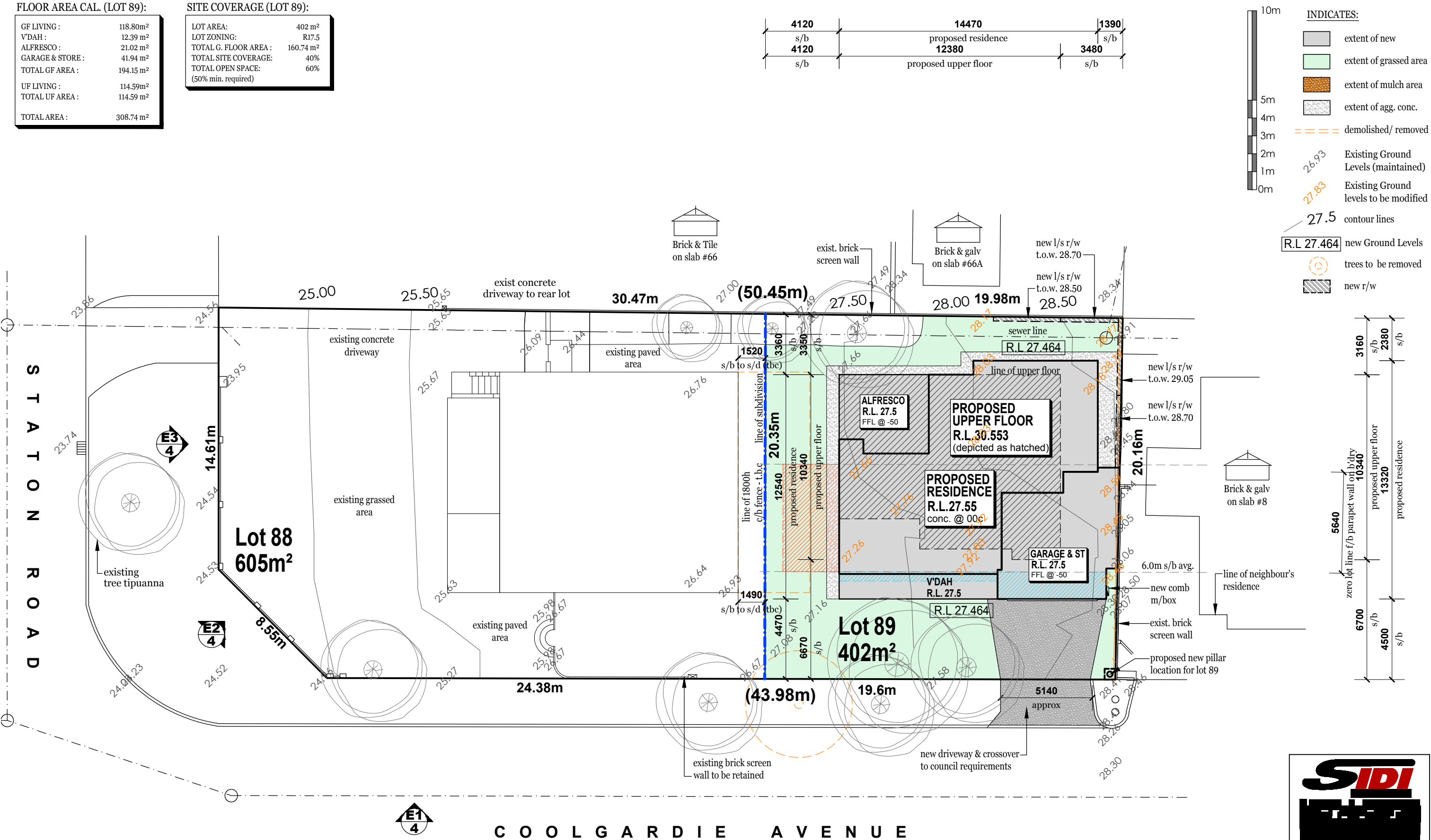


FLOOR AREA CAL. (LOT 89):

GF LIVING :	118.80m ²
V'DAH :	12.39 m ²
ALFRESCO :	21.02 m ²
GARAGE & STORE :	41.94 m ²
TOTAL GF AREA :	194.15 m ²
UF LIVING :	114.59m ²
TOTAL UF AREA :	114.59 m ²
TOTAL AREA :	308.74 m ²

SITE COVERAGE (LOT 89):

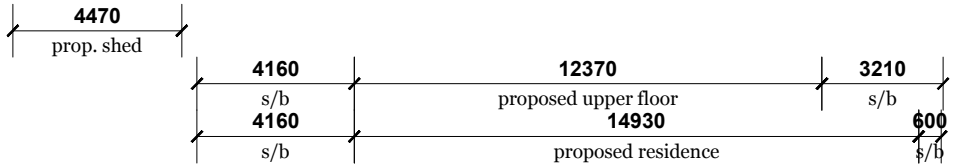
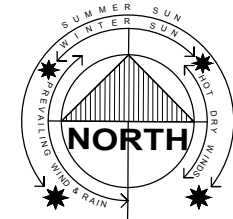
LOT AREA:	402 m ²
LOT ZONING:	R17.5
TOTAL G. FLOOR AREA :	160.74 m ²
TOTAL SITE COVERAGE:	40%
TOTAL OPEN SPACE:	60%
(50% min. required)	



Setback Legend

- Incursion Area = 13.72m²
- Compensating Area = 18.86m²

SITE PLAN
scale 1:200



- INDICATES:
- extent of new
 - extent of grassed area
 - extent of mulch area
 - extent of agg. conc.
 - demolished/ removed
 - Existing Ground Levels (maintained)
 - Existing Ground levels to be modified
 - contour lines
 - new Ground Levels
 - trees to be removed
 - new r/w



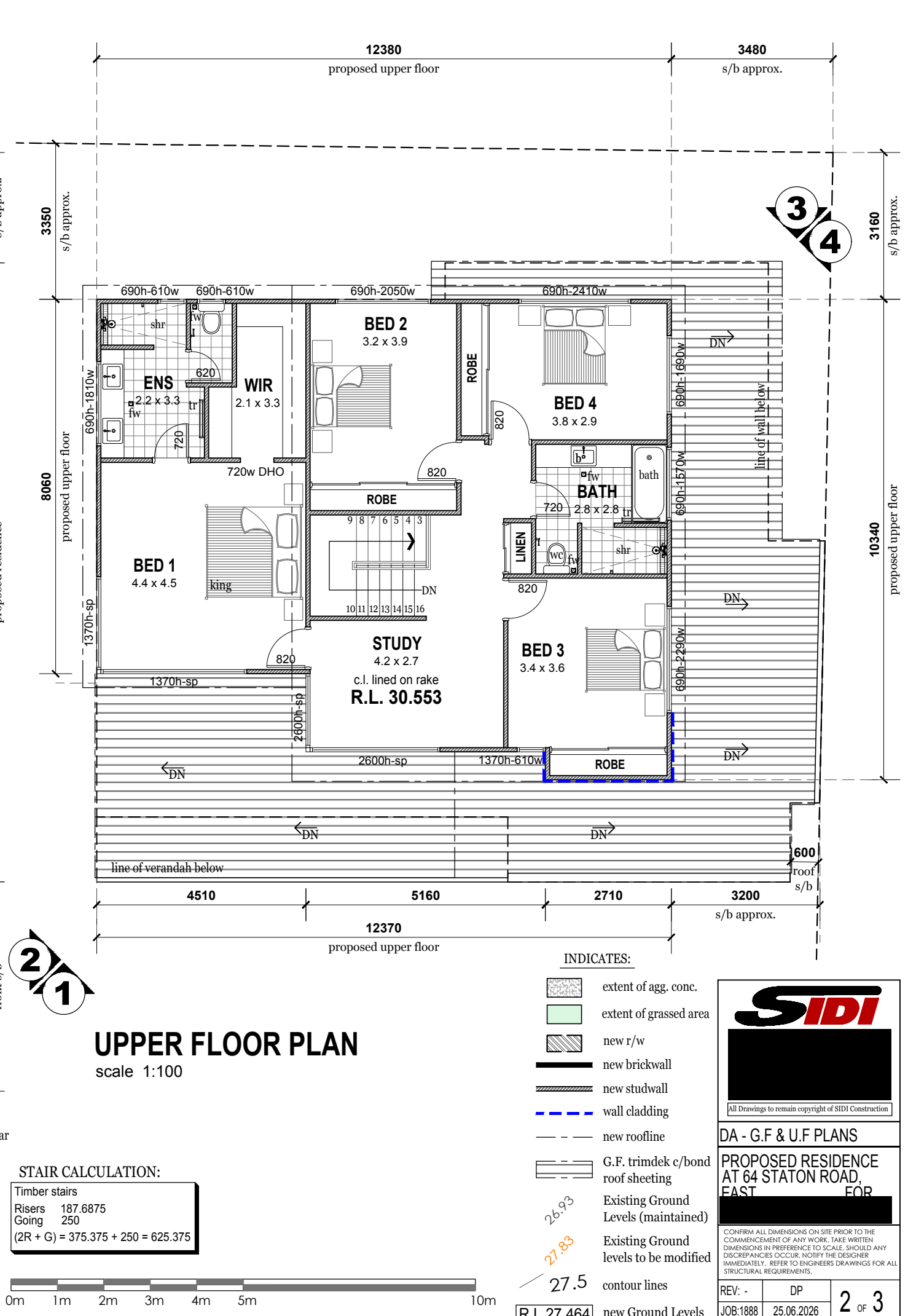
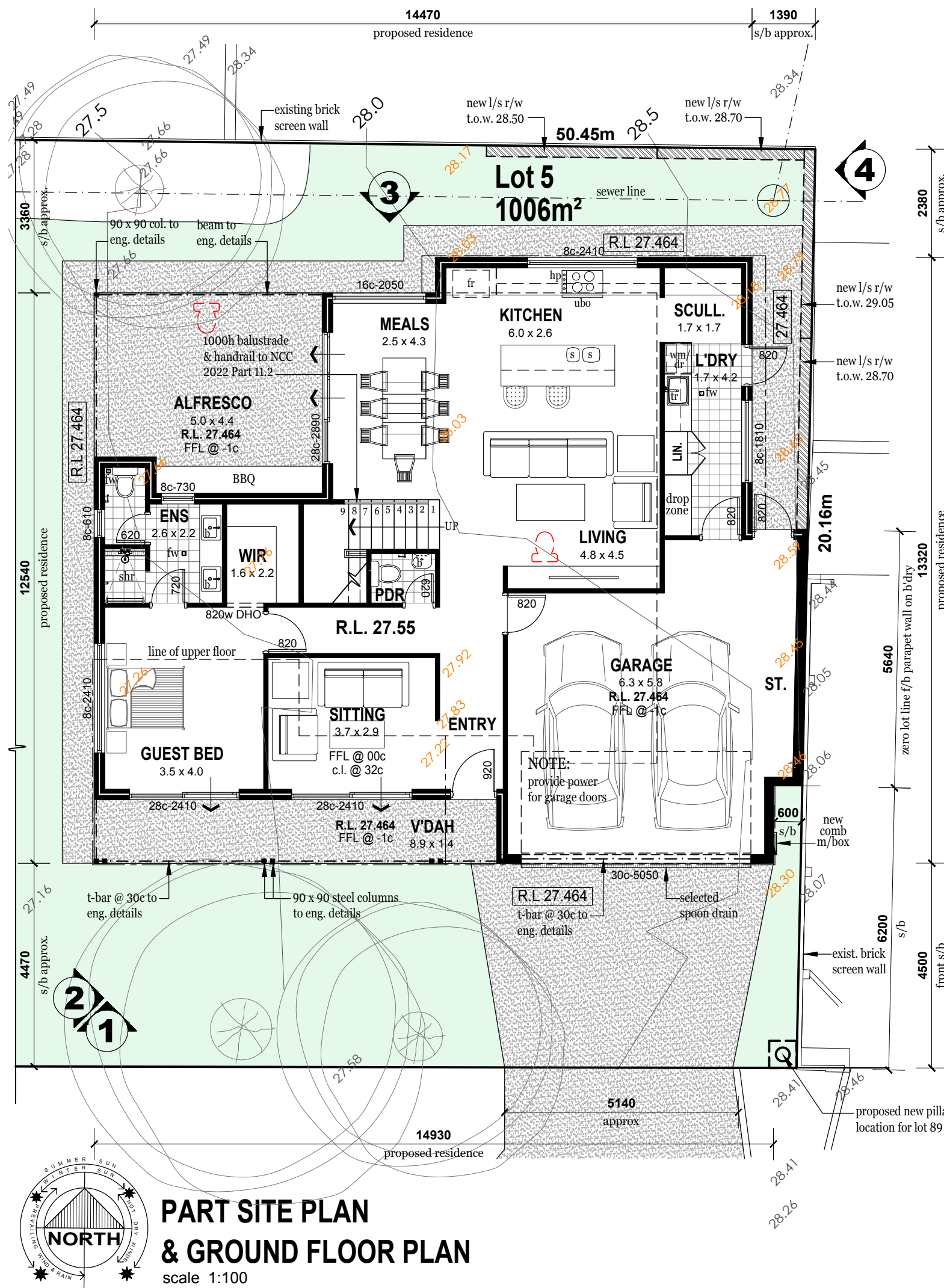
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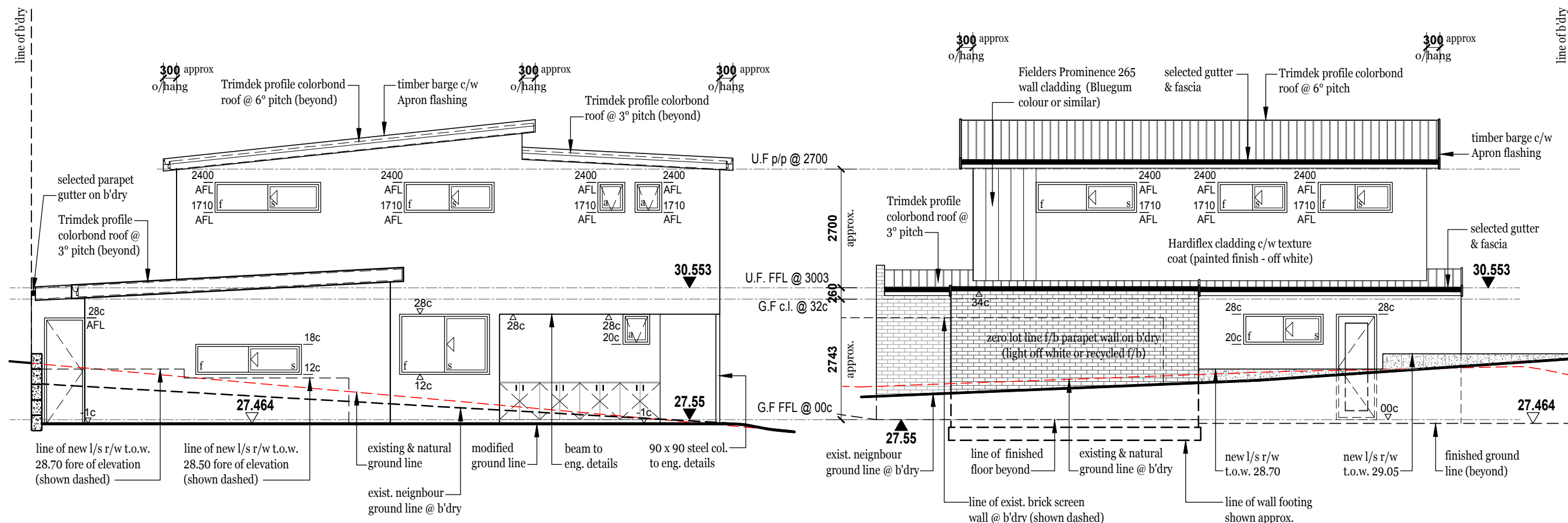
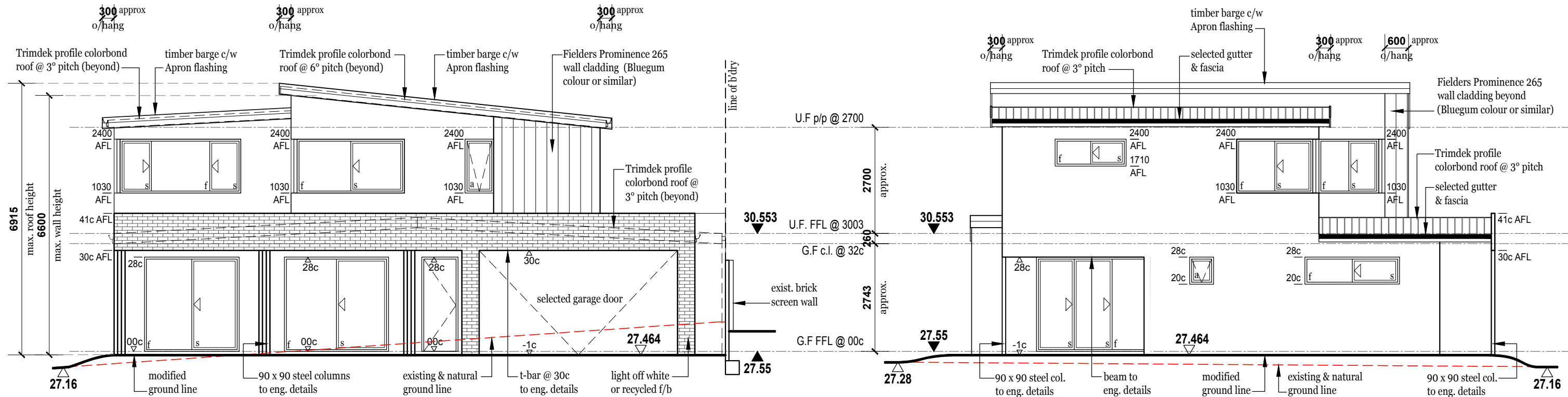
DA - SITE PLAN

PROPOSED RESIDENCE
AT 64 STATION ROAD,
EAST FOR

CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. TAKE WRITTEN DIMENSIONS IN PREFERENCE TO SCALE. SHOULD ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER IMMEDIATELY. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS.

REV: -	DP	1 OF 3
JOB:1888	25.06.2026	





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DA - ELEVATIONS

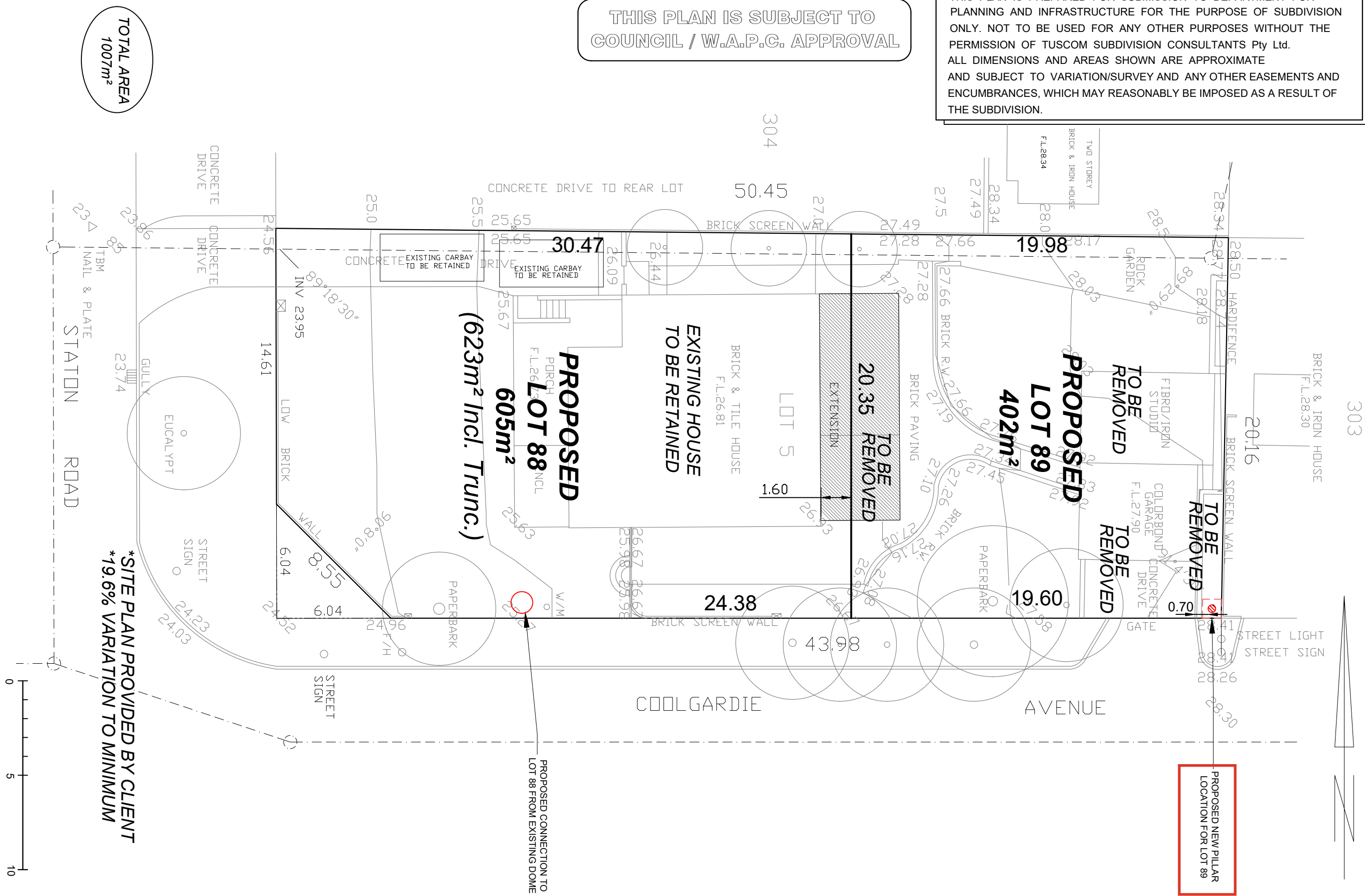
**PROPOSED RESIDENCE
AT 64 STATION ROAD,
EAST FOR**

CONFIRM ALL DIMENSIONS ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK. TAKE WRITTEN DIMENSIONS IN PREFERENCE TO SCALE. SHOULD ANY DISCREPANCIES OCCUR, NOTIFY THE DESIGNER IMMEDIATELY. REFER TO ENGINEERS DRAWINGS FOR ALL STRUCTURAL REQUIREMENTS.

REV: -	DP	3 OF 3
JOB:1888	25.06.2026	

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THIS PLAN IS SUBJECT TO
COUNCIL / W.A.P.C. APPROVAL



PROPOSED GREEN TITLE LOT OF LOT 5 (64) STATON RD, EAST FREMANTLE
SCALE: 1:200@A3 PLAN: D9937 C/T: 1089/261 LOCAL AUTHORITY
TUSCOM SUBDIVISION CONSULTANTS Pty. Ltd.

DATUM: AHD(APPROX.)

Site survey only location of boundary pegs or fences in relation to the boundary is not guaranteed

DRAWN BY: NW