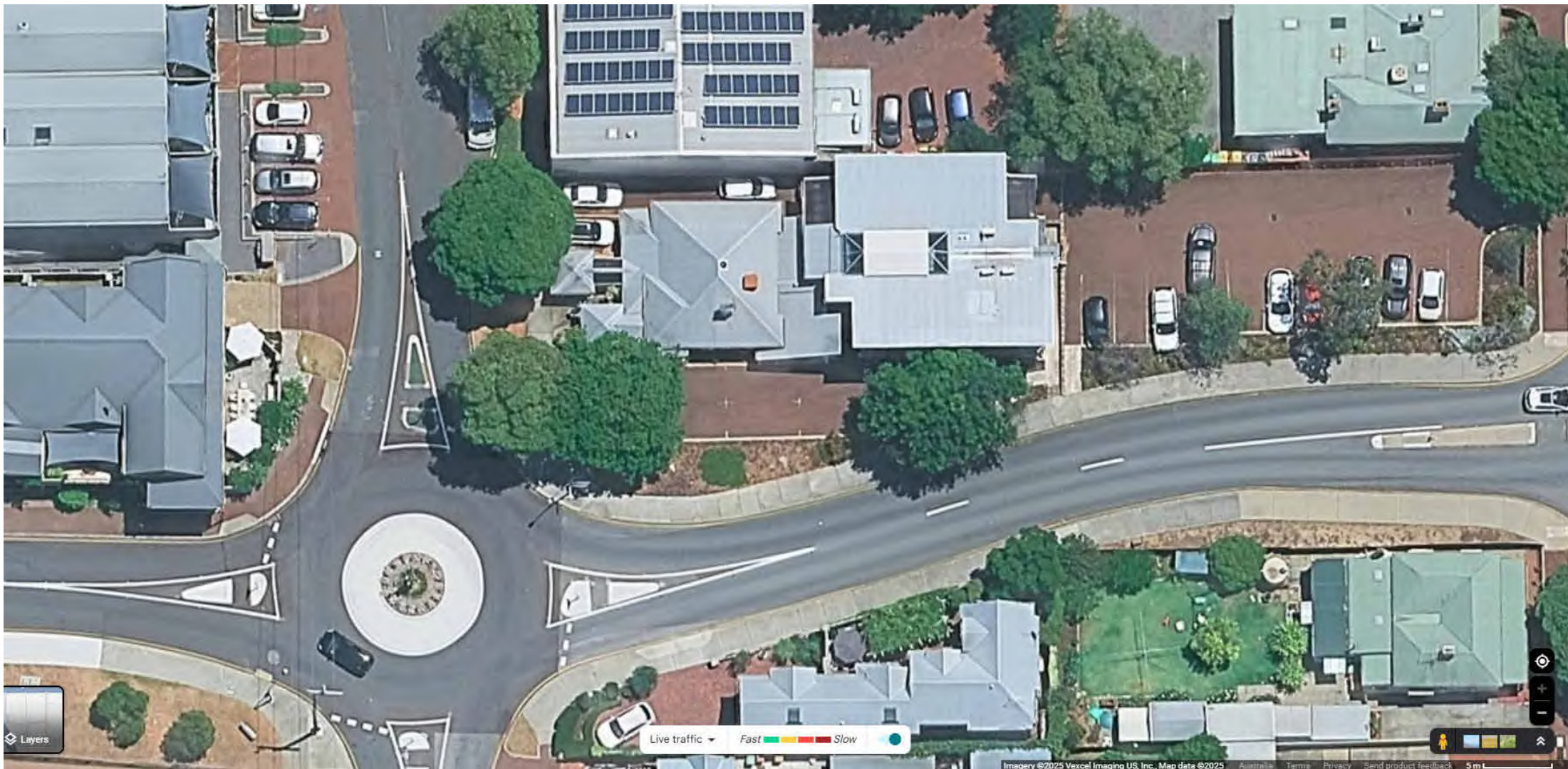


Sheet List			
Sheet Number	Sheet Name	Current Revision Description	Current Revision Date
A0.00	Cover		
A0.02	Feature Survey & Deposited Plan		
A0.03	Demolition Plan		
A0.04	BYD Services		
A0.05	BYD Services		
A0.06	Finishes Schedule		
A0.07	Building Methodology		
A1.01	Site Plan		
A1.02	Floor Plans - Ground, Lvl 1		
A1.03	Floor Plan - Lvl 2, Roof Deck		
A2.01	Elevations - W, SW, S, E		
A2.02	Elevations - N		
A3.01	Sections		



Revision	Description	Date

Sheet Name		
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Scale: at A1	Print Date	13/11/2025 8:51:22 AM

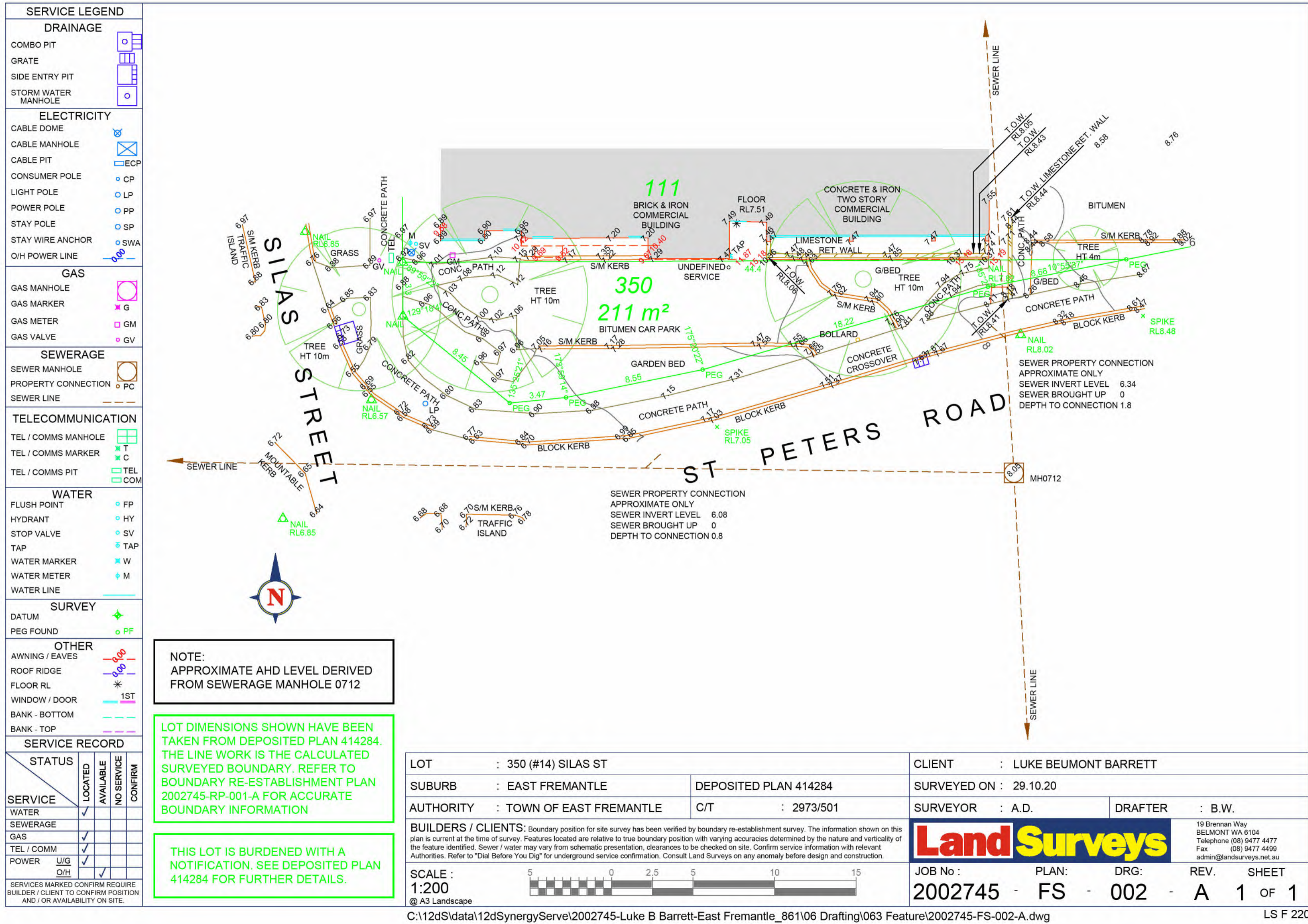
Project Number	Project Name
369	Silas Street Mixed-Use
Address	
Lawrence Associates Lot 350 - 14 Silas Street, East Fremantle, WA 6158	

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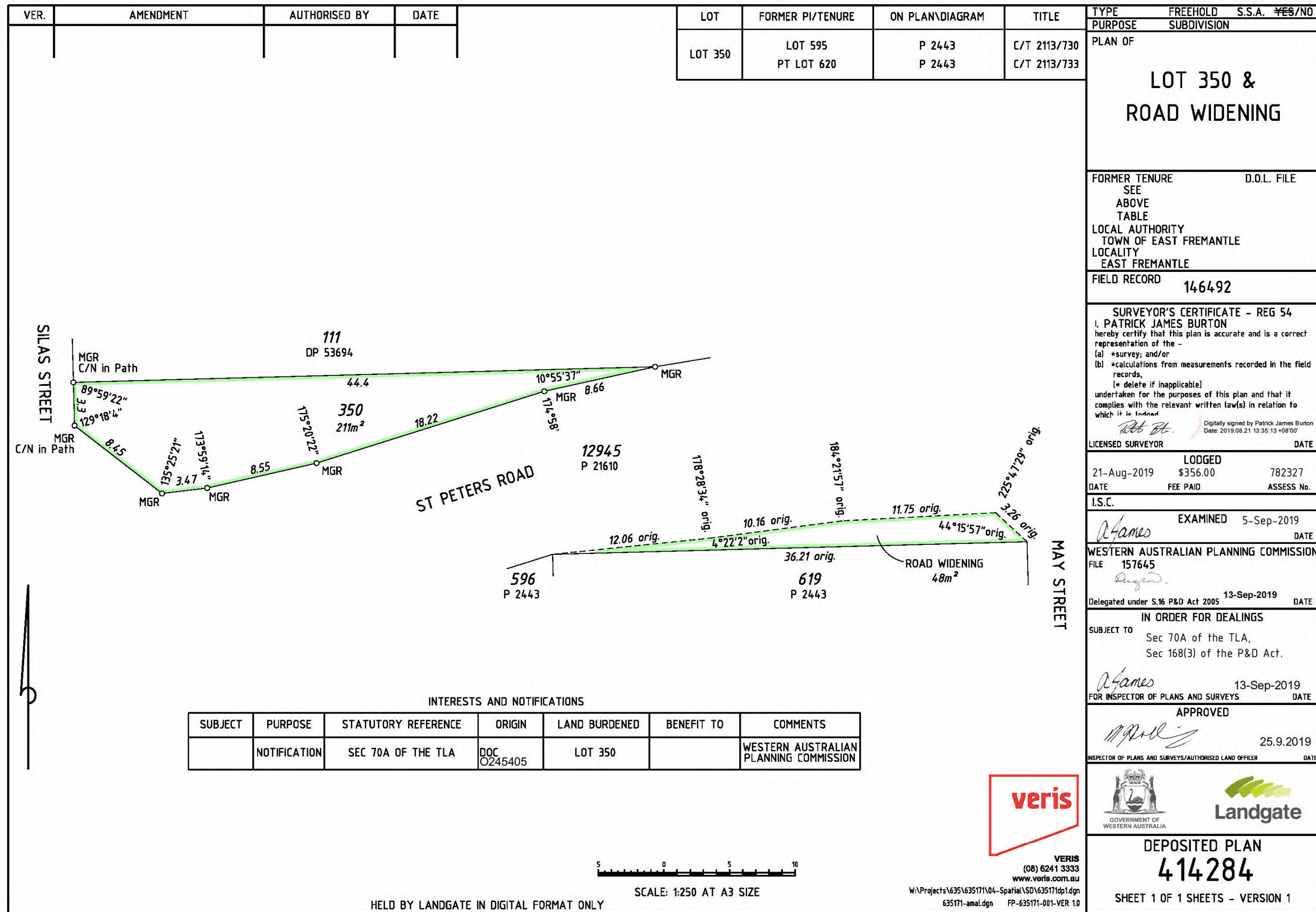
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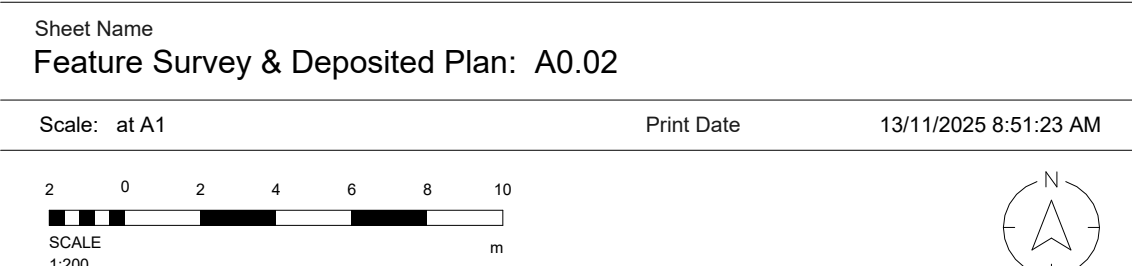


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Revision	Description	Date



Project Number 369 Project Name Silas Street Mixed-Use

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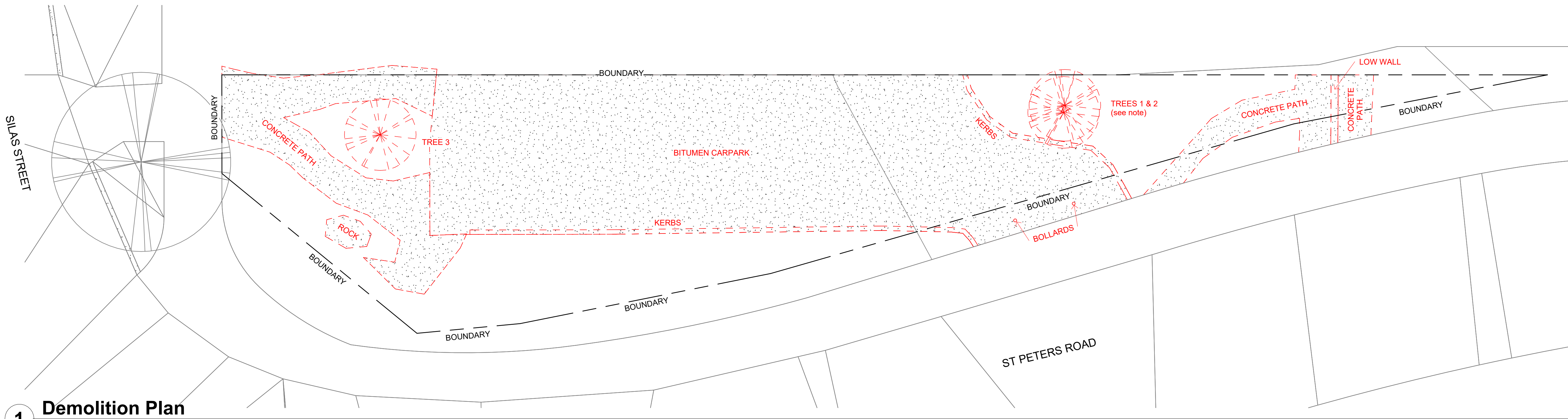
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10/09/2025

The Studio Rear 16 Florence Road
Nedlands WA 6009
Managing Director
Garry Lawrence

Re: Trees at 14 Silas Street East Fremantle.

Garry,

As per our discussion on the phone I visited site this morning to have a look at the tree(s) in question.

There are indeed two trees, Tree 1; *Schinus terebinthifolia* is in extremely poor condition, previous pruning work has left it as a totem. Several long limbs develop from historical "topping" points up through the canopy of Tree 2. Foliage appears undersized, extremely sparse, and chlorotic. This tree is not dead however, without significant intervention it is unlikely to have a life expectancy beyond 1-5 years.

Tree 2 is a *Ficus rubiginosa*, its main stem is developing intertwined with the first tree. This tree presents good vitality, displaying a full, dense canopy, composed of high-quality foliage. Pruning works to clear the balcony have resulted in a strongly assymetrical canopy, leaving stub cuts, these are not in line with AS4373-2007: Pruning of Amenity Trees. This may result in rapid development of poorly attached epicormic growth. Due to the way Tree 2 has developed, it appears Tree 1 is providing some level of support, without this, stability may be reduced and structural integrity cannot be guaranteed.



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T. (08) 9209 1455 M. 0410582778
E. trobinson@classictrees.com.au
Arbor West Pty Ltd
ABN. 33 070 245 975

If Tree 1 is removed it is unlikely that Tree 2 remains viable. Tree 2 will require significant ongoing pruning to maintain clearance from the adjacent building. Removal of these trees and re-planting good quality nursery stock with sufficient aftercare will improve viable long term canopy cover.

Following review of the supplied plans; it is recommended that only two semi-mature trees are planted given the available space to prevent future developmental issues. Savings from the purchase of the additional trees can be better used to provide post planting care including watering and formative pruning to improve chance of survival and long term viability. This is a priority on this site due to the limited available space and soil volume.

Kind Regards,

TOM ROBINSON
BSc (Hons) Ecology
ND Arboriculture – *Merrist Wood UK*

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SENIOR CONSULTANT
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NOTES

- Existing structures and vegetation to be fully demolished and removed.
- Site to be cleared of all debris, vegetation, and loose material.
- Final surface to be left clean, level, and suitable for future construction works.

EXISTING TREES IDENTIFIED FOR REMOVAL (REFER ARBORIST LETTER)

Tree 1 - Brazilian Pepper (*Schinus terebinthifolius*)

- Extremely poor condition, previous pruning work has left it as a totem
- Unlikely to have a life expectancy beyond 1-5 years.

Tree 2 - Port Jackson Fig (*Ficus rubiginosa*)

- Root systems are highly invasive and pose a long-term risk to surrounding infrastructure and the adjacent building.
- Strongly asymmetrical canopy, leaving stub cuts, not in line with AS4373-2007: Pruning of Amenity Trees
- Tree 1 is providing some level of support to Tree 2. Without Tree 1, stability may be reduced and structural integrity cannot be guaranteed.
- Removal of Tree 1 and 2, and re-planting with good quality nursery stock with sufficient aftercare will improve viable long term canopy cover.

Tree 3 - Brazilian Pepper Tree (*Schinus terebinthifolius*)

- Non-native, invasive species with aggressive root systems.
- Roots pose a risk to nearby services, hardstand areas, and building foundations.
- Removal recommended to prevent long-term damage and to improve site ecology by eliminating a known environmental weed.

2 Aborist Letter
1 : 1

Revision	Description	Date

Sheet Name Demolition Plan: A0.03		
Scale: As indicated at A1	Print Date	13/11/2025 8:51:23 AM
0.5 0 0.5 1 1.5 2 2.5 SCALE 1:50 m		
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Project Number 369	Project Name Silas Street Mixed-Use
Address Lawrence Associates Lot 350 - 14 Silas Street, East Fremantle, WA 6158	

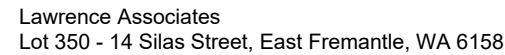
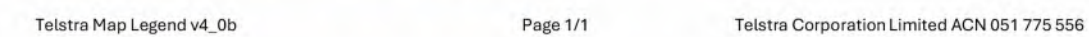
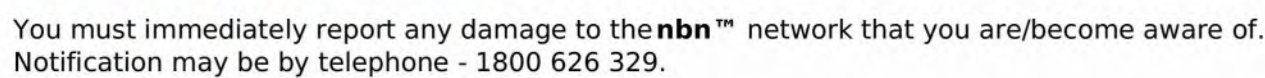
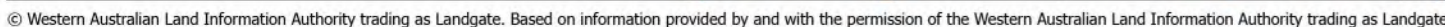
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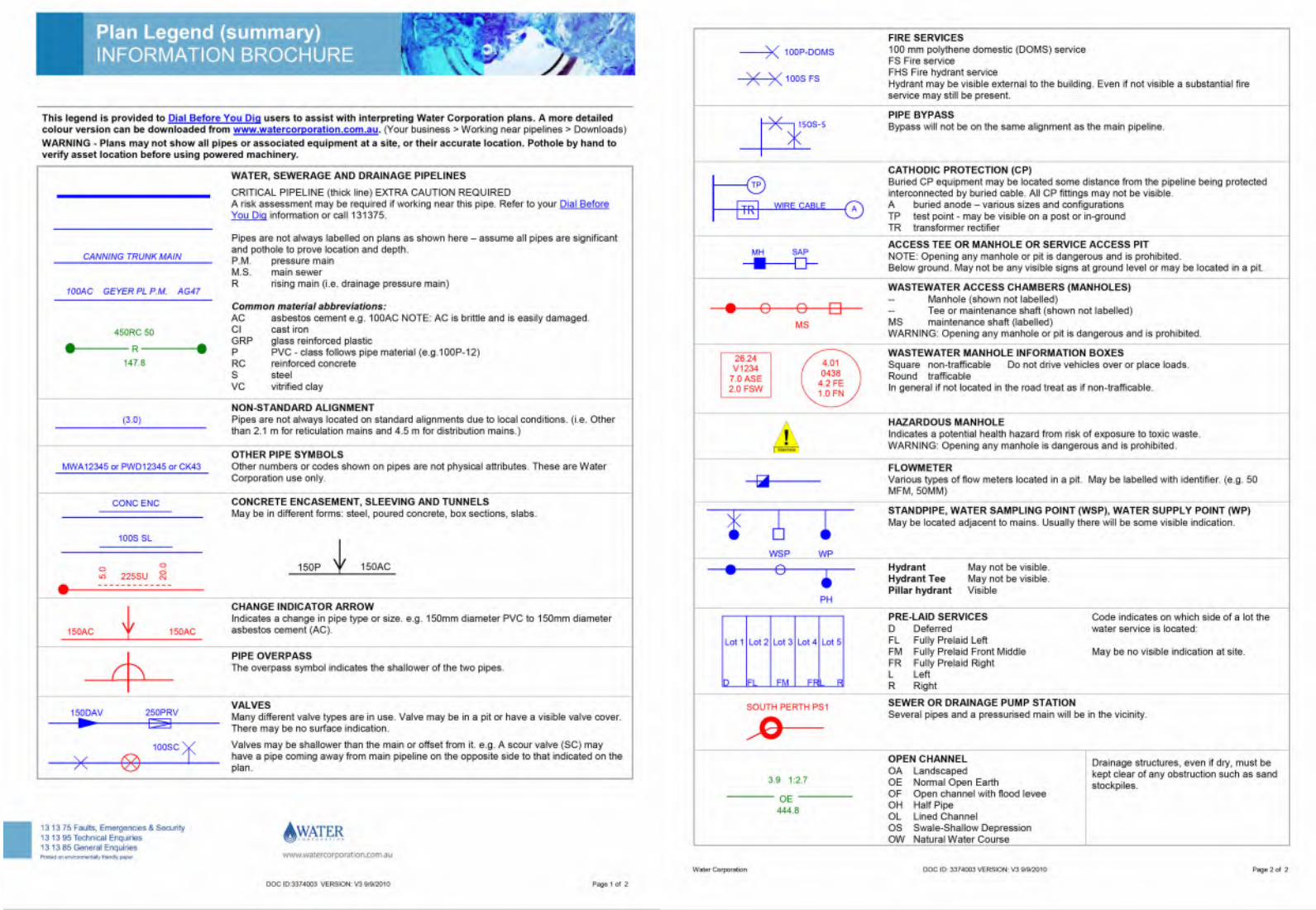


1 BYD - Western Power 1:1

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3 **BYD - Water Corp - Sewer**
1 : 1

[illegible]

Sheet Name BYD Services: A0.05	Print Date 13/11/2025 8:51:27 AM
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Project Number	Project Name
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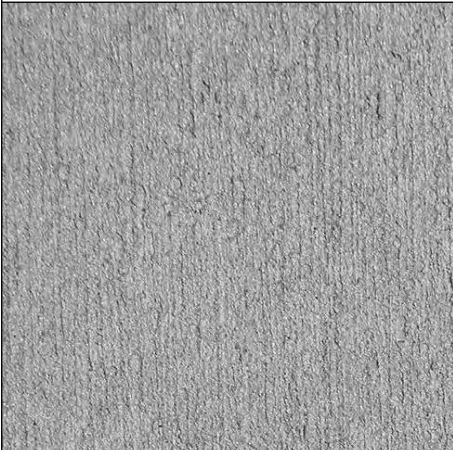
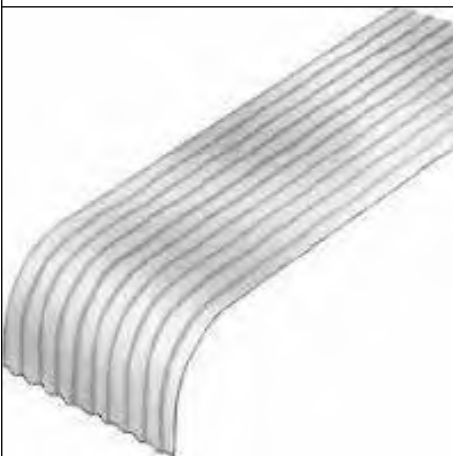
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EXTERNAL FINISHES			
SWATCH	NUMBER	DESCRIPTION	LOCATION
	E.01	Standard brushed grey concrete	Carport, Entry Path, Roof Deck
	E.02	Textured Exterior Paint - Dulux Texture Full Cover Exterior Paint or similar Colour: Heritage brick colour, Dulux Carmen Miranda or similar.	External Walls
	E.03	Exterior Paint Colour: White or Off-White	External trim, columns, balustrades, balcony brackets
	E.04	Corrugated Steel Roofing Colour: Zinc/Galvanised Finish	Balcony Roof
	E.05	Aluminium Window Frame Colour: White	Window frames, external door frames.

Revision	Description	Date

Sheet Name		
Finishes Schedule: A0.06		
Scale: 1 : 1 at A1	Print Date	13/11/2025 8:51:27 AM

Project Number	Project Name
369	Silas Street Mixed-Use
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BUILDING METHODOLOGY

Overview

The proposed construction at 14 Silas Street presents a unique set of site challenges due to full site coverage and limited access. A highly efficient and low-impact methodology has therefore been developed in collaboration with Tool Time Construction, a local East Fremantle builder located less than 50 metres from the site. Their proximity allows for daily oversight, rapid coordination, and a strong commitment to maintaining good relationships with neighbouring residents and businesses.

Builder Location and Parking

- Tool Time Construction's offices at 24 May Street provide off-street parking, toilets and lunchroom facilities for all staff.
- No verge or street parking will be required. All trades will park at the builder's premises or in the public carpark behind the veterinary centre, in accordance with parking regulations.

Site Establishment and Management

- A 1.8 m high perimeter safety fence will be installed just inside the boundary wall and clad with shade cloth for dust control. The fencing will include inward-opening gates and will not display advertising.
- A site office will be established onsite containing first-aid facilities, safety documentation, and management procedures.
- Works will occur only between 7 am – 7 pm Monday to Saturday.
- Tool Time Construction will complete dilapidation reports on adjoining properties before works begin.

Construction Methodology

- The build will use the Tru-Struct CFC permanent formwork system, chosen for its speed, cleanliness, and minimal environmental impact.
- This method removes the need for bricklaying or wet plastering —no sand, mortar mixers or dust-generating activities onsite.
- Each concrete deck will be formed and poured using a concrete pump positioned on St Peters Street.
- Pre-made wall panels will then be craned onto the deck while the slab cures, and core-filled with concrete once curing is complete.
- This cycle will repeat approximately every four weeks, with structural completion expected within six months of commencement.
- Lower-level fit-outs can commence while upper levels are under construction, significantly shortening overall build time.

Traffic and Delivery Management

- Deliveries will occur from St Peters Street, with a Traffic Management Plan prepared by ATM Traffic Management for safe loading and unloading.
- Coordination with the Town of East Fremantle's Infrastructure Team will determine whether a small unmanned tower crane or managed ground-level system will have the lesser impact.
- Deliveries will be limited to standard working hours to minimise disturbance.

Site Isolation and Safety

- The site will remain fully enclosed for the duration of works. Tool Time Construction will seek to hire a narrow verge strip around the site for safe work access and separation from the public.
- All workers will complete Tool Time's site induction, which covers safety, environmental management and community impact awareness.
- A dedicated Site Supervisor (Sean Sicree) will oversee all site activities, ensuring compliance with Tool Time's Safety Management Plan and OSH Regulations.

Dust, Noise and Environmental Control

- Shade-cloth fencing and water jets will be used for dust suppression during demolition and material handling.
- Prefabricated formwork construction eliminates brick cutting and mortar mixing, reducing both noise and airborne dust.
- Rubbish will be contained within the ground-floor area and removed regularly to licensed waste facilities where it will be sorted for recycling.
- Wherever practicable, materials will be supplied with minimal oversupply, and pallets and containers will be returned to suppliers for reuse.

Stakeholder and Heritage Coordination

- Tool Time Construction has already engaged with the adjoining Medical Centre to coordinate safe access and minimise disruption during construction.
- The team has a proven record in heritage-sensitive projects and will liaise with the Town of East Fremantle on any matters relating to façade finishes or adjoining heritage fabric.

Construction Timeframe and Local Integration

- Structural works are expected to be complete within six months, with full construction taking approximately 16 –18 months.
- The brick-red finish with white heritage-inspired accents has been selected to complement East Fremantle's established character.
- As a local company, Tool Time Construction is committed to completing the project efficiently, safely, and with minimal disruption to neighbours and the wider community.

Revision	Description	Date

Sheet Name Building Methodology: A0.07		
Scale: at A1	Print Date	13/11/2025 8:51:27 AM

Project Number 369	Project Name Silas Street Mixed-Use
Address Lawrence Associates Lot 350 - 14 Silas Street, East Fremantle, WA 6158	

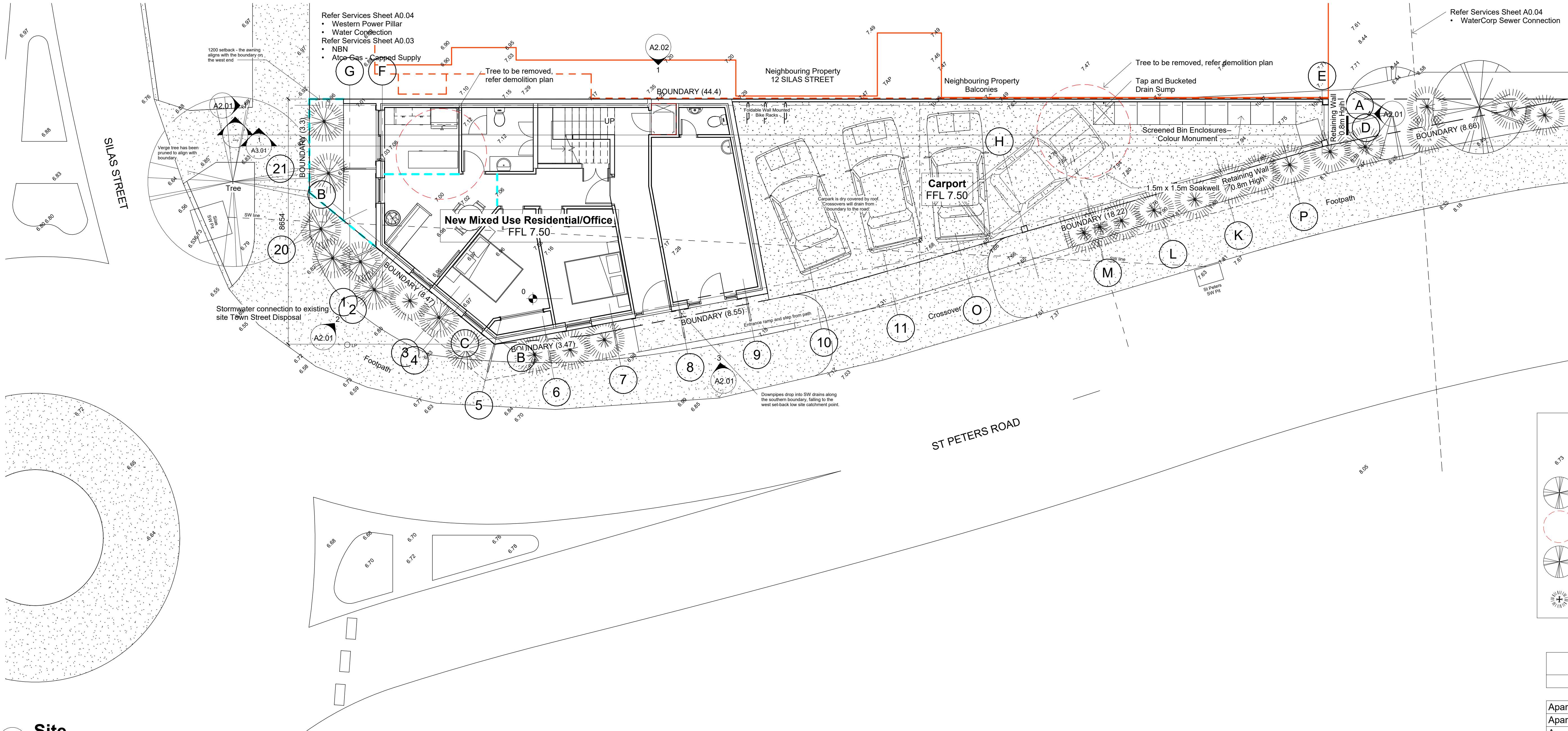


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1 Site
1 : 75

LEGEND

- Existing Site Level
- Existing Street Tree
- Existing Tree to be Removed
- New Mature Native Tree
- New Native Shrubs and Grasses

Internal Useable Areas

Name	Area
Apartment 1 - 2 Bed	55 m ²
Apartment 2 - 3 Bed	168 m ²
Apartment 3 - 3 Bed	168 m ²
Commercial Space	19 m ²
Grand total: 4	410 m ²

Site Area: 211m²

Allowed Plot Ratio: 2:1
Actual Plot Ratio: 1.94:1

Landscaping



Verge Landscaping:
A mix of hardy and drought tolerant native grasses and shrubs. Selection to be based on the East Fremantle Greening Guidelines document.



New Mature Native Trees:
2x new mature native trees to be planted to replace the invasive species' being removed. Tree selection to be confirmed based on advice and availability. Trees will be similar to the above, Eucalyptus victrix 'Little Ghost Gum' (left), and Eucalyptus utilis/Coastal Moort (right).



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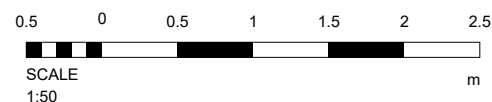
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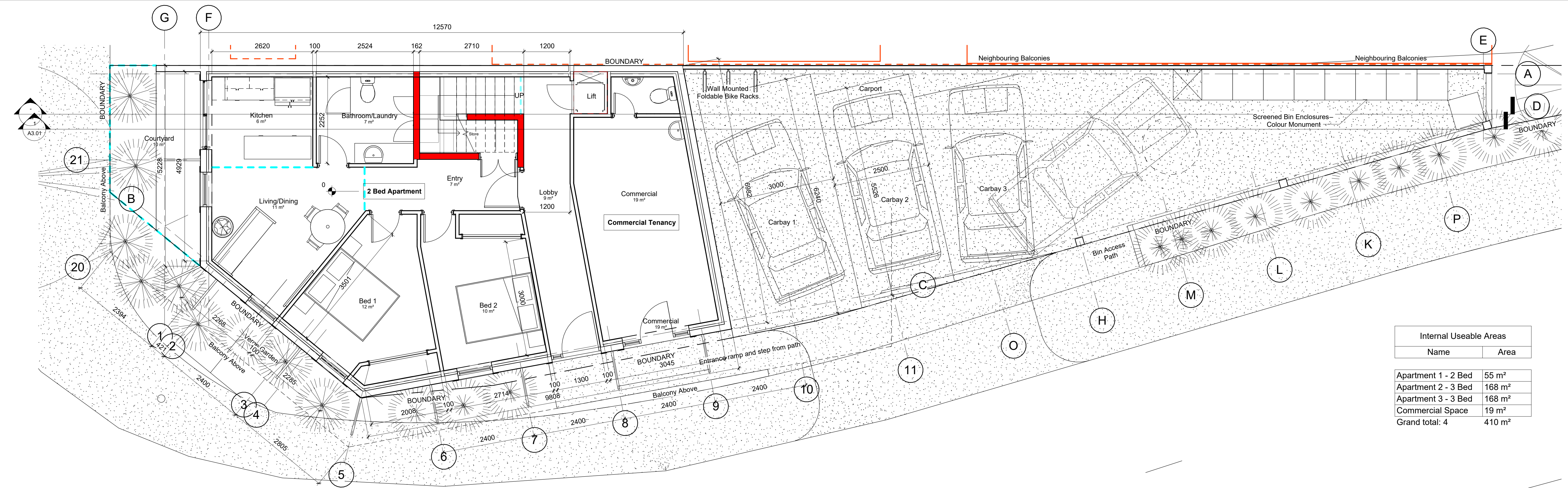


Project Number
369

Project Name
Silas Street Mixed-Use

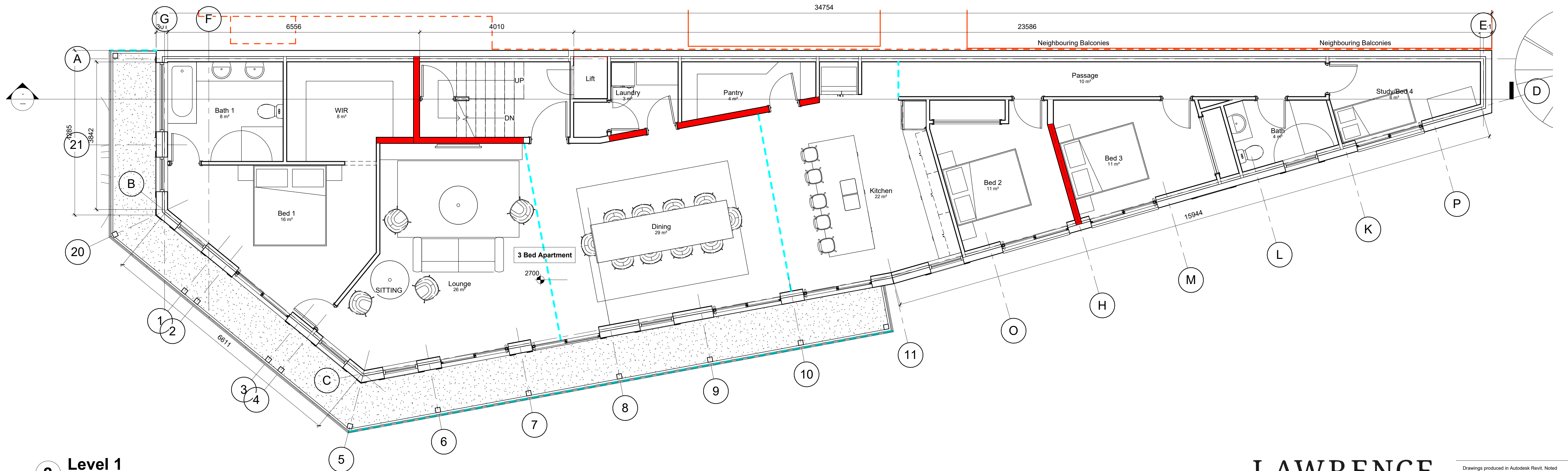
Address
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Internal Useable Areas	
Name	Area
Apartment 1 - 2 Bed	55 m²
Apartment 2 - 3 Bed	168 m²
Apartment 3 - 3 Bed	168 m²
Commercial Space	19 m²
Grand total: 4	410 m²

1 Ground
1 : 50



2 Level 1
1 : 50

Revision	Description	Date

Sheet Name Floor Plans - Ground, Lvl 1: A1.02	
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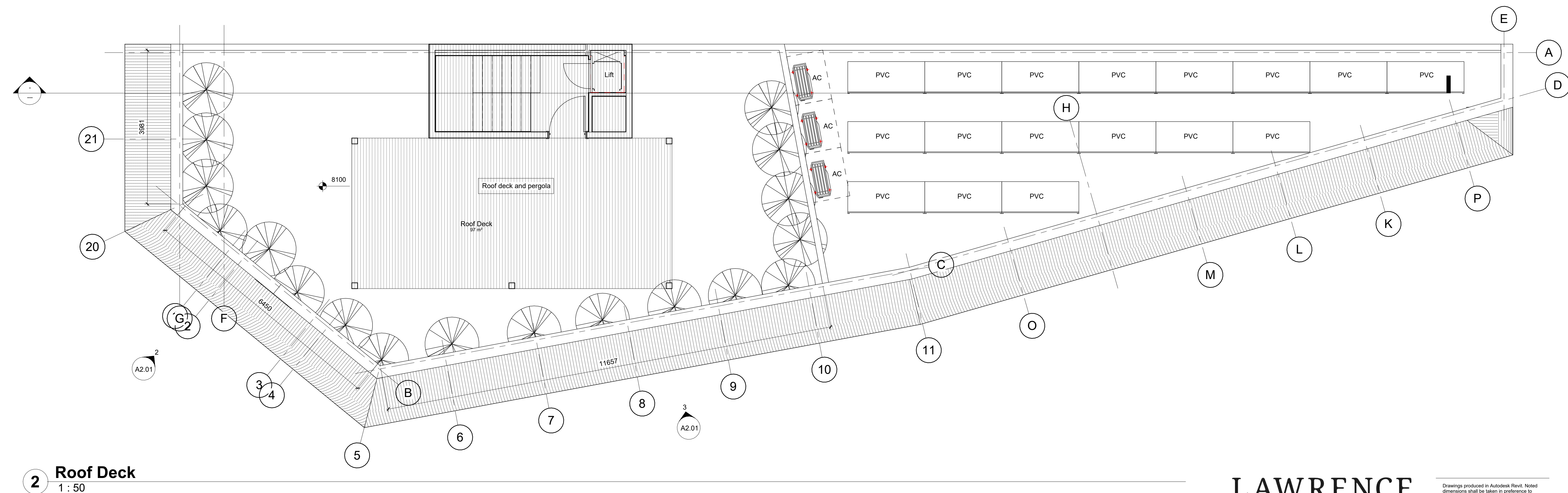
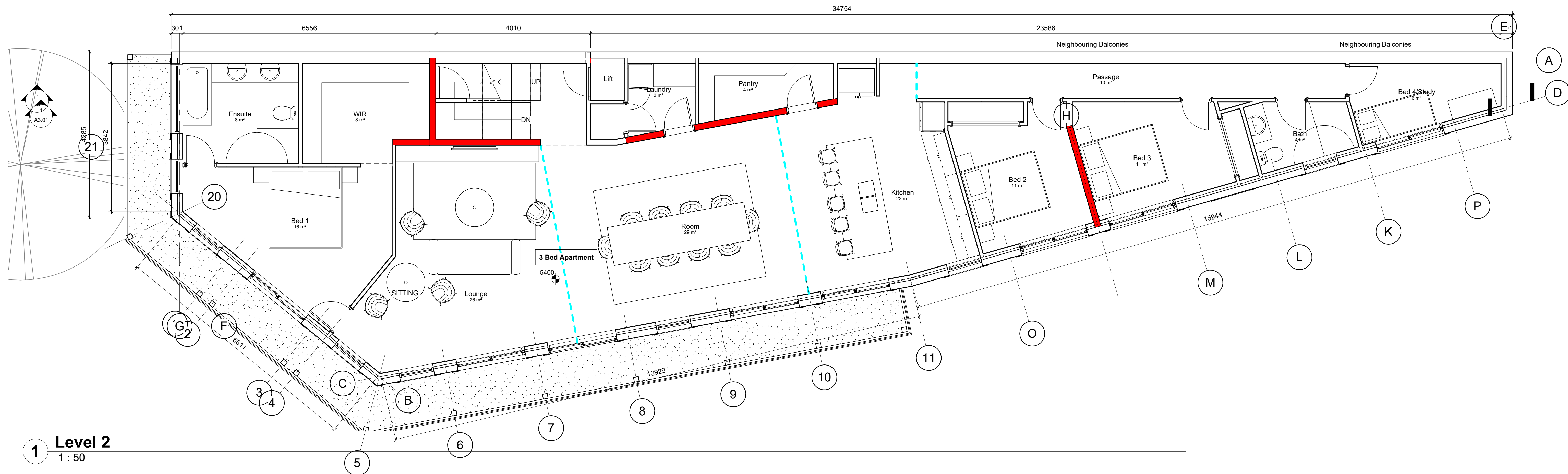
Project Number 369	Project Name Silas Street Mixed-Use
Address Lawrence Associates Lot 350 - 14 Silas Street, East Fremantle, WA 6158	

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Sheet Name
Floor Plan - Lvl 2, Roof Deck: A1.03

Scale: 1 : 50 at A1

Print Date

13/11/2025 8:51:30 AM



Project Number
369

Project Name
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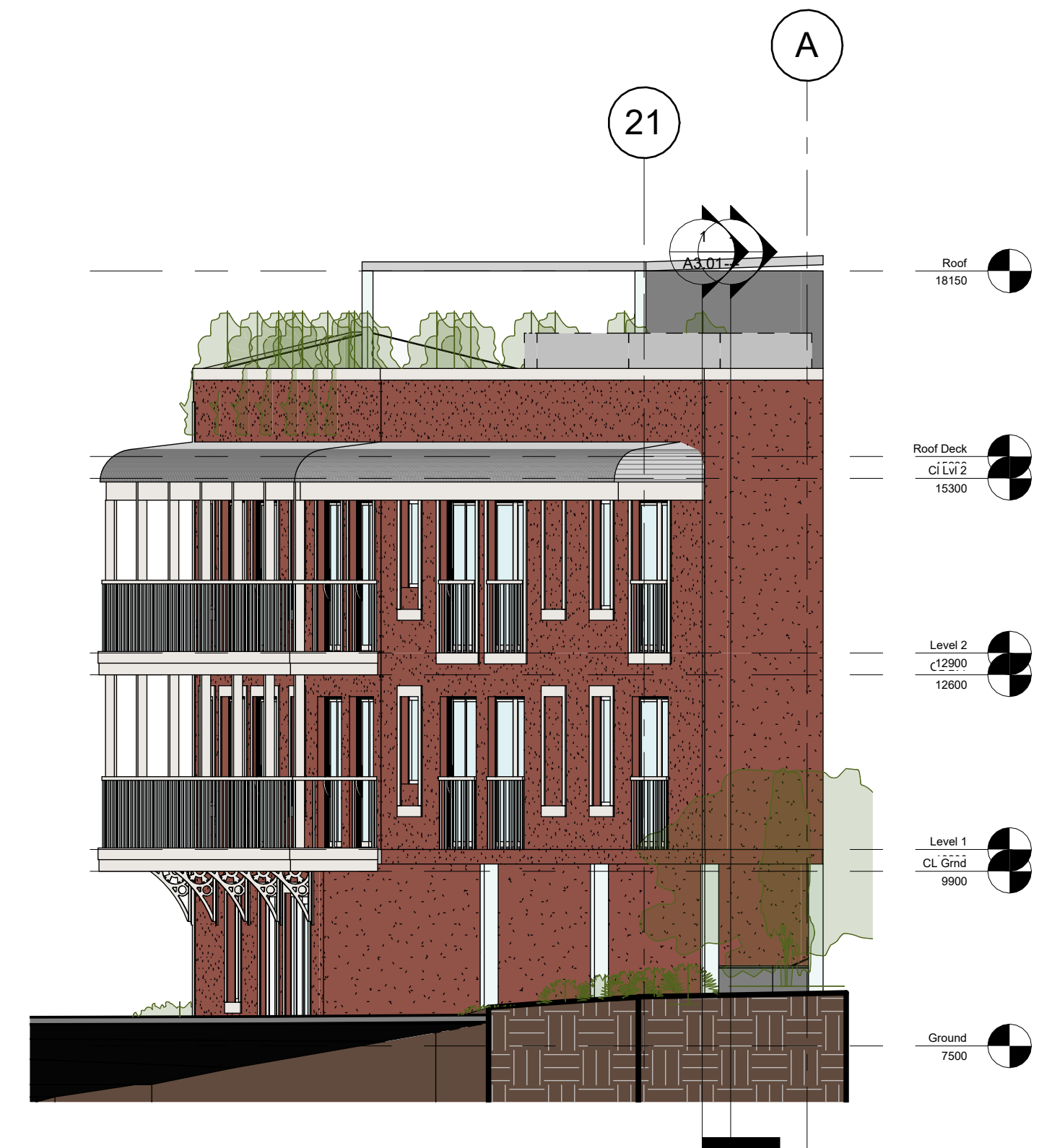
1 Elevation - West
1 : 75



2 Elevation - South West Corner
1 : 75



3 Elevation - South
1 : 75



4 Elevation - East
1 : 75

Revision	Description	Date

Sheet Name Elevations - W, SW, S, E: A2.01		
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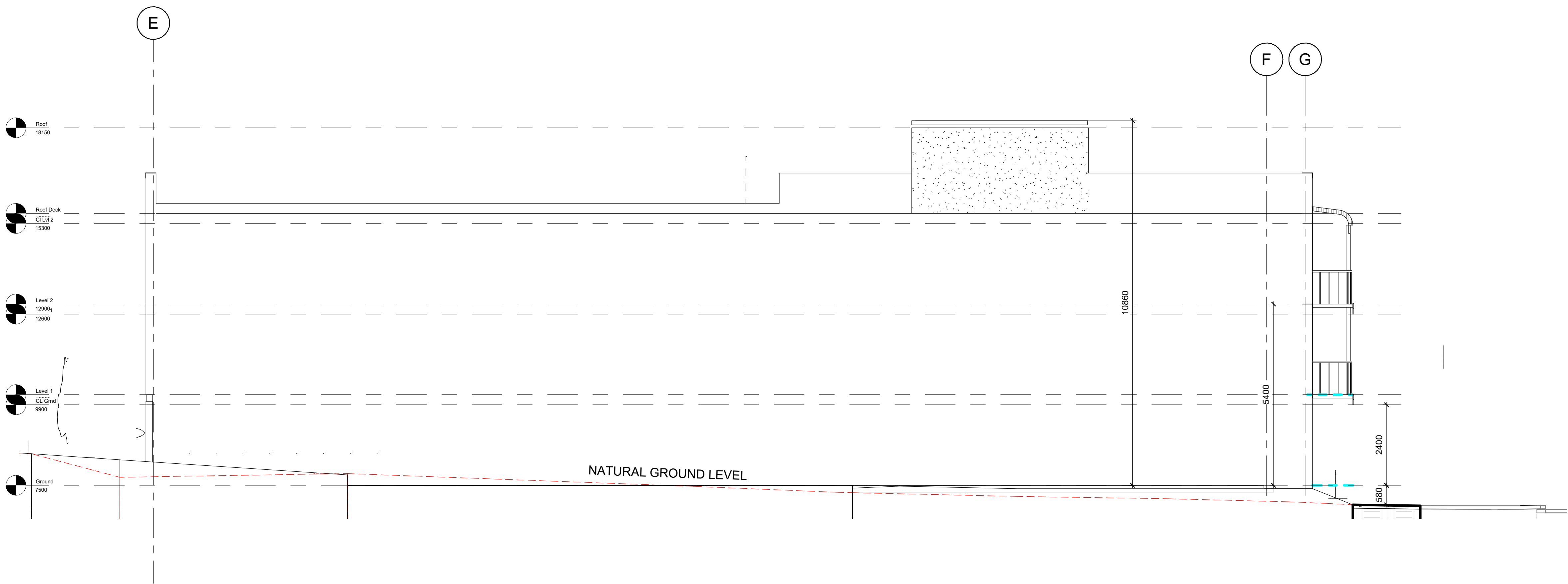
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1 Elevation - North
1 : 75

Revision	Description	Date

Sheet Name Elevations - N: A2.02		
Scale: 1 : 75 at A1	Print Date	13/11/2025 8:51:52 AM
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Project Number 369	Project Name Silas Street Mixed-Use
Address Lawrence Associates Lot 350 - 14 Silas Street, East Fremantle, WA 6158	

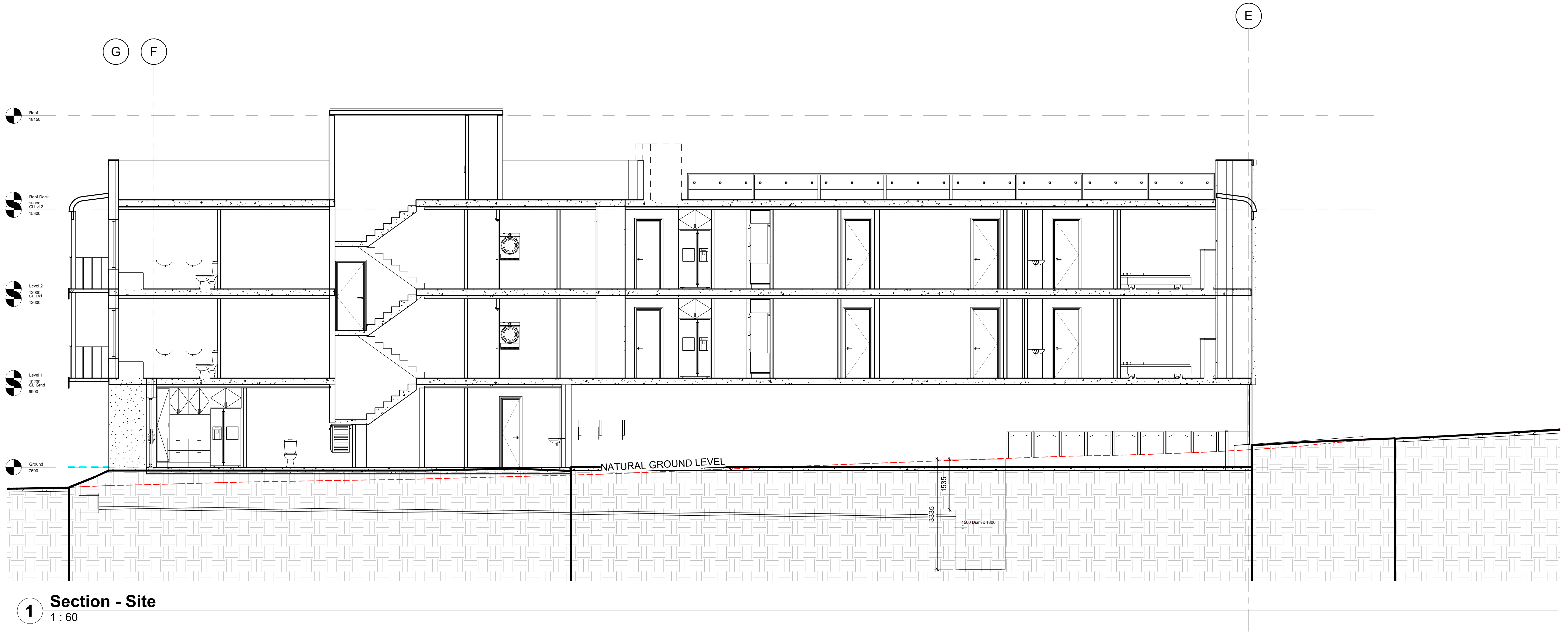
DA

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Revision	Description	Date

Sheet Name Sections: A3.01		
Scale: 1 : 60 at A1	Print Date	13/11/2025 8:51:53 AM
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