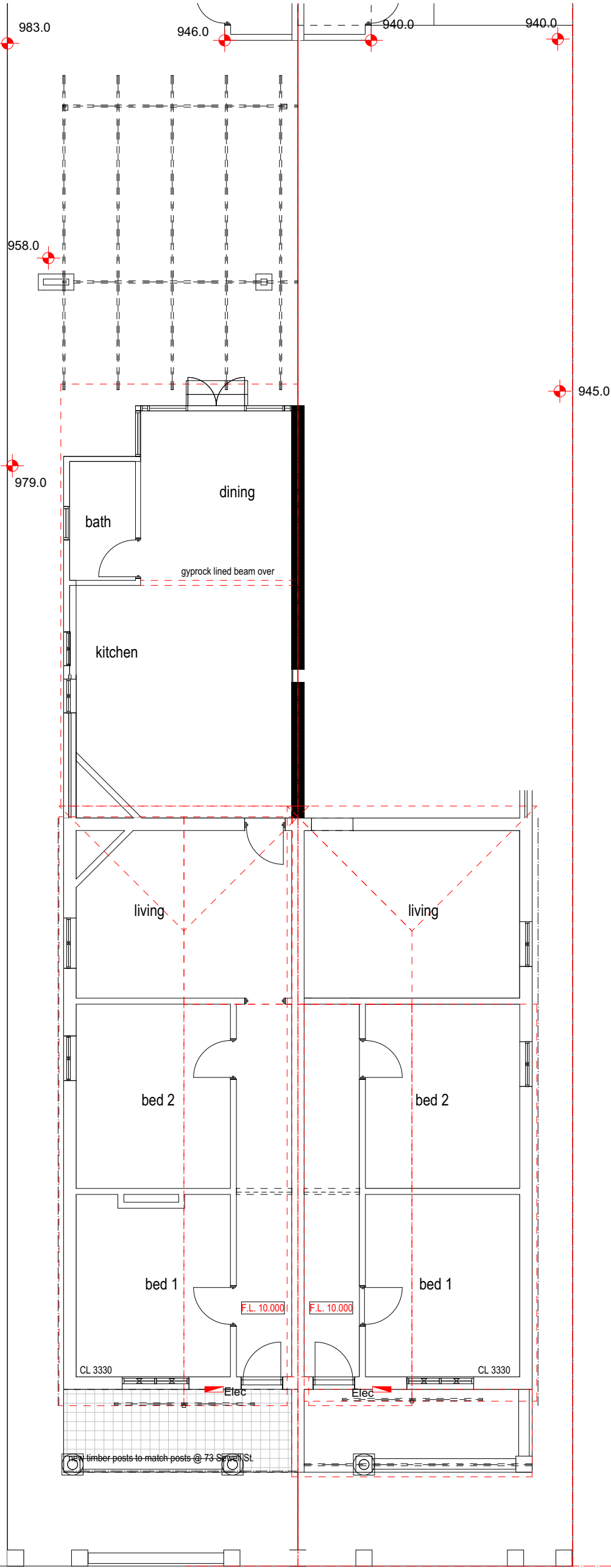




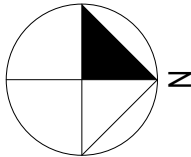
Existing Site Plan
1:200

Drawing:
Existing Site Plan

planning



Existing Floor Plan
1:100



Drawing:
Existing Floor Plan

REV.	AMENDMENT	DATE	REV.	AMENDMENT	DATE	Date:	Drwn:
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						The builder must verify all dimensions on site before commencing any work or shop dwgs.	