

21-0774

WORKING DRAWINGS

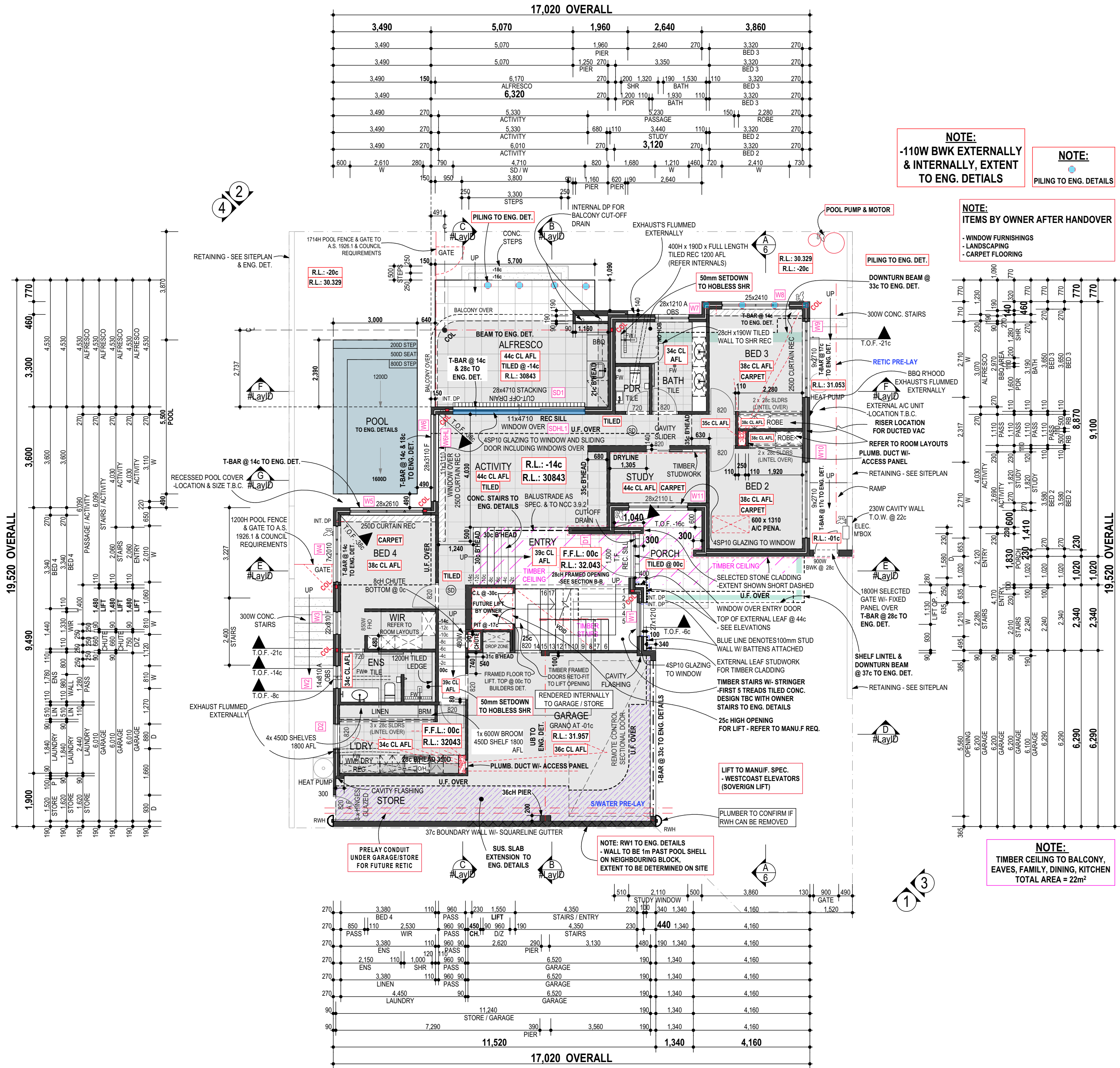
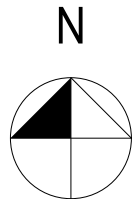
PROPOSED DEVELOPMENT: TWO STORY DWELLING
ADDRESS: S.S.Lot 2 of ORIGINAL Lot 60 (#14a) PHILLIP STREET, EAST FREMANTLE
LOCAL GOVERNMENT: TOWN OF EAST FREMANTLE
APPLICANT: KATNICH



- 1 COVER
- 2 SITE PLAN
- 3 GROUND FLOOR PLAN
- 4 FIRST FLOOR PLAN
- 5 ROOF PLAN
- 6 ELEVATIONS 1
- 7 ELEVATIONS 2
- 8 PERSPECTIVES WITH SOLAR PANELS



BLEND
RESIDENTIAL DESIGNS



ALL DOORS 28c UNLESS OTHERWISE NOTED

NOTE: DUCTED VACUUM SYSTEM TO BE INSTALLED. REFER TO SUPPLIER DETAILS FOR PRE-LAY LOCATIONS & PROVISIONS ETC

ENERGY PROVISIONS:
R5.1 INSULATION BATTS THROUGHOUT
R1.3 REFLECTIVE FOIL BLANKET THROUGHOUT TO INSIDE OF ROOF SHEETING
ROOF SHEETING COLOUR TO BE WHITE

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES

REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT

REFER TO SLAB SETOUT PLAN FOR SLAB, PRE-LAYS & WET AREA SETOUT

LOCATIONS OF DOWNPIPES INDICATIVE ONLY. FINAL POSITION AND QUANTITY OF DOWNPIPES TO BE DETERMINED BY QUALIFIED ROOF PLUMBER PRIOR TO WORKS.

ROOF FRAMING NOTE:
- ALL ROOF BEAMS SHOWN DIAGRAMMATIC ONLY
- CONVENTIONAL TIMBER FRAMED ROOF IN ACCORDANCE WITH AS 1684
- STRUCTURAL STEEL IN ACCORDANCE WITH NCC 3.4.4
- LVLs IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

SMOKE ALARM DEVICES SHALL BE INSTALLED TO:

- COMPLY WITH AS 3786-2014 SMOKE ALARMS
- BE CONNECTED TO THE CONSUMER MAINS (HARDWIRED), INTERCONNECTED & HAVE A STAND-BY POWER SUPPLY

LOCATIONS OF THE SMOKE ALARM DEVICE/S SHALL BE SHOWN ON THE PLANS

NOTE: TO SCALE ON A2 SHEET

SHEET No: 3 OF 26

REVISION: 36

JOB No: 21-0774

CLIENT: KATNICH

ADDRESS: 88 Lot 2 of ORIGINAL Lot 80 (#14) PHILLIP STREET, EAST FREMANTLE TOWN OF EAST FREMANTLE

DATE: DATE

DRAWN BY: BLEND

SCALE: 1:100

DATE DRAWN: OCT/2025

DRAWING NAME: GROUND FLOOR PLAN

NAME: NAME

ADDRESS: ADDRESS

SIGNATURE: SIGNATURE

DATE: DATE

I have viewed the plans dated AUG/2022 revision "0" and have no objections to the proposed variations relating to Building Design (not a total priority).

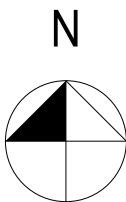
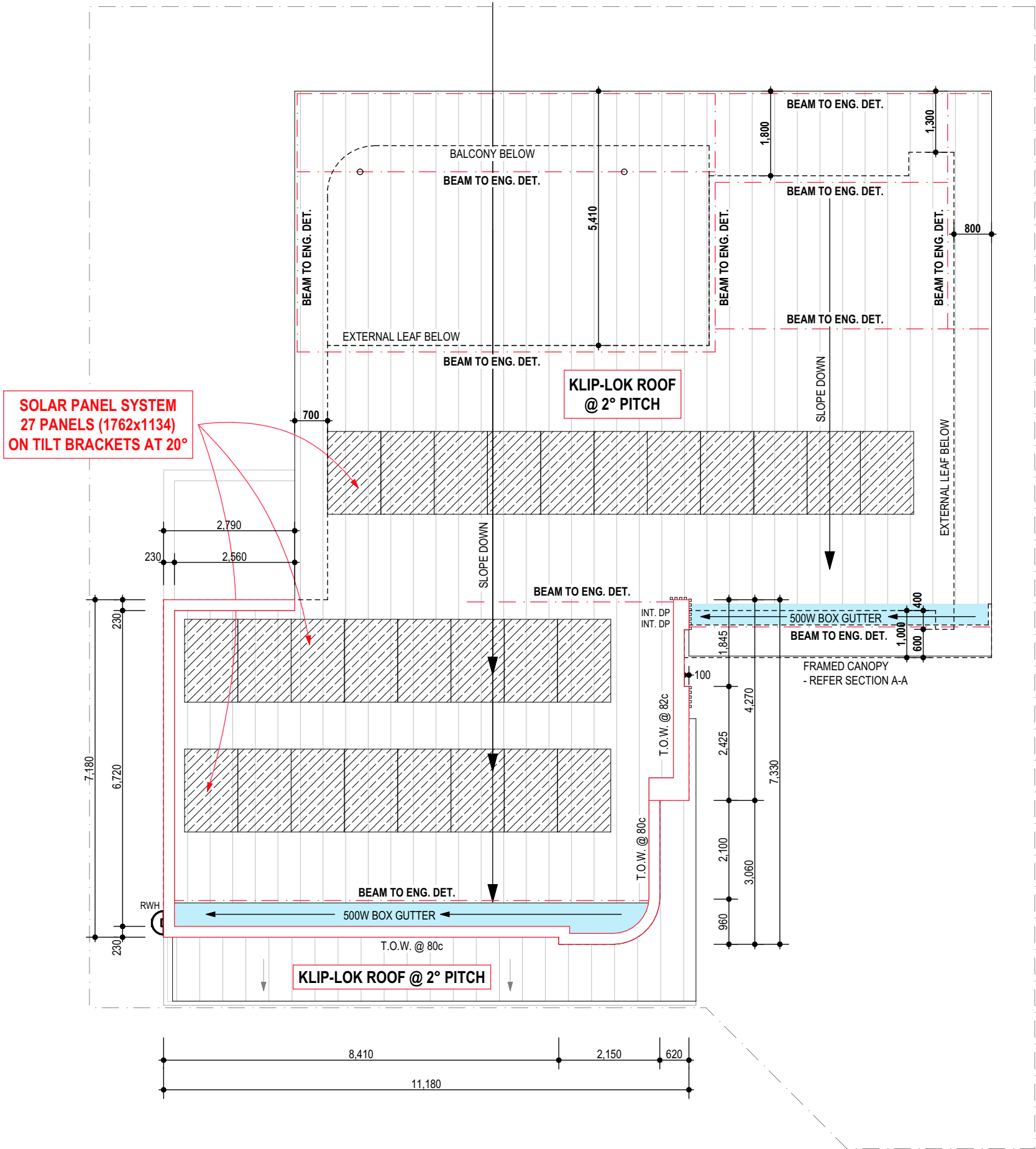
Blend Pty (08) 9448 4428
E: info@blenddesigns.com.au
W: www.blenddesigns.com.au
A PO Box 1124 Canning Bridge, Apurces WA

NOTE: TIMBER CEILING TO BALCONY, EAVES, FAMILY, DINING, KITCHEN TOTAL AREA = 22m²

ID	AREA	M ²	PERIM.
01	GROUND FLOOR	158.16	75.55
02	GARAGE	42.36	27.50
03	STORE	8.71	13.24
04	PORCH	8.71	14.85
05	ALFRESCO	20.64	18.81
	238.58 m²	149.95 m	

ID	AREA	M ²	PERIM.
05	FIRST FLOOR	170.80	65.91
06	BALCONY	33.09	24.31
07	FF PLANTER	9.63	12.50
	213.52 m²	102.72 m	

NOTE:
STRUCTURAL ENGINEER TO BE CONSULTED PRIOR
TO THE ADDITION / NOMINATION OF SOLAR PANELS
- DUE TO THE INCREASED WEIGHT ON EXISTING
BEAMS AND ROOF MEMBERS



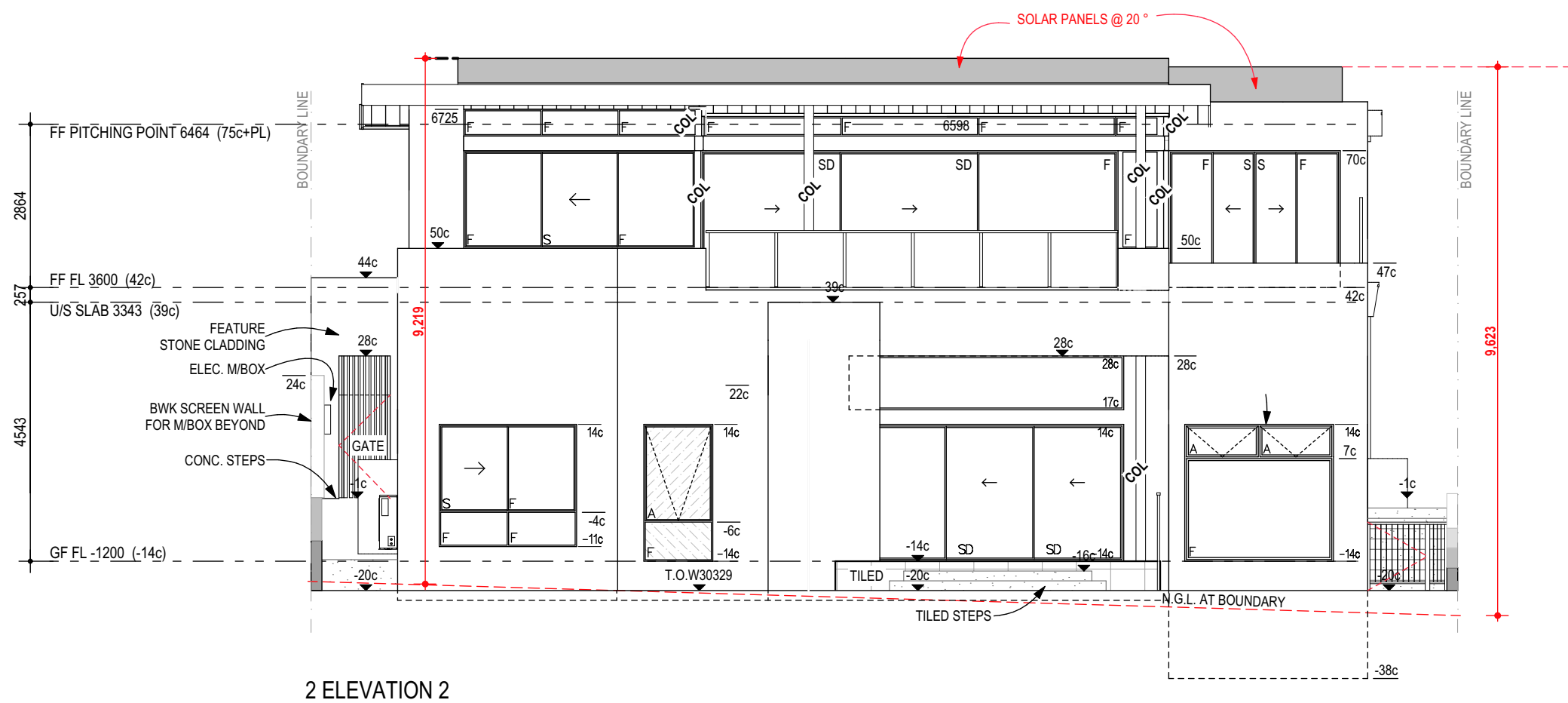
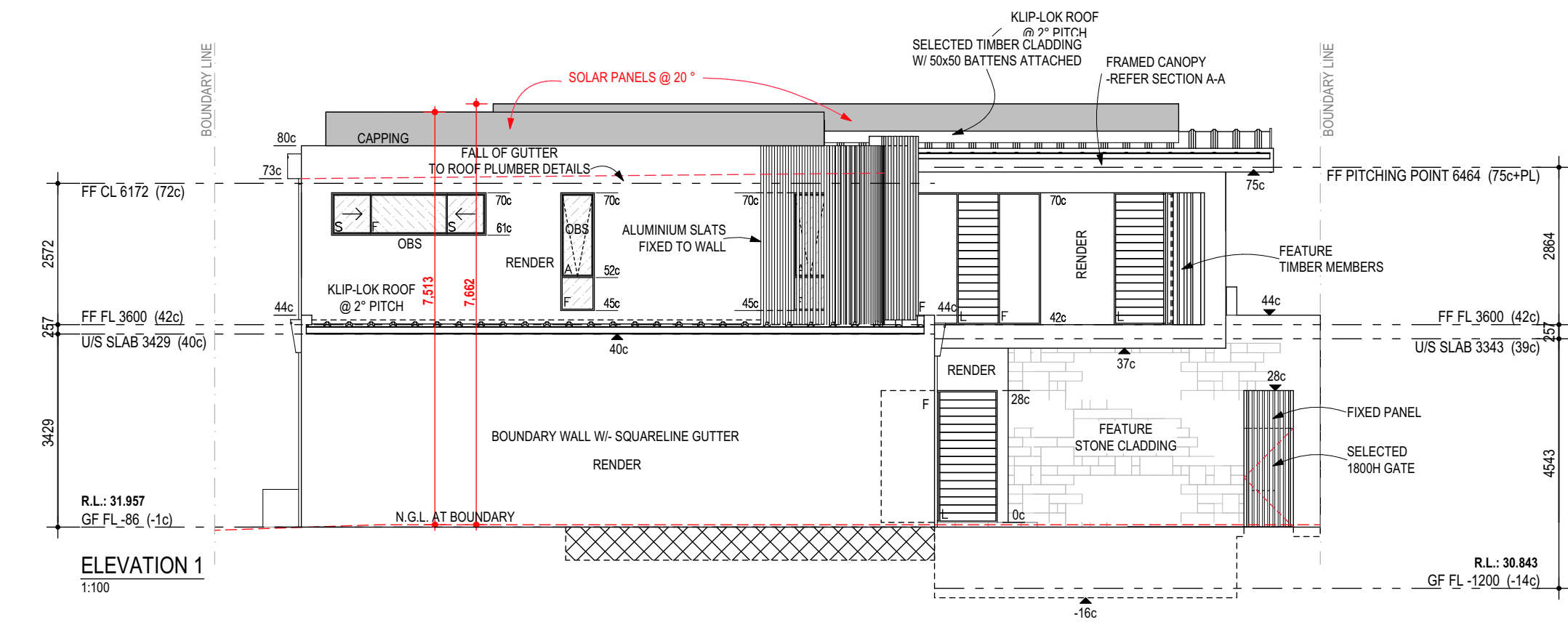
The contractor / builder is responsible for setting out and checking all levels and measurements on site. All dimensions are to be checked and verified by the owner / builder and any discrepancies in this document must be resolved before ordering or commencement of any works.		DRAWING NAME: ROOF PLAN	SHEET No: 5 OF 26	REVISION: 36	JOB No: 21-0774
These plans have been prepared for exclusive use by the client of Blend Residential Designs for the purpose expressly notified to the designer. The plans shall remain the sole property of Blend Residential Designs and must not be given, lent, resold or otherwise disposed or copied without the permission in writing from Blend Residential Designs.		NAME: _____	CLIENT: KATNICH		
		ADDRESS: _____	ADDRESS: S.S Lot 2 of ORIGINAL Lot 60 (#14a) PHILLIP STREET, EAST FREMANTLE TOWN OF EAST FREMANTLE		
		SIGNATURE: _____ DATE: _____	DRAWN BY: BLEND DATE DRAWN: OCT/2025 SCALE: 1:100		
Blend Ph: (08) 6465 4425 A: PO Box 1124 Canning Bridge, Applecross WA		E: info@blenddesigns.com.au W: www.blenddesigns.com.au	I have viewed the plans dated AUG/2022 revision "F" and have no objections to the proposed variations relating to building height and visual privacy.		

NOTE: TO SCALE ON A2 SHEET

REFER TO ENGINEERS DRAWINGS FOR
STRUCTURAL DETAILS & LAYOUT

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IMPOSED BY LOCAL AUTHORITIES

CAPPING TO PARAPET WALLS
AS REQUIRED TO NCC REQUIREMENTS



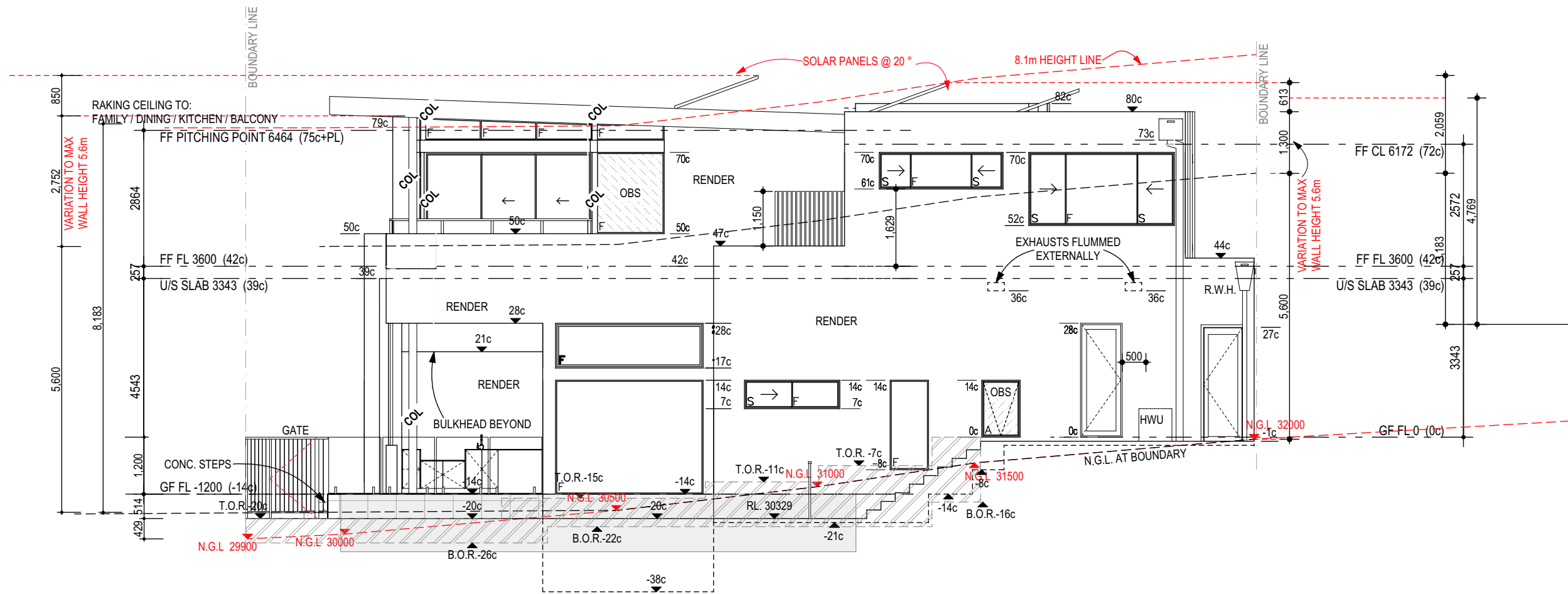
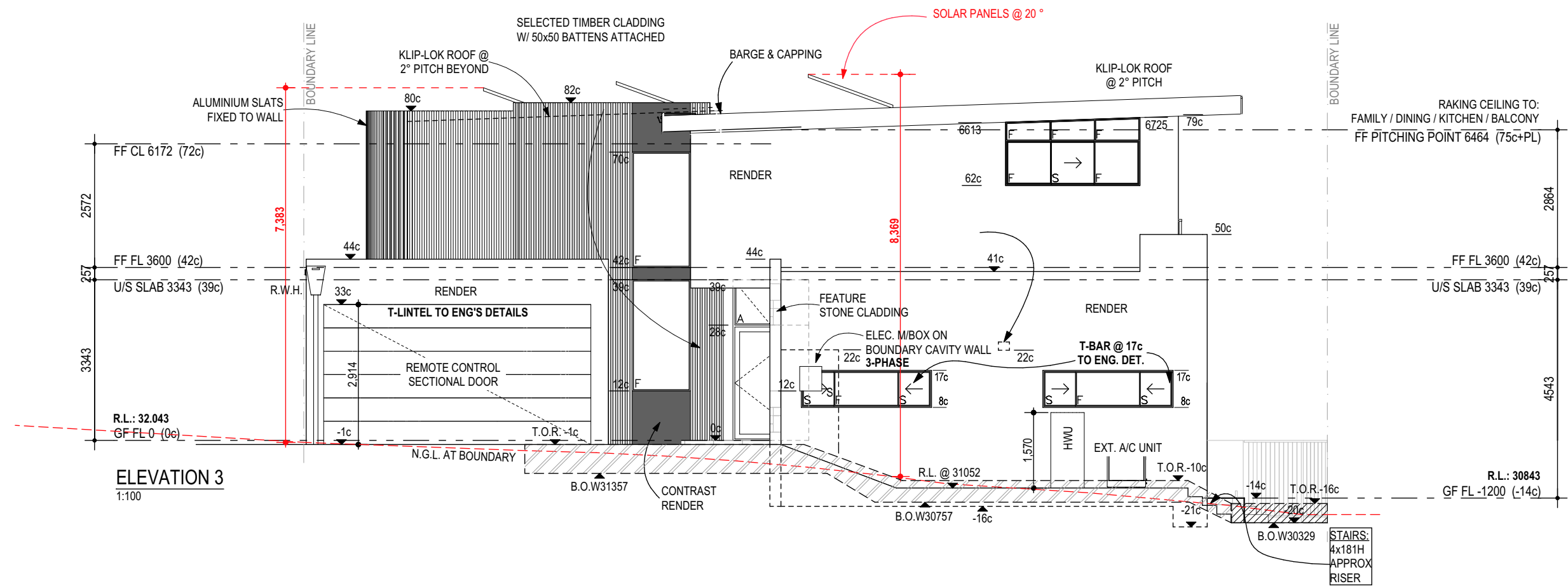
The contractor / builder is responsible for setting out and checking all levels and measurements on site. All dimensions are to be checked and verified by the owner / builder and any discrepancies in this document must be resolved before ordering or commencement of any works.		DRAWING NAME: ELEVATIONS 1	SHEET No: 6 OF 26	REVISION: 36	JOB No: 21-0774
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AS REQUIRED TO NCC REQUIREMENTS



ELEVATION 4



The contractor / builder is responsible for setting out and checking all levels and measurements on site. All dimensions are to be checked and verified by the owner / builder and any discrepancies in this document must be resolved before ordering or commencement of any works.		DRAWING NAME: ELEVATIONS 2	SHEET No: 7 OF 26	REVISION: 36	JOB No: 21-0774
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SOUTH EAST PERSPECTIVE



NORTH PERSPECTIVE



WEST PERSPECTIVE