



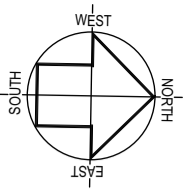
CLIENT:

**WILLOUGHBY & ROCHE**

SITE ADDRESS:

**LOT 3 (#5) OSBORNE ROAD EAST  
FREMANTLE WA 6158**

- SHEET 01 - COVER SHEET
- SHEET 02 - EXISTING SITE
- SHEET 03 - SITE PLAN
- SHEET 04 - FLOOR PLAN GF
- SHEET 05 - FLOOR PLAN FF
- SHEET 06 - ELEVATIONS
- SHEET 07 - ELECTRICAL PLAN GF
- SHEET 08 - ELECTRICAL PLAN FF
- SHEET 09 - INTERNAL LAYOUTS 1
- SHEET 10 - INTERNAL LAYOUTS 2
- SHEET 11 - INTERNAL LAYOUTS 3
- SHEET 12 - STAIRS LAYOUT
- SHEET 13 - SECTION 1 & DETAILS
- SHEET 14 - SECTION 2 & DETAILS



# LOT 3

275m<sup>2</sup>

### SERVICE INFORMATION

AREA ESTABLISHED  
 SEWERAGE YES DEPTH 2.88  
 WATER TBC PRELAI D NO  
 ELECTRICAL TBC U/G  
 TELECOM YES, TBC  
 GAS TBC  
 DRAFTED SSW SURVEYOR MR

### SERVICE LEGEND

#### SURVEY

- \* DATUM
- PF PEG FOUND
- PG PEG GONE

#### SEWERAGE

- SEW SEWER MANHOLE
- IO INSPECTION OPENING
- IS INSPECTION SHAFT

#### WATER

- M WATER METER
- H HYDRANT
- F FLUSH POINT
- V STOP VALVE

#### ELECTRICAL

- /□D POWER DOME/PILLAR
- P POWER POLE
- L LAMP POST
- C CONSUMER POLE
- A STAY WIRE ANCHOR

#### STORMWATER

- STORMWATER MANHOLE
- GRATE
- SIDE ENTRY PIT

#### GAS

- G GAS METER
- S SERVICE VALVE

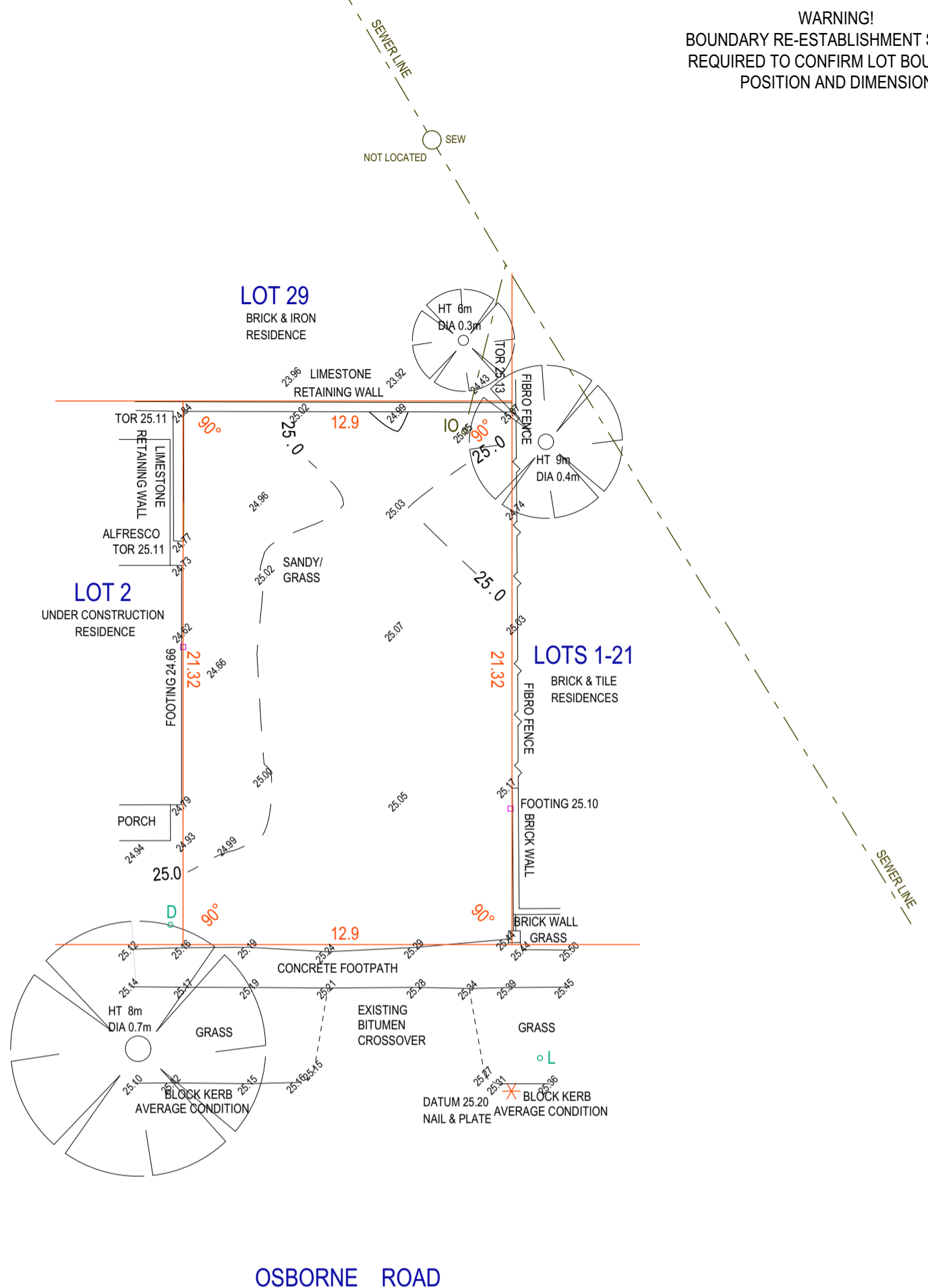
#### TELECOM

- COMMUNICATION PIT
- TELSTRA MANHOLE

#### SEWER CONNECTION POSITION

APPROXIMATE ONLY  
 SEW INV. 21.27  
 UP. 0.90  
 DEPTH. 2.88

**WARNING!**  
 BOUNDARY RE-ESTABLISHMENT SURVEY  
 REQUIRED TO CONFIRM LOT BOUNDARY  
 POSITION AND DIMENSIONS.



OSBORNE ROAD

CLIENT: <b>HIGH STREET BUILDERS</b>	
ADDRESS: <b>LOT 3 (#5) OSBORNE ROAD, EAST FREMANTLE</b>	
PLAN: <b>SP81535</b>	AUTHORITY: <b>TOWN OF EAST FREMANTLE</b>
DATE: <b>24/06/2025</b>	JOB REFERENCE: <b>TSA7555 - FS</b>
H. Grid : LOCAL V. Datum : AHD	Local level : 26.53 A.H.D. level : 26.53
A.H.D. value derived from : 0741	SEWER M/H Distance from Datum : 31.85m
VERSION	DATE DESCRIPTION APPROVED BY

**TSA SURVEYS**  
 CONSULTING SURVEYORS

A| U4/3 Wicks Street, Bayswater WA 6053  
 P| PO Box 102, Bassendean WA 6934  
 M| 0433 304 648  
 E| admin@tsasurveys.com.au  
 W| www.tsasurveys.com.au  
 ABN| 56 645 650 666

**IMPORTANT NOTES:**

- The information on this drawing is current at the date of survey.
- All services are to be confirmed with relevant authorities.
- This includes without limitation; Sewerage / Water / Drainage / Electrical / Gas & Communications
- Further Limitations / Interests / Encumbrances / Notifications may be listed on the Certificate of Title.
- Original lot dimensions taken from Landgate Survey Plans.
- Boundary Re-establishment Survey required to confirm lot boundary position and dimensions.
- The sole purpose of this plan is for presentation to WAPC for process of application for subdivision to produce a conditional approval.
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- This plan is for the purpose of application and in no way represents WAPC conditional approval.
- TSA Surveys does not accept liability for loss or damage to any person or corporation who may rely on this plan for any purpose.
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Scale: 1:200 at A3

**HIGH STREET BUILDERS**

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OWNER .....DATE.....

OWNER .....DATE.....

BUILDER .....DATE.....

REV:	DESCRIPTION:	INT:	DATE:
'2'	ELEVATION AMENDMENT	NE	
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'8'	ELEVATION OVERSHADOW LINE	NE	
'9'	ADDITIONAL OVERSHADOW DIAG.	NE	
'10'	SCULLERY CHANGE	NE	

CLIENT:  
**WILLOUGHBY & ROCHE**

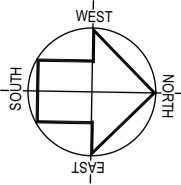
SITE ADDRESS:  
**LOT 3 (#5) OSBORNE ROAD  
 EAST FREMANTLE WA 6158**

DESIGNER: NICK EVANS PHONE: 0418 113 422

**OSBORNE BRICK HOUSE**

**EXISTING SITE**

DATE: 11/05/2026 SHEET N°: 02 of 14  
 SCALE: 1:200  
 REVISION N°: 10 JOB N°: 23032



# LOT 3

275m<sup>2</sup>

### SERVICE INFORMATION

AREA	ESTABLISHED
SEWERAGE	YES DEPTH 2.88
WATER	TBC PRELAI D NO
ELECTRICAL	TBC U/G
TELECOM	YES, TBC
GAS	TBC
DRAFTED	SSW SURVEYOR MR

### SERVICE LEGEND

SURVEY	
✱	DATUM
○PF	PEG FOUND
○PG	PEG GONE
SEWERAGE	
○SEW	SEWER MANHOLE
○IO	INSPECTION OPENING
○IS	INSPECTION SHAFT
WATER	
○M	WATER METER
○H	HYDRANT
○F	FLUSH POINT
○V	STOP VALVE
ELECTRICAL	
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STORMWATER	
○	STORMWATER MANHOLE
□	GRATE
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GAS	
○G	GAS METER
○S	SERVICE VALVE
TELECOM	
○	COMMUNICATION PIT
TMH	TELSTRA MANHOLE
SEWER CONNECTION POSITION	
APPROXIMATE ONLY	
SEW INV. 21.27	
UP. 0.90	
DEPTH. 2.88	

### OVERSHADOWING CALCULATIONS

**LOT 29:**  
 OVERSHADOW = 2.24m<sup>2</sup>  
 LOT 29 AREA = 1180m<sup>2</sup>  
 OVERSHADOW % = 0.18%

**LOT 2:**  
 OVERSHADOW = 98.02m<sup>2</sup>  
 LOT 2 AREA = 192m<sup>2</sup>  
 OVERSHADOW % = 51.05%

### OPEN SPACE CALCULATIONS

**ZONING R30**  
 LOT SIZE = 275m<sup>2</sup>  
 BUILT AREA = 158.38m<sup>2</sup>  
 SITE COVER ALLOWANCE = 55%  
 PROPOSED SITE COVER = 57.59%

**WARNING!**  
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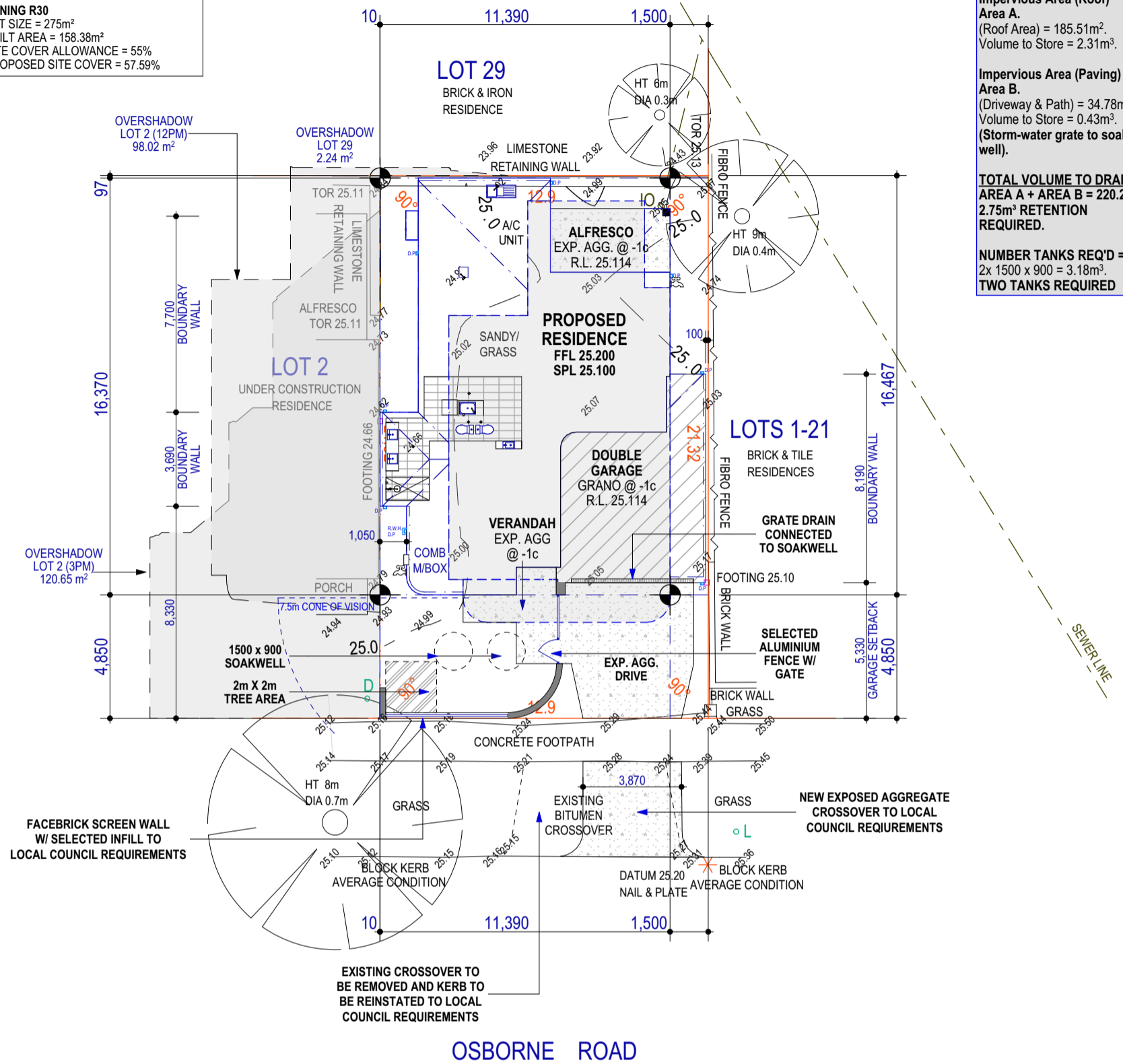
**DRAINAGE NOTES:**  
 As per Town of East Fremantle  
 Calculator  
 (Impervious area x 0.0125m)

**DRAINAGE CALCULATIONS.**  
**Impervious Area (Roof)**  
 Area A.  
 (Roof Area) = 185.51m<sup>2</sup>.  
 Volume to Store = 2.31m<sup>3</sup>.

**Impervious Area (Paving)**  
 Area B.  
 (Driveway & Path) = 34.78m<sup>2</sup>  
 Volume to Store = 0.43m<sup>3</sup>.  
 (Storm-water grate to soak well).

**TOTAL VOLUME TO DRAIN**  
 AREA A + AREA B = 220.29m<sup>2</sup>.  
 2.75m<sup>3</sup> RETENTION  
 REQUIRED.

**NUMBER TANKS REQ'D =**  
 2x 1500 x 900 = 3.18m<sup>3</sup>.  
**TWO TANKS REQUIRED**



CLIENT: HIGH STREET BUILDERS			
ADDRESS: LOT 3 (#5) OSBORNE ROAD, EAST FREMANTLE			
PLAN: SP81535	CT: 2982/830	AUTHORITY: TOWN OF EAST FREMANTLE	
DATE: 24/06/2025	JOB REFERENCE: TSA7555 - FS		
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**HIGH STREET BUILDERS**

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OWNER .....	DATE .....
BUILDER .....	DATE .....

**VARIATIONS:**

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9'	ADDITIONAL OVERSHADOW DIAG.	NE	
10'	SCULLERY CHANGE	NE	

CLIENT:  
**WILLOUGHBY & ROCHE**

SITE ADDRESS:  
**LOT 3 (#5) OSBORNE ROAD  
 EAST FREMANTLE WA 6158**

DESIGNER: NICK EVANS PHONE: 0418 113 422

**OSBORNE BRICK HOUSE**

**SITE PLAN**

DATE: 11/05/2026	SHEET N°:
SCALE: 1:200	03 of 14
REVISION N°: 10	JOB N°: 23032



**NOTES:**

GROUND FLOOR EXTERNAL WALLS CONSISTS OF 230mm WIDE CAVITY BRICK CONST., UNLESS NOTED OTHERWISE. 90mm EXTERNAL LEAF & 90mm INTERNAL LEAF.

ALL INTERNAL WALLS ARE PLASTERED UNLESS NOTED OTHERWISE.

DOWNPipes & FLOOR WASTES POSITIONED AT PLUMBERS DISCRETION. FINAL POSITION MAY VARY TO PLAN.

CEILING INSULATION TO HOUSE & GARAGE TO BCA REQUIREMENTS AS PER. ADDENDA.

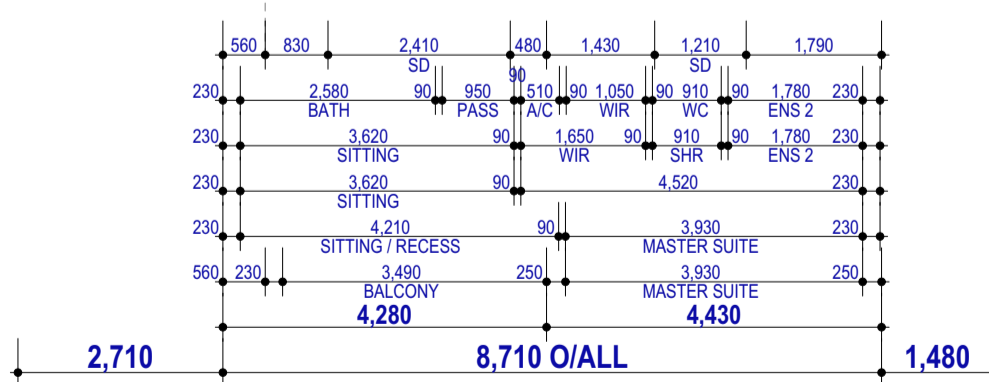
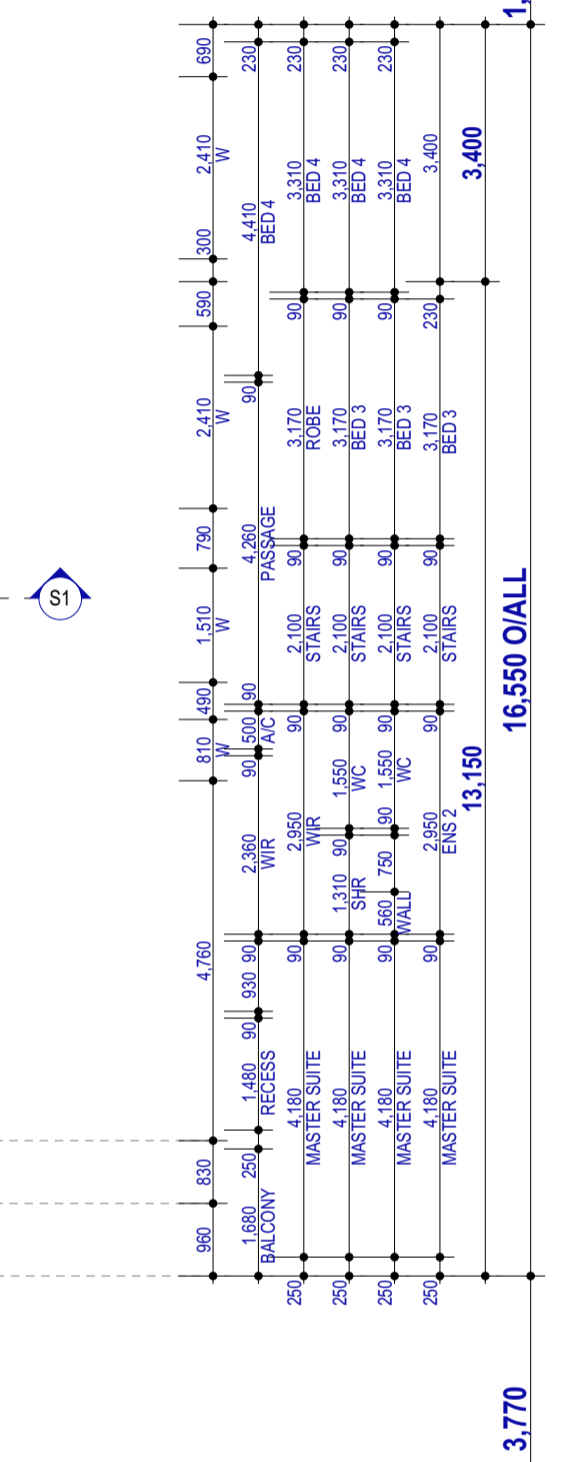
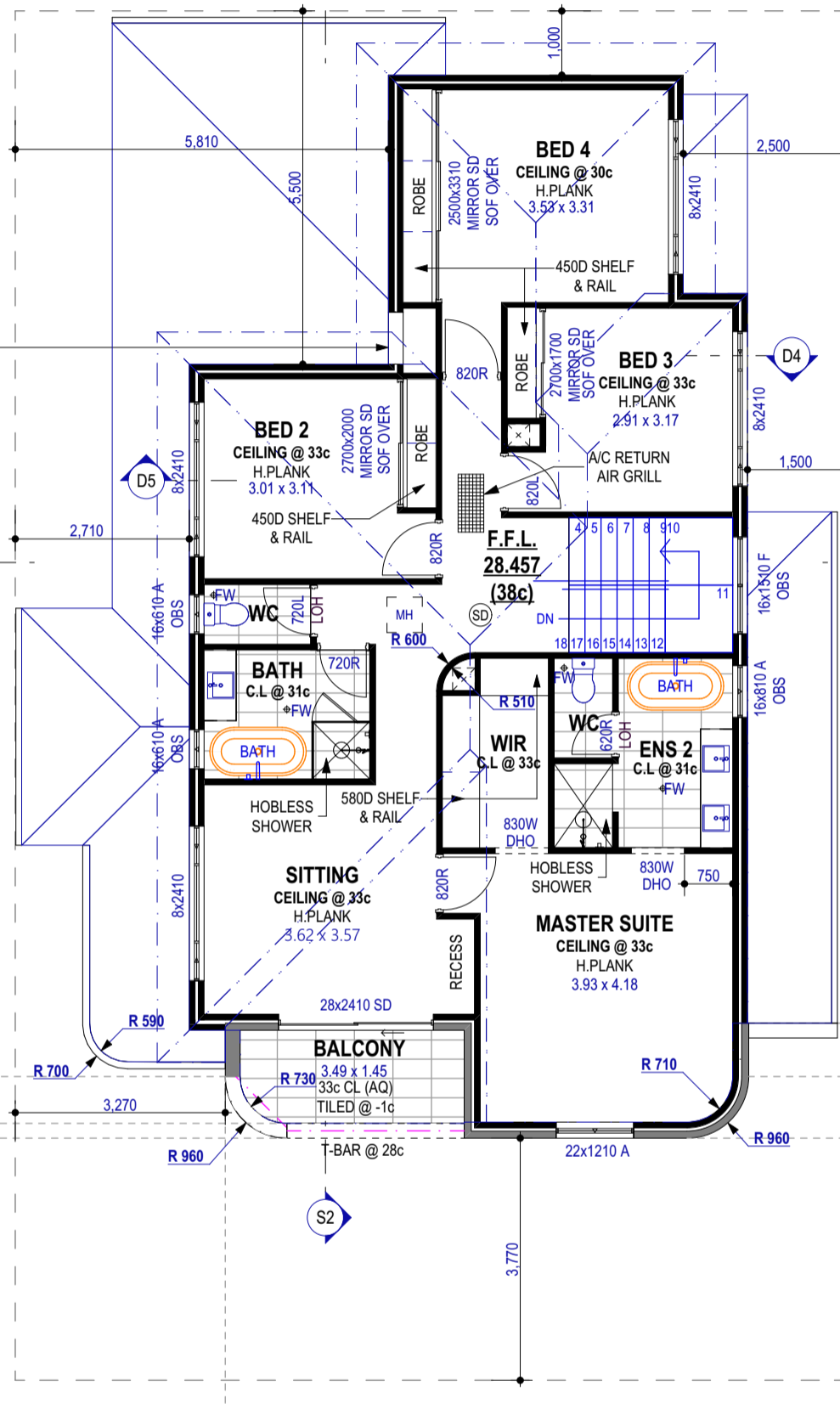
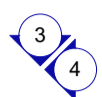
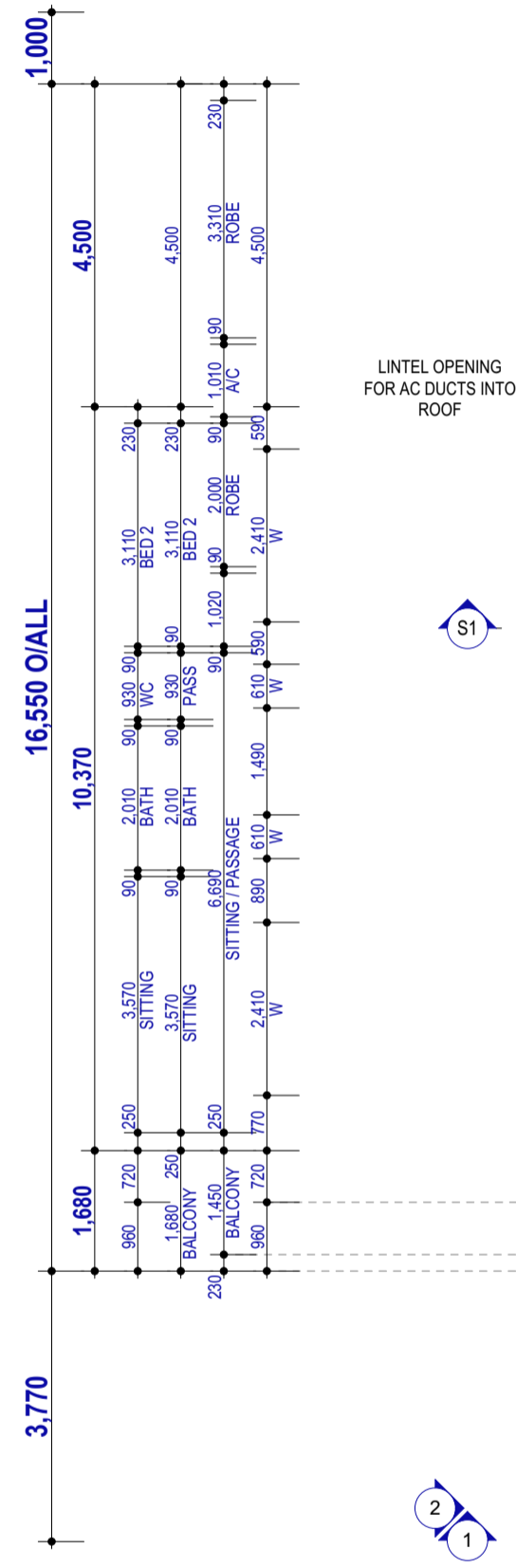
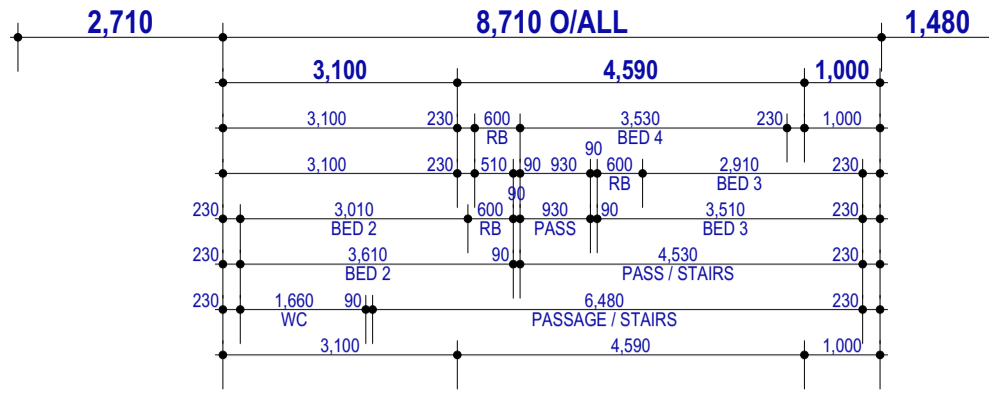
34c CEILINGS TO FIRST FLOOR UNLESS OTHERWISE NOTED.

**BRICK LAYER NOTES:**  
ACRYLIC RENDER NOTE: EXTENT OF ACRYLIC RENDER TO FRONT ELEVATION. CONTRASTING COLOUR AS PER ELEVATIONS

**ENGINEERS NOTE:**  
ALL ENGINEERS NOTATIONS, BEAM LAYOUTS & STRUCTURAL COLUMNS AS PER ENGINEERS DRAWINGS.

**FIXING CARPENTER:**  
ROBES & WIR  
1x SHELF & RAIL @ 1750 AFL  
LINEN  
4x 450w SHELVES

SITE CLASSIFICATION : A  
FOOTING DETAIL : ENG'S  
WIND CATEGORY : N1  
COASTAL CONDITIONS : NO



AREAS		
Name	Area	Peri...
ALFRESCO	11.750	14.400
BALCONY	6.052	10.389
DOUBLE GARAGE	37.220	27.859
HOUSE - FF	119.117	50.109
HOUSE - GF	121.957	54.959
VERANDAH	7.236	12.940
	303.332 m <sup>2</sup>	



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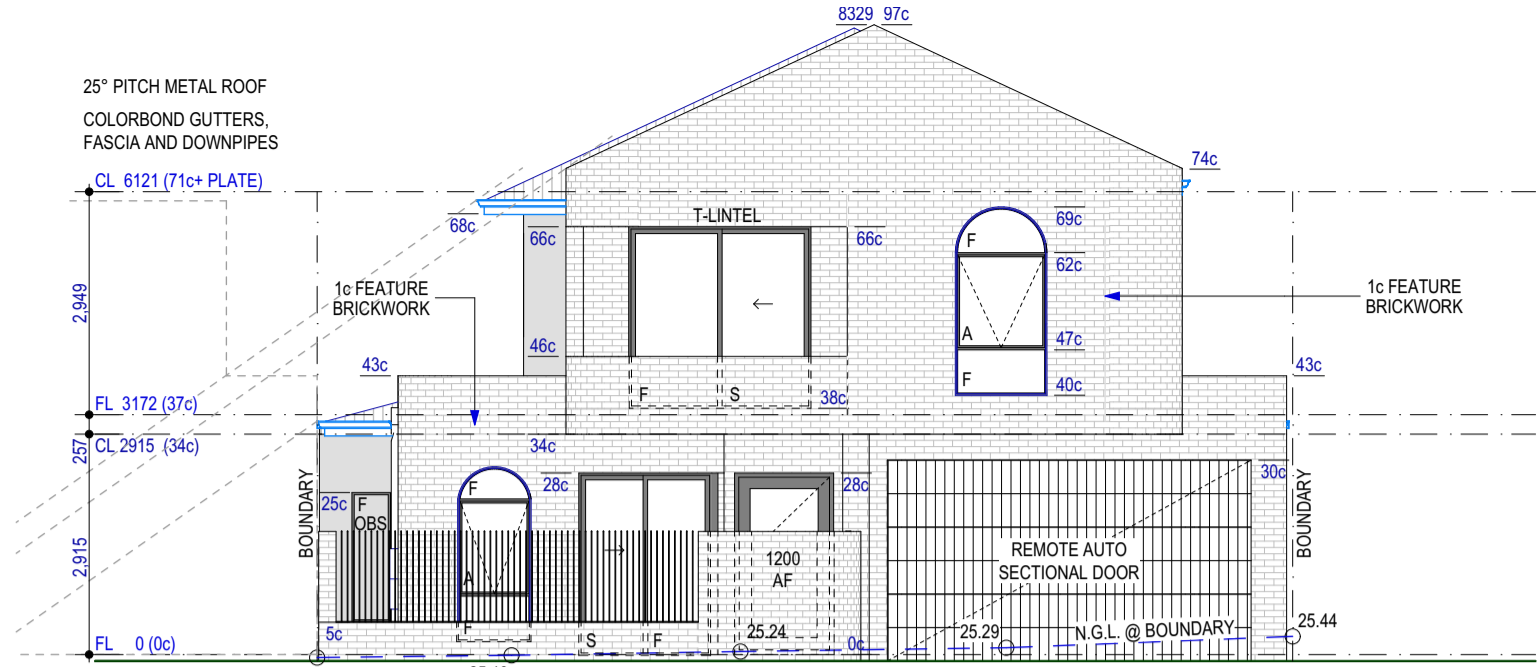
**OSBORNE BRICK HOUSE**

**FLOOR PLAN FF**

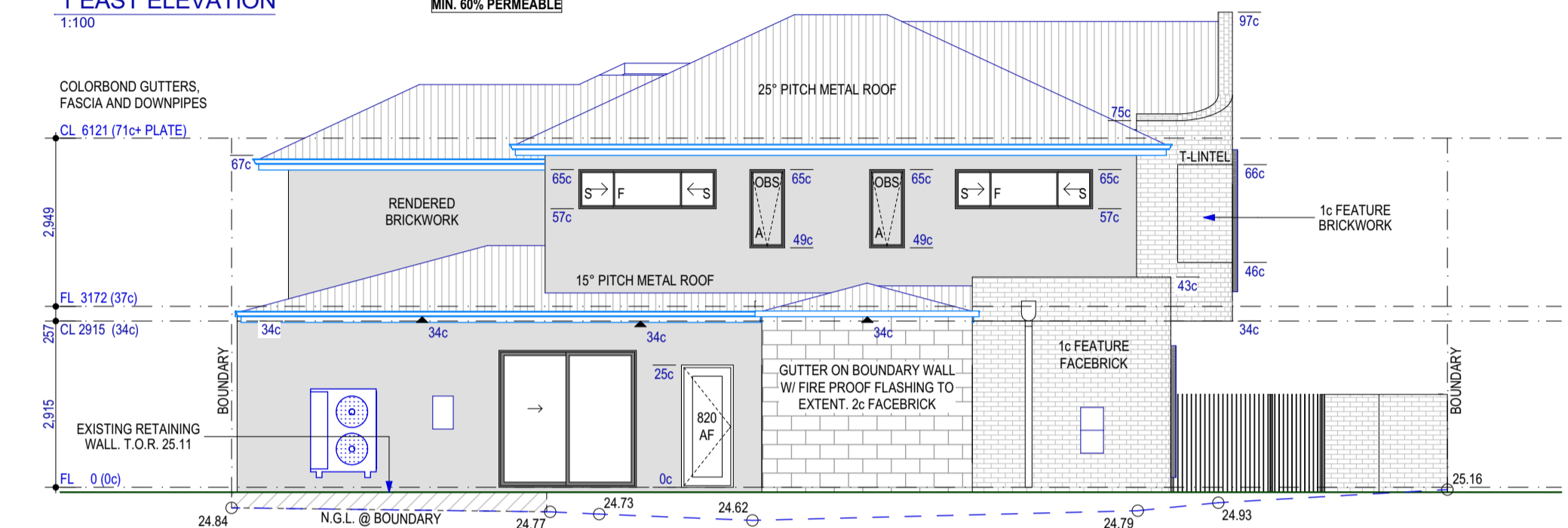
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SCALE: 1:1,100

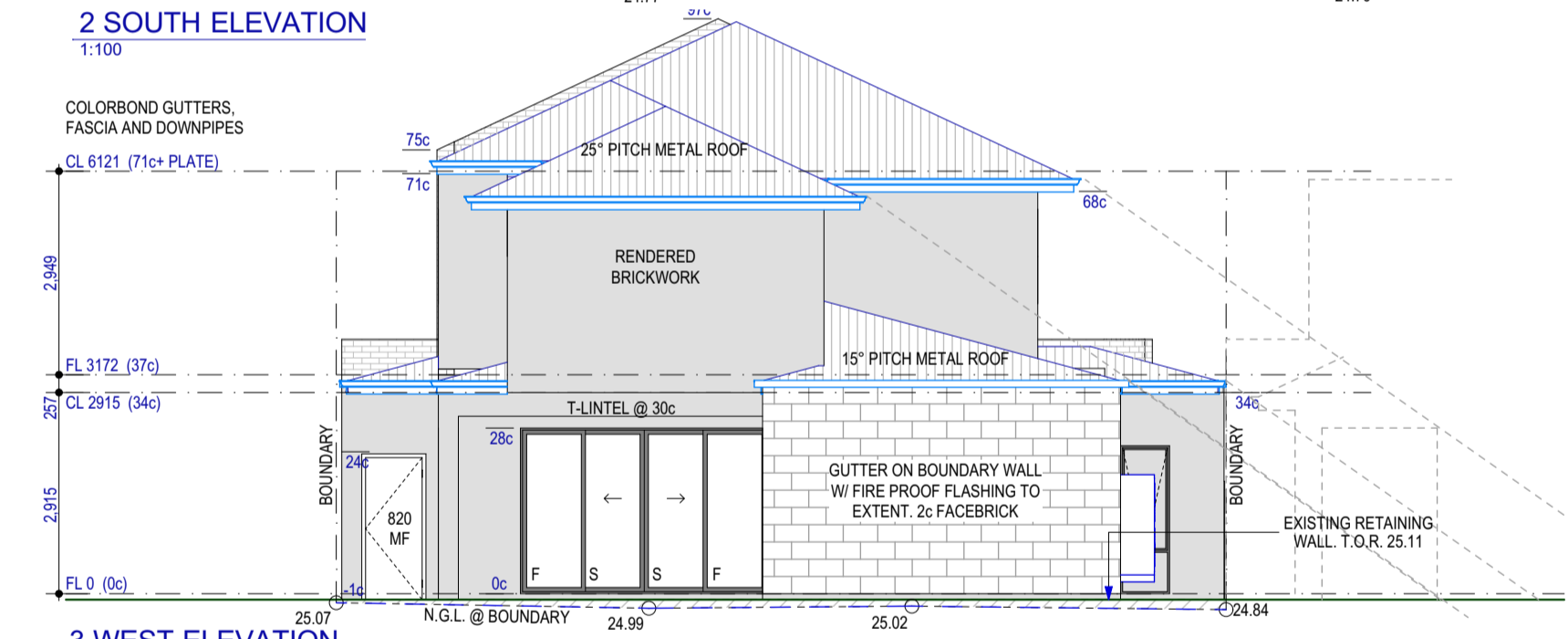
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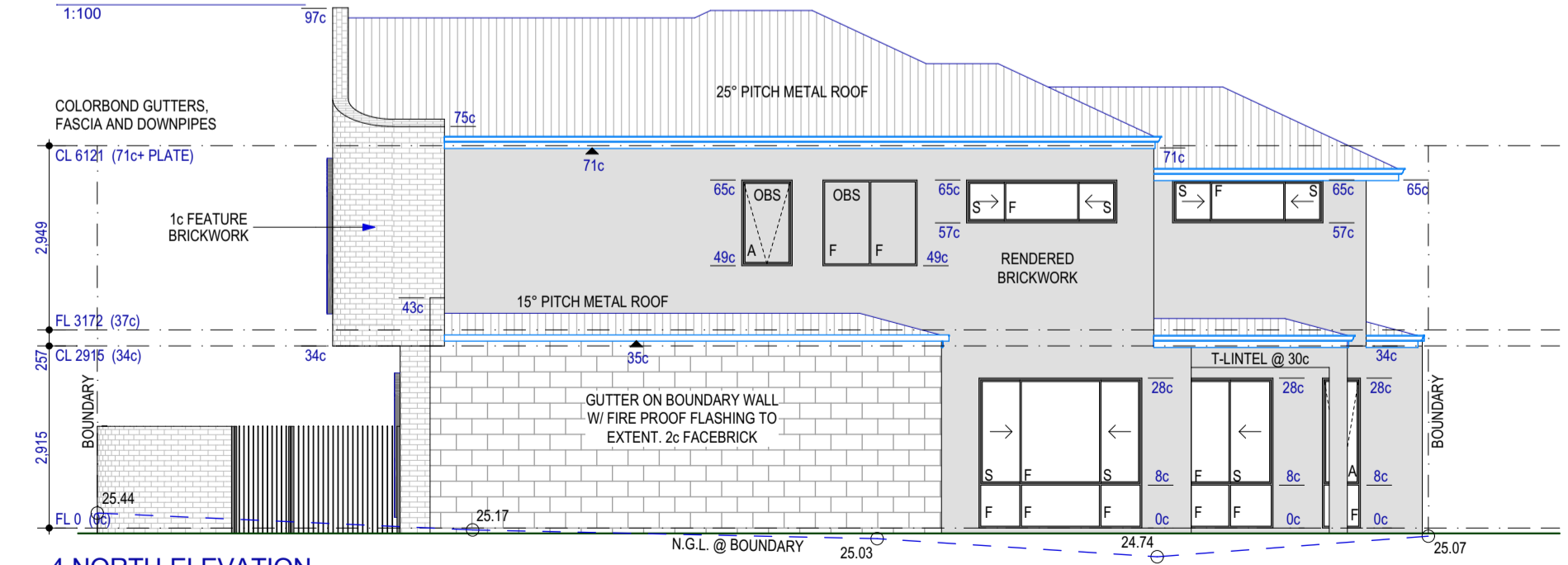
**1 EAST ELEVATION**  
1:100



**2 SOUTH ELEVATION**  
1:100



**3 WEST ELEVATION**  
1:100



**4 NORTH ELEVATION**  
1:100



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OSBORNE BRICK HOUSE ELEVATIONS	
DATE: 11/05/2026	SHEET N°: 06 of 14
SCALE: 1:100	JOB N°: 23032
REVISION N°: 10	