



MINUTES

Town Planning Committee

Tuesday, 1 June 2021 at 6.30pm

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MINUTES OF THE ORDINARY MEETING OF THE TOWN PLANNING COMMITTEE HELD IN THE COUNCIL CHAMBER, 135 CANNING HIGHWAY, EAST FREMANTLE ON TUESDAY, 1 JUNE 2021.

1. DECLARATION OF OPENING OF MEETING/ANNOUNCEMENTS OF VISITORS

Presiding member opened the meeting at 6.30 pm and welcomed members of the gallery.

2. ACKNOWLEDGEMENT OF COUNTRY

“On behalf of the Council I would like to acknowledge the Whadjuk Nyoongar people as the traditional custodians of the land on which this meeting is taking place and pay my respects to Elders past and present.”

3. ANNOUNCEMENT TO GALLERY

“Members of the gallery are advised that no Committee decision from tonight’s meeting will be communicated or implemented until 12 noon on the first clear working day after this meeting”.

4. RECORD OF ATTENDANCE

4.1 Attendance

The following members were in attendance:

Cr C Collinson	Presiding Member
Mayor J O’Neill	
Cr J Harrington	
Cr A Natale	
Cr D Nardi	
Cr A Watkins	

The following staff were in attendance:

A Malone	Executive Manager Regulatory Services
J Bannerman	Planning Officer

There were thirteen (13) members of the public in attendance.

4.2 Apologies

Nil

4.3 Leave of Absence

Nil

5. MEMORANDUM OF OUTSTANDING BUSINESS

Nil

6. DISCLOSURES OF INTEREST

6.1 Financial

Nil

6.2 Proximity

Nil

6.3 Impartiality
Nil

7. PUBLIC QUESTION TIME

7.1 Responses to previous questions from members of the public taken on notice
Nil

7.2 Public Question Time
Nil

8. PRESENTATIONS/DEPUTATIONS

8.1 Presentations
Nil

8.2 Deputations
Nil

9. CONFIRMATION OF MINUTES OF PREVIOUS MEETING

9.1 Town Planning Committee (4 May 2021)

9.1 OFFICER RECOMMENDATION

Moved Cr Nardi, seconded Cr Natale

That the minutes of the Town Planning Committee meeting held on 4 May 2021 be confirmed as a true and correct record of proceedings.

(CARRIED UNANIMOUSLY)

10. ANNOUNCEMENTS BY THE PRESIDING MEMBER

Nil

11. REPORTS OF COMMITTEES

11.1 Community Design Advisory Committee (3 May 2021)

Prepared by:	Andrew Malone, Executive Manager Regulatory Services
Supervised by:	Gary Tuffin, Chief Executive Officer
Authority/Discretion:	Town Planning Committee
Attachments:	1. Minutes of the Community Design Advisory Committee meeting held on 3 May 2021

PURPOSE

To submit the minutes of the Community Design Advisory Committee meeting held on the 3 May 2021 for receipt by the Town Planning Committee.

EXECUTIVE SUMMARY

The Committee, at its meeting held on 3 May 2021, provided comment on planning applications listed for consideration at the 1 June 2021 Town Planning Committee meeting and other applications to be considered in the future. Comments relating to applications have been replicated and addressed in the individual reports.

There is no further action other than to receive the minutes.

11.1 OFFICER RECOMMENDATION

Moved Cr Natale, seconded Cr Harrington

That the Minutes of the Community Design Advisory Committee meeting held on 3 May 2021 be received.

(CARRIED UNANIMOUSLY)

12. REPORTS OF OFFICERS (COMMITTEE DELEGATION)

12.1 George Street No 148 (Lot 78) Proposed double storey dwelling

Owner	R Campbell
Applicant	Aintree Holdings P/L T/A Beaumonde Homes
File ref	P21/21
Prepared by	James Bannerman Planning Officer
Supervised by	Andrew Malone, Executive Manager Regulatory Services
Meeting date	1 June 2021
Voting requirements	Simple Majority
Documents tabled	Nil
Attachments	<ol style="list-style-type: none">1. Location plan and advertising2. Site photos3. Place record form4. Plans date stamped 29 April 20215. Community consultation checklist & summary of submissions

Purpose

The purpose of this report is for Council to consider a development application for a proposed double storey dwelling at No 148 (Lot 78) George Street, East Fremantle.

Executive Summary

This development application proposes a new double storey dwelling at 148 George Street (and on the corner of May Street). It is a large residence with 5 bedrooms, studio, theatre, living, study and 4 bathrooms as well as a rear garage that faces May Street. The proposed design is considered to be inconsistent with the design character of the area, however design amendments have been made by the applicant. The proposed variations whilst having an impact, do not have such an impact as to significantly affect adjoining neighbours. The majority of the variations impact the street and as a result have an impact on the overall character of the area. Due to the corner location of the property, the design is considered to have a significant visual impact to two streets. As detailed below, the applicant has attempted to address the concerns of the Community Design Advisory Committee.

The applicant is seeking Council approval for the following variations to the Residential Design Codes and the Residential Design Guidelines;

- (i) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setbacks - Eastern Wall – Ground Floor– Ensuite 2 & Summer Suite – 1.8m required, 1m provided
- (ii) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setbacks – Eastern wall – Upper Storey – Dressing and Ensuite - 1.5m required, 1.1m provided
- (iii) Clause 5.1.6 – Residential Design Codes – Maximum Wall Height – 6m required, 6.5m provided
- (iv) Clause 5.3.7 – Residential Design Codes – Excavation – Maximum 0.5m required, more than 0.5m provided
- (v) Clause 5.3.8 – Residential Design Codes – Retaining Walls – Maximum 0.5m required, more than 0.5m provided
- (vi) Clause 3.7.11.5 – Residential Design Guidelines – Roof Pitch – 28 to 36 degrees required, 5 degrees provided

Whilst it is considered there is an impact to the character of the area, the variations are not considered to cause such an impact as to warrant refusal of the development. The applicant has requested the proposed design be presented to the Committee for determination. It is considered that the above variations can be supported subject to conditions of development approval being imposed.

Background

Zoning: Residential R20

Site area: 678m²

Heritage: Category C

Previous Decisions of Council and/or History of an Issue or Site

Nil

Consultation

Advertising

The application was advertised to surrounding landowners from 19 March to 16 April 2021. Four submissions were made following advertising. These are included in the advertising appendix.

Community Design Advisory Committee (CDAC)

The application was referred to CDAC twice (12 April & 3 May 2021). The following comments were made.

12 April 2021

(a) The overall built form merits;

- The Committee did not support the proposed design.
- The Committee believed that the design was inappropriate and out of context for the street and the area, resulting in a design in conflict with the established character of May and George Street.
- The Committee stated the proportions of the building, including height, scale and bulk do not suit the adjacent heritage buildings/ street character and the overall design compromises the heritage significance of surrounding buildings.
- The Committee does not support the demolition of the existing Category C heritage dwelling unless it is replaced with a building with high architectural merit.
- The Committee believed that proposal represented overdevelopment of the site.
- The Committee requested an opportunity to review any modifications to the design of the structure.

(b) The quality of architectural design including its impact upon the heritage significance of the place and its relationship to adjoining development.

- The Committee noted the quality of the design is unsympathetic with the character of the streetscape.
- The Committee believed that as the proposal is a large double storey dwelling (compared to the existing single storey dwelling) and that there will be significant impacts on the overall character of the area, including to the visual interpretation of the streetscape.

- The Committee considered the large boundary wall dominates the length of the property, with the proposed design and setbacks increasing the bulk of the building to both George Street and May Street.
- (c) *The relationship with and impact on the broader public realm and streetscape;*
- The Committee noted that proposal is unsympathetic to the streetscape and is excessively large compared to surrounding dwellings. As a result, the scale of the building needs to be reduced.
 - There are significant visual impacts on George and May Street.
- (d) *The impact on the character of the precinct, including its impact upon heritage structures, significant natural features and landmarks;*
- The Committee does not support the demolition of the Category C heritage dwelling unless the replacement home is of an appropriate architectural quality.
 - Variations to the Residential Design Codes and the Residential Design Guidelines should be supported for proper and orderly planning purposes. This proposal was not considered orderly planning.
 - The Committee believed that the existing development on the opposite side of May Street to this proposal was considered an appropriate design and the limit to double storey dwellings for the surrounding area.
- (e) *The extent to which the proposal is designed to be resource efficient, climatically appropriate, responsive to climate change and a contribution to environmental sustainability;*
- No comment.
- (f) *The demonstration of other qualities of best practice urban design including "Crime Prevention" Through Environmental Design performance, protection of important view corridors and lively civic places;*
- No comment.

3 May 2021

- (a) *The overall built form merits;*
- The Committee note and appreciates the efforts of the applicant to modify the design, however, there is still significant concern about the bulk and scale of development, particularly the significant bulk and scale of the development on May Street (western elevation)
 - The Committee welcomed the addition of timber features on the front facade but felt that there is a need to break up or reduce the bulk of development further.
 - The Committee recommends that the design be revisited, and several suggestions are made to improve the design included flipping the design, pulling the single storey rear section away from the front double storey section to provide a break in bulk on May Street, increase the garage setback, or move the garage to George Street.
- (b) *The quality of architectural design including its impact upon the heritage significance of the place and its relationship to adjoining development.*

- It is critical that the proposed design is reduced in size, bulk, and scale to meet the character of surrounding homes within the precinct, specifically those dwellings on George Street and May Street.
- (c) *The relationship with and impact on the broader public realm and streetscape;*
- The design does not address May Street and there is a need to provide passive surveillance from a habitable room to May Street. Additional openness and improved presentation of the dwelling needs to be achieved for the May Street elevation.
- (d) *The impact on the character of the precinct, including its impact upon heritage structures, significant natural features and landmarks;*
- See above.
- (e) *The extent to which the proposal is designed to be resource efficient, climatically appropriate, responsive to climate change and a contribution to environmental sustainability;*
- No comment at this time.
- (f) *The demonstration of other qualities of best practice urban design including “Crime Prevention” Through Environmental Design performance, protection of important view corridors and lively civic places;*
- See above.

Applicant Response to CDAC

(a)

- The Committee’s appreciation of the changes is noted. However, the comment regarding the need for significant changes to the dwelling is unsubstantiated given the existing built form within the area and given a number of similar developments approved by the Town (including approved by the East Fremantle Town Council).
- It should be noted that the proposed dwelling on the subject land complies with the building height provisions and contains an overall building height that is less than a number of dwellings along George Street, May Street and Richmond Circus. It should be noted that the dwelling on the adjoining northern property comprises retaining wall along the land’s May Street frontage and is elevated above the street level. Given this, the roofline of the proposed dwelling would be lower than the roofline of the existing dwelling on the adjoining property.
- The Committee’s comments are noted. The timber elements to the dwelling provides for improved visual interest to the dwelling and reflects a similar material usage within the area.
- The Committee’s suggestion of flipping the dwelling would result in the outdoor living area being exposed to the harsh western summer sun and reduced privacy/amenity along May Street, which is a poor planning outcome. The current design of the dwelling provides for a better passive solar design layout (given the north-south orientation of the lot) and being more energy efficient than the Committee’s suggestion to flip the dwelling to expose both the outdoor and internal living areas to the harsh afternoon summer sun.
- By locating the outdoor living area to May Street, then a solid fence would be required to provide privacy for the future occupants of the dwelling. The current design comprises a visually permeable

fence, landscaping and major opening to habitable rooms orientated towards May Street, which is less bulky than a solid fence.

- Any suggestion of shifting sections of the upper floor elsewhere would still involve similar mass. This would be evident if the upper floor was to be made narrower, but longer over the ground floor footprint of the dwelling to provide a suggested greater setback from May Street. This approach would detract from the symmetry and aesthetics of the front elevation.
- The future landowners want the ability for internal access to the garage from the dwelling and not a separation between the dwelling and the garage, as suggested by the Committee. The dwelling has been designed to provide a varying setback to the May Street boundary, use of varying materials, landscaping, visual permeable fencing and a number of windows. In addition, the building height and roof structure have been reduced (through cut the floor level of the dwelling into the site and a lower pitched roof). This provides for articulation and visual interest of the May Street façade when viewed from the street.
- The garage setback complies with the R-Codes. In fact, the garage setback from the secondary street is greater than the minimum required setback prescribed within the R Codes. As such, the Committee's recommendation to increase the garage setback is unsubstantiated.
- The Committee has failed to recognize the 'deemed to comply requirements' of Element 5.3.5 C5.1 ('Vehicular access') of the R-Codes, which requires vehicular access for a corner site to be from the secondary street and not the primary street. As such, the layout of the proposed development complies with the R-Codes.
- In addition to the above point, relocating the garage to George Street (as suggested by the Committee) would result in the crossover being located closer to the intersection (round about), therefore compromising traffic safety. Given this, the Committee's suggest is contrary to the R-Codes and is a poor recommendation in terms of traffic safety and streetscape. It is assumed that the Committee's suggestion in regard to relocating the vehicular access point for the new dwelling from May Street to George Street is driven by the submission made by the owner of the adjoining northern property and not having due regard for orderly and proper planning.
- Consultation has been undertaken throughout the design stage with the Water Corporation in regard to the sewer infrastructure to the rear of the site. The Corporation insisted that the garage be located to the rear of the site due to the sewer. This includes a construction method that will allow for access to the sewer infrastructure.
- To conclude, the current design layout of the new dwelling on the land provides for better security, a greater level of privacy for the future occupants, provides for better environmental performance and provides for improved traffic safety than the suggestion made by the Committee.

(b)

- The Committee has failed to acknowledge a number of recent developments within the area which comprise a similar bulk and scale to the proposed new dwelling on the subject land. A review of recent development activity within the immediate area, including along Allen Street and George Street, has identified a number of new dwellings which comprise a modern design, a two-storey built form and lesser front setbacks than the traditional historical dwellings within the area. Given this, it is contended that the proposed development is consistent with a number of recent approved developments within the area and is not out of character. This is reflective of a number of applications recently considered and approved by the East Fremantle Town Council that are

modern in nature and are contrary to the recommendations made by the Design Advisory Committee.

- It should be noted that the proposed dwelling complies with the relevant development standards applicable to building height, setbacks and open space. These are key development standards that control building bulk. As such, the Committee's comment to reduce building bulk is unsubstantiated and fails to have due regard to the planning framework.
- The Committee has failed to have due regard for the existing built form for the old Richmond Raceway development on the southern side of George Street which comprises a number of two storey dwellings with modern architecture that does not reflect the heritage or historical character of East Fremantle. From a review of the comments made by the Committee, it appears that only the built form along a part of May Street has been reviewed and the portion of Richmond Circus which extends from May Street and would form part of a streetscape analysis (which comprises a wider range of built form, architecture, setbacks, building height and era of development) has not been considered.
- As previously mentioned, the precinct comprises an eclectic mix of dwelling types, setbacks, material usage and bulk. Given this, it can be argued that this part of the East Fremantle locality does not comprise a consistent character and built form and that the proposed development on the subject land is not contrary to the existing and emerging built form within the area.

(c)

- The Committee's comments are confusing and questionable. The proposed development has been designed to comprise a number of major openings to habitable rooms orientated towards May Street to provide for improved passive surveillance of the street. In addition, the May Street frontage of the dwelling will include landscaping and a visually permeable fence.
- It is significant to note that the proposed dwelling comprises a greater number of windows (including major openings) orientated towards May Street than the existing dwelling on the land and any of the existing dwellings at the intersection of May Street/Richmond Circus and George Street.
- The Committee has also failed to recognize that May Street is the secondary street and that the dwelling is required to address the primary street not the secondary street. In addition, a number of openings have been provided along the dwelling's May Street frontage. In addition to the above points, the proposed dwelling complies with the R-Codes in terms of the minimum required setback to the secondary street.
- The Committee has not taken into account the character of the area in its entirety and has only referred to section of the immediate locality that comprises the older housing stock. The Committee has not recognized that a number of new dwellings have been constructed within the immediate area, include those dwellings along Richmond Circus which are not reflective of the older heritage character of East Fremantle. Given this, it is conceded that the proposed dwelling is consistent with the emerging built form within the area.

(d)

- See response above.
- The Committee and Council should note that the applicant and the landowners have been liaising extensively with the Town's planning staff (i.e. Mr James Bannerman) before and throughout the assessment process (including meeting with the Town's staff) to address any key issues raised by

the staff as part of its assessment of the application. This has resulted in a number of amended plans and changes to the design layout of the dwelling to address any key issues/matters raised by the Town (including reducing building height, lowering floor levels, include an additional skillion roof structure, changing fencing along the street frontages, including additional landscaping, including feature timber panels, altering the proposed colour/materials for the dwelling etc.). Throughout the process, the Town's planning staff have been supportive of the design layout, external design and appearance of the dwelling. In short, the landowner and applicant has worked closely and together with the Town's planning staff throughout the process.

- In addition to the above points, the dwelling has addressed both the 'deemed to comply requirements' and 'design principles criteria' of the R-Codes and any relevant local planning policies.

(e)

- Whilst we recognize that the Committee has not commented, it should be noted that the dwelling has been designed to include northern orientation for the outdoor living area. The design also allows for the morning eastern sun and northern winter sun to penetrate into the dwelling, which will assist with reducing energy costs.
- In addition to the above, the outdoor living area has been designed to be located along the eastern side of the subject land to provide protection for the hot western summer sun. In addition, the location of the outdoor living area to the eastern side of the lot, away from May Street, will provide some protection for traffic noise generated at the intersection of May Street and George Street. The proposed dwelling has been designed with a number of major opening on both side of the dwelling to allow for good cross ventilation, therefore providing for less reliance on artificial ventilation.
- In light of the above points, the dwelling has been designed to conserve resource and have due regard for the climate.

(f)

- Refer to all responses above.

Officer Response

The comments are noted from both CDAC and the applicant. It is noted the applicant has attempted to minimise impacts to the streetscape and has altered the plans, including additional materials to minimise perceived scale and bulk.

External Consultation

Nil

Statutory Environment

Planning and Development Act 2005

Residential Design Codes of WA

Town of East Fremantle Local Planning Scheme No. 3 (LPS No. 3)

Policy Implications

Town of East Fremantle Residential Design Guidelines 2016 (as amended)

Financial Implications

Nil

Strategic Implications

The Town of East Fremantle Strategic Community Plan 2020 – 2030 states as follows:

Built Environment

Accessible, well planned built landscapes which are in balance with the Town's unique heritage and open spaces.

3.1 Facilitate sustainable growth with housing options to meet future community needs.

3.1.1 Advocate for a desirable planning and community outcome for all major strategic development sites.

3.1.2 Plan for a mix of inclusive diversified housing options.

3.1.3 Plan for improved streetscapes.

3.2 Maintaining and enhancing the Town's character.

3.2.1 Ensure appropriate planning policies to protect the Town's existing built form.

3.3 Plan and maintain the Town's assets to ensure they are accessible, inviting and well connected.

3.3.1 Continue to improve asset management within resource capabilities.

3.3.2 Plan and advocate for improved access and connectivity.

Natural Environment

Maintaining and enhancing our River foreshore and other green, open spaces with a focus on environmental sustainability and community amenity.

4.1 Conserve, maintain and enhance the Town's open spaces.

4.1.1 Partner with Stakeholders to actively protect, conserve and maintain the Swan River foreshore.

4.1.2 Plan for improved streetscapes parks and reserves.

4.1.3 Improve and protect the urban forest and tree canopy.

4.2 Enhance environmental values and sustainable natural resource use.

4.2.1 Reduce waste through sustainable waste management practices, including effective community and business education.

4.3 Acknowledge the change in our climate and understand the impact of those changes.

4.3.1 Improve systems and infrastructure standards to assist with mitigating climate change impacts.

Risk Implications

A risk assessment was undertaken and the risk to the Town was deemed to be negligible.

Site Inspection

A site inspection was undertaken.

Comment

Statutory Assessment

The proposal has been assessed against the provisions of Local Planning Scheme No. 3 and the Town's Local Planning Policies including the Residential Design Guidelines, as well as the Residential Design Codes. A summary of the assessment is provided in the following tables.

Legend (refer to tables below)	
A	Acceptable
D	Discretionary
N/A	Not Applicable

Residential Design Codes Assessment

Design Element	Required	Proposed	Status
Street Front Setback	6m	6.219m	A
Secondary Street Setback	1.5m	1.5m	A
Lot Boundary Setbacks			
Eastern wall – ground floor – ensuite 2 & summer suite	1.8m	1m	D
Eastern wall – ground floor – family room, alfresco & gym	1.5m	3m	A
Northern wall – ground floor – garage & gym	1m	1.008m	A
Eastern wall – upper storey – dressing and ensuite	1.5m	1m	D
Northern wall - upper floor – bed 4	1.2m	18m	A
Open Space	50%	51.4%	A
Wall height	6m	6.5m	D
Roof height	9m	7.3m	A
Setback of Garage	1.5m	1.8m	A
Car Parking	2 car bays	2 car bays	A
Site Works	Excavation maximum 0.5m	>0.5m	D
Retaining Walls	Maximum height 0.5m	>0.5m	D
Visual Privacy			N/A
Overshadowing			N/A
Drainage	To be conditioned		

Local Planning Policies Assessment

LPP Residential Design Guidelines Provision	Status
3.7.2 Additions and Alterations to Existing Buildings	N/A
3.7.3 Development of Existing Buildings	N/A
3.7.4 Site Works	N/A
3.7.5 Demolition	A
3.7.6 Construction of New Buildings	A
3.7.7 Building Setbacks and Orientation	A
3.7.8 Roof Form and Pitch	D
3.7.9 Materials and Colours	A
3.7.10 Landscaping	A
3.7.11 Front Fences	A
3.7.12 Pergolas	N/A
3.7.13 Incidental Development Requirements	N/A
3.7.14 Footpaths and Crossovers	A
3.7.15.4.3.1 Fremantle Port Buffer Area	Area 3 – no requirements
3.7.15.3.3 Garages and Carports	A

This development application proposes a new double storey dwelling at 148 George Street (corner of May Street). It is a large residence with 5 bedrooms, studio, theatre, living, study and 4 bathrooms as well as a rear garage that faces May Street. Multiple variations are requested to the requirements of the Residential Design Codes and the Residential Design Guidelines. The applicant has modified the design in an attempt to minimise the impact of the development to George and May Street. Additional materials have been included in the external design which do assist in minimising the bulk of the building. The variations as detailed below include matters related to lot boundary setbacks, wall height, retaining wall height, roof pitch and excavation on site in excess of 0.5m.

The current dwelling is a Category C heritage property. It is proposed to demolish the property. As such it is able to be demolished with a demolition permit only. It is not protected in the same manner as Category A and B heritage properties on the Town's heritage list.

Lot Boundary Setback - Eastern Wall – Ground Floor– Ensuite 2 & Summer Suite

The Residential Design Codes deemed to comply clause 5.1.3 C3.1 requires that a 7.12m long wall that is 3.8m high without major openings is setback 1.8m from the side boundary. In this case the eastern wall of the ensuite and summer suite on the ground floor is 1m from the side boundary. In accordance with design principles 5.1.3 P3.1 the reduced lot boundary setback can be supported for the following reasons;

- There is minimal impact from building bulk on the eastern neighbour as the building bulk is located to the front of the lot, maintaining the existing amenity of the neighbour,
- Adequate sunlight and ventilation can be accessed by the building and open spaces on site and to adjoining properties, and
- There is no overlooking or loss of privacy to adjoining properties.

To reduce the impact of development on the neighbouring site excavation is to be undertaken to reduce the impact of development on the neighbouring properties. The overall building is compliant from the height perspective. Building bulk is usually preferred to setback from the front of the dwelling. However in this case the building bulk is located on the corner of George and May Street minimising the impact to the eastern neighbour. Moving the building bulk away from George Street would create additional bulk to May Street (secondary street) and would cause a design impact to the street from a visual perspective. Whilst the design is not consistent with the street, the proposal could have a greater impact if the building bulk was moved to the middle of the dwelling.

Lot Boundary Setback - Eastern wall – Upper Storey – Dressing and Ensuite

The Residential Design Codes deemed to comply clause 5.1.3 C3.1 requires that a 9.08m long wall that is 5.4m high without major openings is 1.5m from the side boundary. In this case the eastern wall of the dressing room and ensuite on the upper floor is 1.1m from the side boundary. In accordance with design principles 5.1.3 P3.1 the reduced lot boundary setback can be supported for the following reasons;

- The variation is considered minor and the overall length and height of the wall to the upper storey is considered to have minimal impact from building bulk on eastern neighbour,
- Adequate sunlight and ventilation can be accessed by the building and open spaces on site and to adjoining properties, and
- There is minimal overlooking or loss of privacy to adjoining properties.

To reduce the impact of development on the neighbouring site excavation is to be undertaken to reduce the impact of development on the neighbouring properties. As detailed above the second storey has been located so as to have the least impact to the eastern neighbour, however the design impact to the street is considered to be inconsistent with the wider area. That being said if the bulk was to be moved, the overall impact to May Street may be considered to have a greater detrimental impact. George Street itself has had recent additions with reduced setbacks and development of a significant scale is located within the Raceway already.

Maximum Wall Height

The height of the exterior walls of the dwelling exceeds the maximum wall height as required by clause 5.1.6 of the Residential Design Codes. The walls rise to 6.5m where a maximum height of 6m is permitted. Although it does not comply with the maximum wall height the dwelling is lower than what it possibly could be in terms of maximum roof height (7.3m compared to 9m) therefore has a lesser impact on neighbouring properties, which assists with light and ventilation. As such the increased wall height can be supported in accordance with design principles 5.1.6 P6 because the height allows adequate access to direct sun into buildings and appurtenant open spaces, adequate daylight to major openings into habitable rooms and access to views of significance (there are none). The design of the building has also been reduced by design modifications to the roof and by further excavation of the lot.

Roof Pitch

The roof pitch of structures within Woodside precinct are supposed to have a roof pitch of between 28 and 36 degrees in accordance with Residential Design Guidelines acceptable development clause 3.7.8.3 A4.1. In this case the roof pitch is 5 degrees and despite the variation the roof pitch can be supported based on performance criteria 3.7.8.3 P4 as the roof forms of the new building complement the traditional form of surrounding development in the immediate locality. The roof pitch is subtle and reduces the overall height of the dwelling to well below what the maximum height could be.

Excavation

A significant amount of excavation is proposed to be undertaken on site. Excavation is to be undertaken more than 0.5m in height. Although it does not achieve deemed to comply clause 5.3.7 it does achieve design principles 5.3.7 P7.2 such that the excavation proposed to be undertaken respects the natural ground levels at the lot boundary of the site (street level) and as viewed from the street.

It is noted that the excavation reduces the height of the dwelling and in turn reduces the impact of development on neighbouring properties and the overall impact to the character of the area.

Retaining Walls

Retaining walls are proposed to be constructed along the northern and eastern boundaries of the property. In accordance with the Residential Design Codes deemed to comply clause 5.3.8 C8 retaining walls can be constructed up to 0.5m in height above natural ground level. In this case the walls are more than 0.5m above natural ground level. These walls are up to 0.978m in height and within 0.6m of the site boundary or on the boundary. The retaining walls achieve design principles 5.3.8 P8 as it creates land that can be used for the benefit of residents and does not detrimentally affect adjoining properties, nor does it result in a loss of privacy to neighbouring properties (due to the reduction in site level that precipitated the need for retaining walls).

Design Modification/ Applicant Response

Following CDAC's response to the original design the proponents met with the Town to discuss possible amendments. The design was amended to reduce the bulk of the development and address concerns relating to the look of the dwelling from George and May Streets. Further excavation on site is proposed to remove soil from the site and lower the building. Timber was added to the George and May Street facades recognising the Town's Timber Encouragement Policy. The concealed roof on the eastern front side of the dwelling was changed to a skillion roof. The height of the wall along May Street was reduced below the original height of 3m to the required 1.8m and setback the wall from the side boundary. Images were presented that showed the retention of trees on site to soften the design and its look from George Street, as well as a site plan showing additional soft landscaping in the garden.

Whilst there are still considered to be design concerns relating to the proposal being sympathetic with the character of the area, those concerns have been addressed by the applicant and by design modifications. The current design whilst considered inconsistent with the area, is not considered so inconsistent as to warrant the proposal being refused. Through appropriate landscaping and use of materials and colours it is hoped the proposal will better integrate with the wider heritage character of the area.

Conclusion

Based on the assessment that has been completed for this development and the explanation provided in this report, the variations that have been proposed to the Residential Design Codes and the Residential Development Guidelines are considered acceptable. As such it is recommended that the proposed development be supported subject to development conditions.

OFFICER RECOMMENDATION

That development approval is granted and Council exercises its discretion regarding the following;

- (i) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setbacks - Eastern Wall – Ground Floor– Ensuite 2 & Summer Suite – 1.8m required, 1m provided
- (ii) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setbacks – Eastern wall – Upper Storey – Dressing and Ensuite - 1.5m required, 1.1m provided
- (iii) Clause 5.1.6 – Residential Design Codes – Maximum Wall Height – 6m required, 6.5m provided
- (iv) Clause 5.3.7 – Residential Design Codes – Excavation – Maximum 0.5m required, more than 0.5m provided
- (v) Clause 5.3.8 – Residential Design Codes – Retaining Walls – Maximum 0.5m required, more than 0.5m provided
- (vi) Clause 3.7.11.5 – Residential Design Guidelines – Roof Pitch – 28 to 36 degrees required, 5 degrees provided

for a new double storey dwelling at No. 148 (Lot 78) George Street, East Fremantle, in accordance with the plans date stamped received 29 April 2021, subject to the following conditions:

- (1) Prior to the submission of a building permit application written approval is to be received from the Water Corporation for works over the rear sewer line and submitted to the Town.
- (2) The crossover widths are not to exceed the width of the crossovers indicated on the plans date stamped received 10 March 2021 and to be in accordance with Council's crossover policy as set out in the Residential Design Guidelines and the Town's Crossover Specifications.
- (3) The existing crossover on George Street is to be removed and the verge, kerb and footpath are to be made good to the satisfaction of the Chief Executive Officer in consultation with relevant officers and all associated costs to be borne by the owners.

- (4) All front fencing is to be in compliance with the front fence provisions of the Residential Design Guidelines including a maximum pier height of 1.8m from the footpath, a maximum solid height of 1.2m from the footpath and a maximum infill height of 0.6m which must be visually permeable to a level of 60%.
- (5) The works are to be constructed in conformity with the drawings and written information accompanying the application for development approval other than where varied in compliance with the conditions of this development approval or with Council's further approval.
- (6) The proposed works are not to be commenced until Council has received an application for a Building Permit and the Building Permit issued in compliance with the conditions of this development approval unless otherwise amended by Council.
- (7) With regards to the plans submitted with respect to the Building Permit application, changes are not to be made in respect of the plans which have received development approval, without those changes being specifically marked for Council's attention.
- (8) All stormwater is to be disposed of on site, an interceptor channel installed if required and a drainage plan be submitted to the satisfaction of the Chief Executive Officer in consultation with the Building Surveyor prior to the issue of a Building Permit.
- (9) If requested by Council within the first two years following installation, the roofing to be treated to reduce reflectivity. The treatment is to be to the satisfaction of the Chief Executive Officer in consultation with relevant officers and all associated costs to be borne by the owner.
- (10) All introduced filling of earth to the lot or excavated cutting into the existing ground level of the lot, either temporary or permanent, shall be adequately controlled to prevent damage to structures on adjoining lots or in the case of fill, not be allowed to encroach beyond the lot boundaries. This shall be in the form of structurally adequate retaining walls and/or sloping of fill at the natural angle of repose and/or another method as approved by the Town of East Fremantle.
- (11) Where this development requires that any facility or service within a street verge (street trees, footpath, crossover, light pole, drainage point or similar) is to be removed, modified, or relocated then such works must be approved by Council and if approved, the total cost to be borne by the applicant. Council must act reasonably and not refuse any reasonable proposal for the removal, modification or relocation of such facilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (12) This development approval is to remain valid for a period of 24 months from date of this approval.

Footnote:

The following are not conditions but notes of advice to the applicant/owner:

- (i) *this decision does not include acknowledgement or approval of any unauthorised development which may be on the site.*
- (ii) *a copy of the approved plans as stamped by Council are attached and the application for a Building Permit is to conform with the approved plans unless otherwise approved by Council.*
- (iii) *it is recommended that the applicant provides a Structural Engineer's dilapidation report, at the applicant's expense, specifying which structures on adjoining sites may be adversely affected by the works and providing a record of the existing condition of the structures. Two*

copies of each dilapidation report should be lodged with Council and one copy should be given to the owner of any affected property.

- (iv) all noise levels produced by the construction of the development are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).*
- (v) matters relating to dividing fences are subject to the Dividing Fences Act 1961.*
- (vi) any works that require the closure of the adjacent footpath will require submission of a pedestrian management plan for the consideration of the Town.*
- (vii) a traffic management plan to demonstrate contractor parking arrangements, loading, and unloading of equipment and materials and storage of materials and equipment on the verge will be required to be submitted for the consideration of the Town.*
- (viii) A demolition permit will be required to be submitted to the Town prior to the demolition of any structures on-site and all asbestos is to be removed and disposed of in accordance with government regulations associated with the management and disposal of asbestos products pursuant to the Health (Asbestos) Regulations 1992 and as amended.*

- Dr Tandy raised concerns about sight lines and vehicular movement and spoke against the officer's recommendation.
- Mr Strong requested a dilapidation report be added to the officer's recommendation if approved but spoke against the officer's recommendation.
- Mr Sinclair spoke against the officer's recommendation.
- Mr McLeish requested a dilapidation report be added to the officer's recommendation if approved but spoke against the officer's recommendation.
- Ms Gwynne raised inappropriate bulk, scale, safety and spoke against the officer's recommendation.
- Mrs Campbell spoke in support of the officer's recommendation.

PROCEDURAL MOTION/COMMITTEE RESOLUTION TP010621

Moved Mayor O Neill, seconded Cr Nardi

That a decision regarding the development application for a new double storey dwelling at No. 148 (Lot 78) George Street, East Fremantle referring to plans date stamped received 29 April 2021 be deferred to a later Committee meeting subject to the applicant progressing further discussions with the Town to achieve development outcomes that address the proposed variations such that it is designed to be better integrated with the surrounding properties.

(CARRIED 5:1)

12.2 King Street No 64 (Lot 363) Proposed alterations and additions

Owner	Craig & Karina Salter
Applicant	Dalecki Design
File ref	P27/21
Prepared by	James Bannerman Planning Officer
Supervised by	Andrew Malone, Executive Manager Regulatory Services
Meeting date	1 June 2021
Voting requirements	Simple Majority
Documents tabled	Nil
Attachments	<ol style="list-style-type: none">1. Location plan and advertising2. Site photos3. Place record form4. Plans date stamped 14 May 20215. Community consultation checklist

Purpose

The purpose of this report is for Council to consider a development application for proposed alterations and additions at No 64 (Lot 363) King Street, East Fremantle.

Executive Summary

This development application proposes alterations and additions at 64 King Street. It is proposed an existing rear additions which have no heritage significance will be demolished and new additions are added to the rear of the main heritage dwelling. A second storey is included. A new living, dining, kitchen, study, alfresco, bathrooms and master bedroom are proposed. Included in the renovations of the original heritage building is the removal of the existing decramastic roof, on the original front heritage building. This will be replaced with a new metal roof.

The applicant is seeking Council approval for the following variations to the Residential Design Codes and the Residential Design Guidelines;

- (i) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setbacks – Northern Wall – Upper Storey – 3.7m required, 1.837m provided
- (ii) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setbacks – Southern Wall – Ground Floor – 1.5m required, 0.314m provided
- (iii) Clause 5.1.6 – Residential Design Codes – Wall Height – 6m required, 7.048m provided
- (iv) Clause 3.7.8.3 – Residential Design Guidelines – Roof Pitch – 28 to 36 degrees required, less than 28 degrees provided
- (v) Clause 3.7.9.3 – Residential Design Guidelines – Roof Materials – New materials have to be demonstrated as compatible with immediate area, replacement materials compatible with immediate locality

It is considered that the above variations can be supported subject to conditions of development approval being imposed.

Background

Zoning: Residential R20

Site area: 508m²

Heritage: Category B

Previous Decisions of Council and/or History of an Issue or Site

Nil

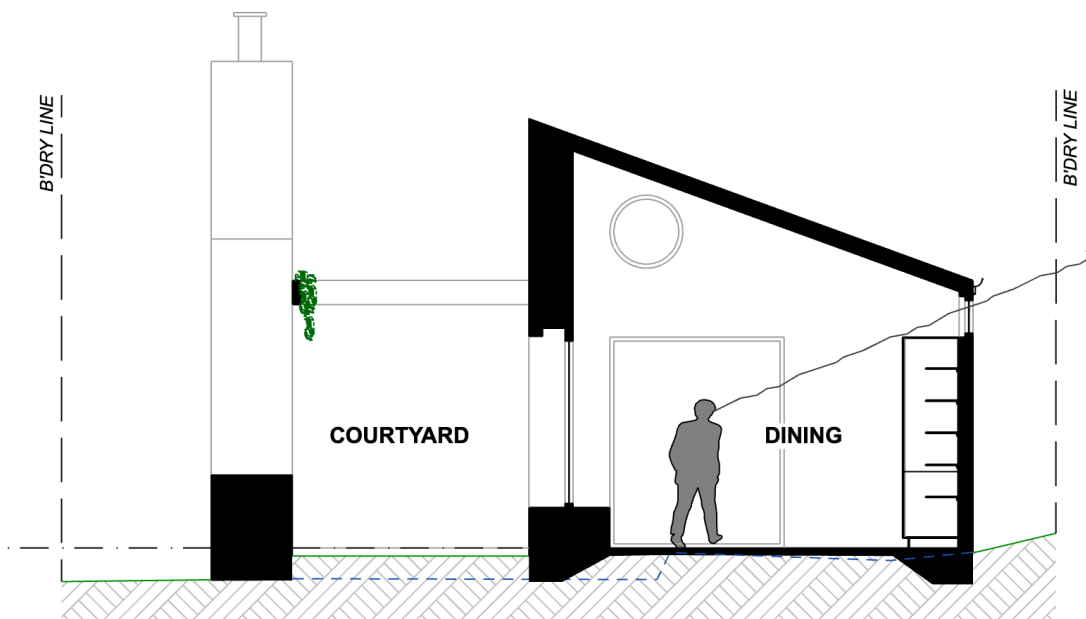
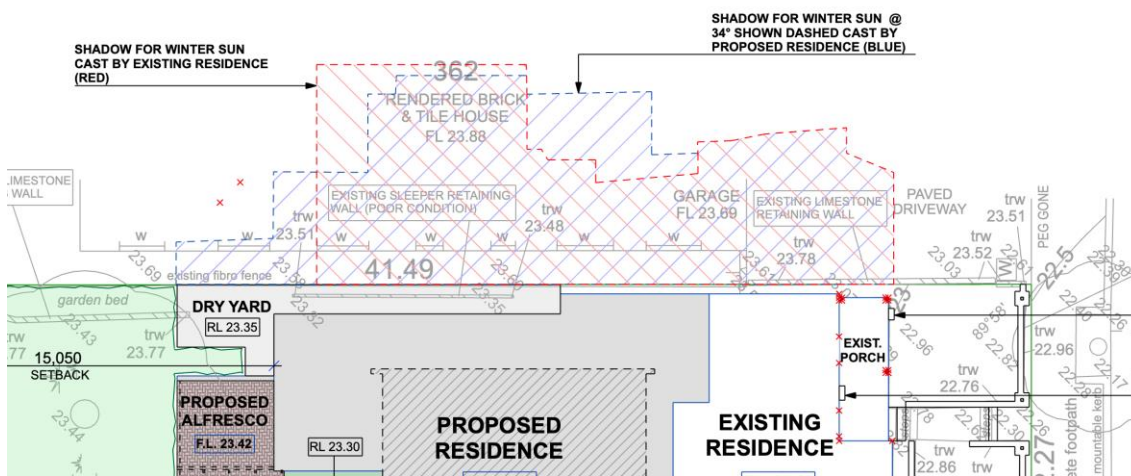
Consultation

Advertising

The application was advertised to surrounding landowners. One submission was received.

Submission	Applicant Response	Officer Response
<p>Submission 1</p> <p>We are the neighbouring property at XXXX with our northern boundary facing the proposed development. We appreciate the carefully articulated design, in particular the stepped roofscape.</p> <p>We would like to raise two concerns for consideration in the approval process, both relating to the proposed southern ground floor wall.</p> <p>1. Length of southern wall and setback</p> <p>The proposed southern ground floor wall with minor openings of 2 windows and 1 door is shown as 10m long, approximately 3.4 m high and a setback reduced to 1.01m from the boundary. When added to the existing wall, this results in a total length of approx. 19.5 metres along the boundary.</p> <p>We believe this outcome results in loss of amenity and sunlight to our habitable rooms on the northern side of our property as shown in the shadow diagram (drawing A06 of A10).</p> <p>We do not object to the design but request review of the proposed setback against Table 2a Boundary Setbacks, State Planning Policy 7.3 Residential Design Codes Volume 1, p.48. This indicates a setback of 1.5m for walls exceeding 9m long.</p> <p>2. Visual and Acoustic privacy</p> <p>We would strongly encourage for the kitchen window to be fixed (non-opening) to reduce kitchen noise directly opposite our bedroom and for the hi-light window to be opaque and</p>	<p>1. Please refer to the below diagram demonstrating the difference in proposed shadow (blue) and the existing shadow (red). While there is a very small portion of additional shadow toward the east, this will be less than shadow cast by the existing fence. The proposed additions pose no increased loss of sunlight to any of the neighbouring windows. We appreciate the ground floor setback has been reduced from the deemed to comply regulations of the R-Codes however, this is compensated by the first-floor setback which is much more than the existing structure. We believe the amenity of the neighbour will be increased by the proposed due to the stepped elevation proving more articulation and greater setback compared to the existing blank two storey wall.</p> <p>2. The kitchen window is fixed. The dining room highlight window is effectively screened. The sill of the window is at 2.6m above floor level. Refer to the section below that demonstrates how visual privacy is achieved through the placement of the window.</p>	<p>Noted.</p> <p>It is essential that dwellings have windows that open from the south and allow cross ventilation utilising the cooling summer sea breeze. In this case the kitchen window is below the fence height and the highlight window is above 1.6m finished floor level – neither are considered to present privacy issues despite the reduction in the lot boundary setback.</p> <p>The length of the wall of the proposed rear double storey addition is in a similar location and similar dimensions to the existing rear double storey addition. It is setback 1.01m (as against the deemed to comply setback distance of 1.5m). It is noted that it is shorter than the submitters wall in close proximity to the joint property boundary and the top storey which has a greater impact on the neighbouring property is setback from the boundary to minimise the bulk and scale of the development towards the southern neighbouring property. There are many properties in the Plympton precinct with reduced side boundary setbacks due to the fact that many properties were constructed in an era before contemporary planning requirements, the lots are relatively long and narrow (41m long and 12 m wide) and relatively constrained in terms of the type of design that can be created on such a lot and the reduced lot boundary setback in this case is not unusual.</p> <p>Following review of the plans by the Community Design Advisory Committee it was felt that the windows on the southern side should be able to be opened to ensure that good cross ventilation can be maintained in the building. There is no need for the window to be obscured or opaque as it is below the existing fence height which means that it cannot be seen from the neighbouring property, however the</p>

<p>predominantly fixed (non-opening) for visual privacy.</p> <p>We believe the overall design will contribute to the Plympton Ward lifestyle quality.</p> <p>Please see the sketches below supporting these comments, based on the DA drawings provided.</p> <p>Thank you for opportunity to provide comments.</p>		<p>applicant's concession is considered a suitable design approach.</p> <p>Noise is not directly controlled through the planning process and within urban areas with higher dwelling densities some noise has to be expected from dwelling residents. Diagrams were presented to Council that show how air is expected to flow through the house.</p>
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Community Design Advisory Committee (CDAC)

The application was referred to CDAC. The following comments were made.

(a) *The overall built form merits;*

- The Committee considered:
 - overall there was merit in the design intent of the proposal.
 - the western elevation built form is not a suitable resolution for the existing building and compromises the streetscape elevation.
 - the northern setbacks were considered appropriate to capture sunlight.
 - the southern setbacks were considered acceptable subject to greater cross ventilation being incorporated into the design.
- Committee encourage a review of the design to the western elevation, considering a change to the design from the round dominant window on the upper storey to an alternative window treatment, possibly like the eastern elevation. The window should fit with the heritage character of the front dwelling and the surrounding dwellings.

(b) *The quality of architectural design including its impact upon the heritage significance of the place and its relationship to adjoining development.*

- The Committee felt that the round top window on the western elevation was not in keeping with the character of the area and elements of the eastern elevation should be adopted for the western elevation.
- The Committee considered the round window and the western section of the upper storey was seen not to tie in with the heritage dwelling and dominates rather than complements the heritage dwelling.
- To ensure visual privacy the kitchen window could be obscure or frosted glazing, however, should be operable for the purposes of ventilation.

(c) *The relationship with and impact on the broader public realm and streetscape;*

- The Committee believed (Elevation 2 – streetline sight line) that the visual streetscape sightline is not an accurate representation of the parts of the dwelling that will be seen from the street and a revised elevation is required.
- The Committee has a concern that the northern upper storey facing the west will dominate the building and the streetscape.

(d) *The impact on the character of the precinct, including its impact upon heritage structures, significant natural features and landmarks;*

- No comment at this time.

(e) *The extent to which the proposal is designed to be resource efficient, climatically appropriate, responsive to climate change and a contribution to environmental sustainability;*

- The Committee felt that it was essential that the kitchen window can be opened to help promote cross ventilation.

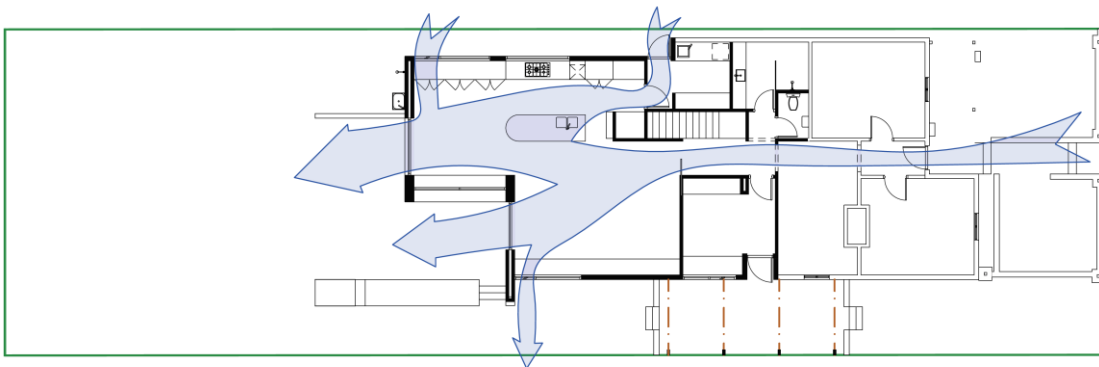
(f) *The demonstration of other qualities of best practice urban design including “Crime Prevention” Through Environmental Design performance, protection of important view corridors and lively civic places;*

- No comment at this time.

Applicant Response to CDAC

After receiving CDAC comments we have amended the design to the height of the first-floor roof dropped by over 400mm on the northern side and 300mm on the southern side. This reduces the bulk

impact on the streetscape as well as reducing the shadow cast on the neighbouring block. As the 2D front elevation is not an accurate representation of what the proposed would look like at a human scale in the street, a streetscape perspective has been included on the revised drawing set that demonstrates the front-on view of the proposed. The first-floor addition has been setback behind the existing heritage structure to allow for the full original roof to remain. This creates a clear division between old and new. While we acknowledge that the proposed will not be completely hidden from the street, it will be set back far enough to not dominate the streetscape or the existing structure. It is not the intention of the additions to mimic the heritage character rather complement the existing through similar materiality within contrasting forms. The town's Residential Design Guidelines section 3.7.2.2, part iv. states "Additions and alterations should visually contrast to a contributory dwelling. Differentiation may be major or subtle". The proposed is designed to 'settle in' to the streetscape by matching the roof cladding with the old and new (the existing house roof will be re-sheeted in zincalume sheeting appropriate to the heritage requirements). The vertical timber cladding will have a jarrah look that represents the material commonly used for weatherboards in the area albeit fixed vertically to distinguish old from new. We believe the round window is a crucial component to soften the angular form. It is reflective of the eclectic nature of the Plympton precinct and pays homage to the history of the Fremantle port which had a major impact on the creation of the area. It should also be noted, one of the 'non-negotiable' points in the original brief we took from the client was that the existing mature tree in the back yard was to remain. The additions have been designed to fit within the limited footprint of the existing structure and tree canopy. We believe the design includes ample cross flow ventilation. Please refer to the below diagram showing the ventilation of the living area. Larger openings on the east and north create a vacuum effect, sucking air out of the house. The swing door to the laundry provides much more effective ventilation area than the splashback window to the kitchen. We also note that the neighbours request this window to be fixed to reduce the noise transfer from normal everyday kitchen uses.



Officer Response to CDAC

Noted. In response to CDAC's comments the applicant reduced the overall maximum roof height of the proposed dwelling from 7.791m to 7.370. There was concern from CDAC as to the dominance of the addition and large round window facing west towards the street, however the change in roof height will reduce the influence of this window and prevent the rear addition being so dominant over the design when the dwelling is viewed from the street.

External Consultation

Nil

Statutory Environment

Planning and Development Act 2005

Residential Design Codes of WA

Town of East Fremantle Local Planning Scheme No. 3 (LPS No. 3)

Policy Implications

Town of East Fremantle Residential Design Guidelines 2016 (as amended)

Financial Implications

Nil

Strategic Implications

The Town of East Fremantle Strategic Community Plan 2020 – 2030 states as follows:

Built Environment

Accessible, well planned built landscapes which are in balance with the Town's unique heritage and open spaces.

3.1 Facilitate sustainable growth with housing options to meet future community needs.

3.1.1 Advocate for a desirable planning and community outcome for all major strategic development sites.

3.1.2 Plan for a mix of inclusive diversified housing options.

3.1.3 Plan for improved streetscapes.

3.2 Maintaining and enhancing the Town's character.

3.2.1 Ensure appropriate planning policies to protect the Town's existing built form.

3.3 Plan and maintain the Town's assets to ensure they are accessible, inviting and well connected.

3.3.1 Continue to improve asset management within resource capabilities.

3.3.2 Plan and advocate for improved access and connectivity.

Natural Environment

Maintaining and enhancing our River foreshore and other green, open spaces with a focus on environmental sustainability and community amenity.

4.1 Conserve, maintain and enhance the Town's open spaces.

4.1.1 Partner with Stakeholders to actively protect, conserve and maintain the Swan River foreshore.

4.1.2 Plan for improved streetscapes parks and reserves.

4.1.3 Improve and protect the urban forest and tree canopy.

4.2 Enhance environmental values and sustainable natural resource use.

4.2.1 Reduce waste through sustainable waste management practices, including effective community and business education.

4.3 Acknowledge the change in our climate and understand the impact of those changes.

4.3.1 Improve systems and infrastructure standards to assist with mitigating climate change impacts.

Risk Implications

A risk assessment was undertaken and the risk to the Town was deemed to be negligible.

Site Inspection

A site inspection was undertaken

Comment

Statutory Assessment

The proposal has been assessed against the provisions of Local Planning Scheme No. 3 and the Town's Local Planning Policies including the Residential Design Guidelines, as well as the Residential Design Codes. A summary of the assessment is provided in the following tables.

Legend <i>(refer to tables below)</i>	
A	Acceptable
D	Discretionary
N/A	Not Applicable

Residential Design Codes Assessment

Design Element	Required	Proposed	Status
Street Front Setback	6m	13.15m (upper storey)	A
Secondary Street Setback			N/A
Lot Boundary Setbacks			
Northern wall – upper storey	3.7m	1.837m	D
Southern wall – upper storey	1.5m	2.941m	A
Eastern wall – upper storey	3.5m	18.44m	A
Northern wall – ground floor	1.5m	1.854m	A
Southern wall – ground floor	1.5m	1.01m (new additions) 0.314m (existing dwelling)	D
Eastern wall – ground floor	1.5m	11.67m	A
Open Space	50%	75%	A
Wall height	6m	7.048m	D
Roof height	9m	7.37m	A
Setback of Carport/Garage			N/A
Car Parking			N/A
Site Works			N/A
Visual Privacy Master bedroom	4.5m	2.848m (screening to be included)	A
Overshadowing	25%	25%	A
Drainage	To be conditioned		

Local Planning Policies Assessment

LPP Residential Design Guidelines Provision	Status
3.7.2 Additions and Alterations to Existing Buildings	A
3.7.3 Development of Existing Buildings	A
3.7.4 Site Works	A
3.7.5 Demolition	A
3.7.6 Construction of New Buildings	A
3.7.7 Building Setbacks and Orientation	A
3.7.8 Roof Form and Pitch	D
3.7.9 Materials and Colours	A
3.7.10 Landscaping	A
3.7.11 Front Fences	N/A
3.7.12 Pergolas	N/A
3.7.13 Incidental Development Requirements	N/A
3.7.14 Footpaths and Crossovers	N/A
3.7.15.4.3.1 Fremantle Port Buffer Area	Area 2
3.7.15.3.3 Garages and Carports	N/A

This development application proposes alterations and additions at 64 King Street. The applicant is proposing that the existing rear additions which have no heritage significance are demolished and new additions added to the rear of the main heritage dwelling. A second storey is included. A new living, dining, kitchen, study, alfresco, bathrooms and master bedroom are being added to the building. Included in the renovations of the original heritage building is the replacement of the existing decramastic roof with a new metal roof at the same pitch to the existing roof (35 degrees). Such a change has previously been supported by Council in other properties across the Town. The property is a Category B heritage property.

Three variations are requested to the requirements of the Residential Design Codes and two variations are requested to the Residential Design Guidelines in relation to lot boundary setback (on 2 lot boundaries), maximum wall height, roof pitch and roof materials, respectively.

Lot Boundary Setback – Northern Wall - Upper Storey

In accordance with the Residential Design Codes deemed to comply clause 5.1.3 C3.1 a wall that is 9.9m long and 7.474m high with major openings is required to be setback a minimum of 3.7m from the side boundary. In this case the northern wall on the upper storey is located 1.837m from the lot boundary. Based on the design principles clause 5.1.3 P3.1 the reduced lot boundary can be supported for the following reasons;

- There are minimal impacts from building bulk on adjoining properties,
- Adequate sunlight and ventilation is available to the building and the open space on site and to adjoining properties, and
- There is no overlooking or loss of privacy to adjoining properties (compliant with the deemed to comply provisions of the R-Codes).

The proposed development has been designed to be significantly consistent with the existing two storey addition to the dwelling, however the design adds character and articulation to the dwelling which is considered consistent with other such additions in the areas. The adjoining property owners have been considered in the proposed design and additional setbacks are proposed above those of the existing structure. The proposal in some respects will improve the amenity of the adjoining neighbour. The reduced lot boundary setback on the northern boundary is supported.

Lot Boundary Setback – Southern Wall – Ground Floor

In accordance with the Residential Design Codes deemed to comply clause 5.1.3 C3.1 a wall that is 24.965m long and 3.1m high with major openings is required to be setback a minimum of 1.5m from the side boundary. In this case the southern wall on the ground floor of the new additions is located 1.01m from the boundary (the existing dwelling is 0.314m from the boundary). Based on the design principles clause 5.1.3 P3.1 the reduced lot boundary can be supported for the following reasons;

- There are minimal impacts from building bulk on adjoining properties and the proposed additions increase the setback beyond that of the original dwelling,
- Adequate sunlight and ventilation is available to the building and the open space on site and to adjoining properties, and
- There is no overlooking or loss of privacy to adjoining properties.

In this case the proposed lot boundary setback of the addition is greater than the existing dwelling lot boundary setback. The kitchen window is below fence height and the dining room window is a highlight window above 1.6m finished floor level so in both cases privacy is maintained between neighbouring properties. The bulk and scale of the proposal is considered acceptable and has minimal impact to the

adjoining neighbour. For these reasons, the reduced lot boundary setback on the southern boundary is supported.

Wall Height

The proposed additions will have a wall that is 7.048m high. In accordance with the Residential Design Codes deemed to comply clause 5.1.6 C6 and Table Category B the maximum wall height is required to be 6m. In this case the maximum wall height is 1.048m above the acceptable requirements. The increased wall height can be supported as the total roof height is still less than the maximum roof height permissible and the proposal achieves design principles 5.1.6 P6 for the following reasons;

- There is adequate access to direct sun into buildings and appurtenant open spaces as demonstrated by the applicant above. The applicant has demonstrated that there will be an improvement in the neighbour's amenity,
- Adequate daylight to major openings into habitable rooms, and
- Access to views of significance.

The upper storey is setback 2.9m from the southern lot boundary more than the 1.5m setback that is required by the Residential Design Codes, therefore whilst the proposed wall height is over the acceptable requirements, the bulk of the building is reduced and has been designed to be sympathetic to the needs of the neighbour. The design of the addition, proposed articulation and location towards the rear of the existing dwelling is considered to minimise the bulk of the additions to the streetscape and overall the proposal is considered to be sympathetic to the character of the area.

Roof Pitch

The Residential Design Guidelines acceptable development provisions 3.7.8.3 A4.1 require that the roof pitch of dwellings in the Plympton precinct are between 28 and 36 degrees. In this case the dwelling is proposed to have multiple roof pitches of 5, 8 and 20 degrees. The design of the new additions to the rear utilises 3 skillion roofs: 1 sloping down towards the south with a pitch of 5 degrees and 1 sloping down towards the north with a pitch of 8 degrees and a clerestory window facing south providing light to the upper storey master bedroom. The additional part of the rear extension includes a skillion roof facing down towards the south with a pitch of 20 degrees.

In this case the different roof pitches can be supported. On the basis of performance criteria 3.7.8.3 P4 the roof form of the new additions complements the traditional form of the surrounding development in the immediate locality. The roof pitch of the roof of the new additions clearly demonstrate that the extension is contemporary and contrasts strongly with the original heritage dwelling at the front of the property. There are many similar styles of roof that have been utilised for additions in the Plympton precinct and for these reasons it should be supported.

Roof Materials

Currently there is a decramastic tile roof on the original heritage cottage at the front of the property. It is proposed to replace this with new metal roof sheeting (zincalume finish). In accordance with the Residential Design Guidelines acceptable development provision 3.7.9.3 A2.3 requires that existing roof material is retained or replaced as required. Replacement materials should match existing materials for heritage dwellings but new materials can be proposed if they are demonstrated to be compatible with the immediate locality. In this case performance criteria 3.7.9.3 P2 requires that replacement of existing materials with new materials shall be approved where it is compatible with the immediate locality. The replacement roof which is proposed to be made of metal with a zinc finish is similar to many other properties in the Plympton precinct that have undertaken such changes. The

roof will complement the Colorbond roof proposed for the rear additions of the property, but clearly delineate the heritage cottage at the front from the more modern style of the rear additions.

Advertising

The proposed development was advertised to the surrounding property owners, but only one submission was received. Although they were generally supportive of the proposal there were 2 issues identified by the submitters. Responses are provided in the submission table and the applicant is considered to have addressed the concerns raised.

Conclusion

Based on the assessment that has been completed for this development and the explanation provided in this report, the variations that have been proposed to the Residential Design Codes and the Residential Development Guidelines are considered acceptable. As such it is recommended that the proposed development be supported subject to development conditions.

11.2 OFFICER RECOMMENDATION/COMMITTEE RESOLUTION TP020621

Moved Mayor O Neill, seconded Cr Natale

That development approval is granted, and Council exercises its discretion in regard to the following;

- (i) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setbacks – Northern Wall – Upper Storey – 3.7m required, 1.837m provided**
- (ii) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setbacks – Southern Wall – Ground Floor – 1.5m required, minimum of 0.314m provided**
- (iii) Clause 5.1.6 – Residential Design Codes – Wall Height – 6m required, 7.048m provided**
- (iv) Clause 3.7.8.3 – Residential Design Guidelines – Roof Pitch – 28 to 36 degrees required, less than 28 degrees provided**
- (v) Clause 3.7.9.3 – Residential Design Guidelines – Roof Materials – New materials have to be demonstrated as compatible with immediate area, replacement materials compatible with immediate locality**

for alterations and additions at No. 64 (Lot 363) King Street, East Fremantle, in accordance with the plans date stamped received 14 May 2021, subject to the following conditions:

- (1) Visual privacy screening is to be installed adjacent to the northern window of the master bedroom. This visual privacy screening is to be a minimum of 1.6m high from the finished floor level of the master bedroom, permanent, durable, fixed and have at least 75% obscuration.**
- (2) The works are to be constructed in conformity with the drawings and written information accompanying the application for development approval other than where varied in compliance with the conditions of this development approval or with Council's further approval.**
- (3) The proposed works are not to be commenced until Council has received an application for a Building Permit and the Building Permit issued in compliance with the conditions of this development approval unless otherwise amended by Council.**
- (4) With regards to the plans submitted with respect to the Building Permit application, changes are not to be made in respect of the plans which have received development approval, without those changes being specifically marked for Council's attention.**

- (5) All stormwater is to be disposed of on site, an interceptor channel installed if required and a drainage plan be submitted to the satisfaction of the Chief Executive Officer in consultation with the Building Surveyor prior to the issue of a Building Permit.
- (6) If requested by Council within the first two years following installation, the roofing to be treated to reduce reflectivity. The treatment to be to the satisfaction of the Chief Executive Officer in consultation with relevant officers and all associated costs to be borne by the owner.
- (7) All introduced filling of earth to the lot or excavated cutting into the existing ground level of the lot, either temporary or permanent, shall be adequately controlled to prevent damage to structures on adjoining lots or in the case of fill, not be allowed to encroach beyond the lot boundaries. This shall be in the form of structurally adequate retaining walls and/or sloping of fill at the natural angle of repose and/or another method as approved by the Town of East Fremantle.
- (8) Where this development requires that any facility or service within a street verge (street trees, footpath, crossover, light pole, drainage point or similar) is to be removed, modified, or relocated then such works must be approved by Council and if approved, the total cost to be borne by the applicant. Council must act reasonably and not refuse any reasonable proposal for the removal, modification or relocation of such facilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (9) This development approval is to remain valid for a period of 24 months from date of this approval.

Footnote:

The following are not conditions but notes of advice to the applicant/owner:

- (i) *this decision does not include acknowledgement or approval of any unauthorised development which may be on the site.*
- (ii) *a copy of the approved plans as stamped by Council are attached and the application for a Building Permit is to conform with the approved plans unless otherwise approved by Council.*
- (iii) *it is recommended that the applicant provides a Structural Engineer's dilapidation report, at the applicant's expense, specifying which structures on adjoining sites may be adversely affected by the works and providing a record of the existing condition of the structures. Two copies of each dilapidation report should be lodged with Council and one copy should be given to the owner of any affected property.*
- (iv) *all noise levels produced by the construction of the development are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).*
- (vi) *matters relating to dividing fences are subject to the Dividing Fences Act 1961.*

(CARRIED UNANAMOUSLY)

Note: As 4 Committee members voted in favour of the Reporting Officer's recommendation, pursuant to Council's decision regarding delegated decision making made on 20 April 2021, this application is deemed determined, on behalf of Council, under delegated authority.

12.3 Osborne Road No 1 (Lot 1) Proposed alterations additions

Owner	Louise Mousli
Applicant	Abdul Mousli
File ref	P28/21
Prepared by	James Bannerman Planning Officer
Supervised by	Andrew Malone, Executive Manager Regulatory Services
Meeting date	1 June 2021
Voting requirements	Simple Majority
Documents tabled	Nil
Attachments	<ol style="list-style-type: none">1. Location plan and advertising2. Site photos3. Place record form4. Plans date stamped 7 April 20215. Community consultation checklist

Purpose

The purpose of this report is for Council to consider a development application for alterations and additions proposed at No 1 (Lot 1) Osborne Road, East Fremantle.

Executive Summary

This development application proposes alterations and additions to an existing Category A heritage dwelling. A double garage, kitchen, dining, living and alfresco area are being added to the home and the current wall located along the southern boundary and facing Canning Highway is proposed to be modified.

The applicant is seeking Council approval for the following variations to the Residential Design Codes and the Residential Design Guidelines;

- (i) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback – Northern Wall - 1.5m required, 1.162m provided
- (ii) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback – Western Wall - 1.8m required, 1.05m provided
- (iii) Clause 5.3.7 – Residential Design Codes – Site Works – Alfresco Floor Height – Maximum of 0.5m above natural ground level required, greater than 0.5m above natural ground level provided
- (iv) Clause 5.4.1 – Residential Design Codes – Visual Privacy – 7.5m required, 1.050m (western boundary) & 1.162m (northern boundary) provided
- (v) Clause 3.7.8.3 – Residential Design Guidelines – Roof Pitch – 28 to 36 degrees required, 25 degrees provided
- (vi) Clause 3.7.11.5 – Residential Design Guidelines – Front Fencing – Fence Height and Visual Permeability – solid 1.2m maximum & 60% visual permeability required, greater than 1.2m solid infill provided and no visual permeability
- (vii) Clause 3.7.15.3.3 – Residential Design Guidelines – Garage Setback – 1.2m behind the existing dwelling required, 1.55m behind the eastern lot boundary provided

It is considered that the above variations can be supported subject to conditions of development approval being imposed.

Background

Zoning: Residential R12.5/40
Site area: 927m²
Heritage: Category A

Previous Decisions of Council and/or History of an Issue or Site

P074/18 – subdivision application – approved 24 October 2018
P084/19 – fencing modifications and crossover – development approval granted 7 November 2019
P004/20 – strata lot 2/ 1 Osborne Road two storey dwelling – development approval granted 7 April 2020
P005/20 – strata lot 3 /1 Osborne Road two storey dwelling – development approval granted 21 April 2020

Consultation

Advertising

The application was advertised to surrounding landowners. One submission was received.

Submission	Applicant Response	Officer Response
<p>I have some concerns I wish to address.</p> <p>In reference to plan A.02 and A.04 - specifically the Alfresco Area.</p> <p>Our concern is that the proposed Alfresco decking is extended past the covered alfresco area so that decking is approximately 500mm from western boundary fence (adjoining our property). Currently although there is no designated 'alfresco area' the flooring sits at ground level and therefore provides some privacy to our house. The proposed raising of this and proximity to boundary fence has created both privacy and noise concerns to us. This has been discussed with the Owners who have been respectful of our concerns; however, we still think raising this as a concern with Council is warranted.</p> <p>Although current boundary fence was jointly extended higher with previous owners, current owner has agreed to further extending this as a compromise for our concerns.</p> <p>In relation to noise concerns, we would be grateful for Council advice and input.</p> <p>In relation to the rest of the proposed development we have no concerns.</p>	<p>As our neighbor has noted and prior to our application with the Town, we met with our neighbors and provided them a copy of our plans to review for a week, after which we met with them face to face to explain our application to ensure they were aware of our intentions and to ensure they were engaged in the process. They advised us of their two concerns, at which point we were happy to provide them with the option of raising the fence to deal with any privacy issues to the benefit of both parties. They were happy with this point and we agreed to the works. In terms of noise, we do not agree with their position on this point. Currently our alfresco area is in the exact same location as it is proposed, the only difference is that we are building a roof over the area to provide shade and rain cover when in use. Our neighbors are aware of this and conceded in person that we are not loud people and they have never heard us make any noise. Their main concern was actually that the block was subdivided and will soon have three neighbors as opposed to one neighbor. This subdivision was not our doing, and in our view is a hangover from the previous owners' dealings with them. Furthermore, our alfresco is fully compliant from a setback point of view. Lastly our alfresco is near their kitchen window and not their outdoor living or internal living rooms, therefore we see no impact to their amenities.</p>	<p>In discussion with the applicant modifications were made to the boundary fence to ensure that there is appropriate screening to the western neighbouring property to improve visual privacy.</p> <p>Noise is not a matter that is dealt with directly by planning regulation, however, the addition of screening or higher boundary walls adjacent to the western neighbouring property will improve visual privacy for the neighbour.</p>

Community Design Advisory Committee (CDAC)

The application was referred to CDAC. The following comments were made.

(a) The overall built form merits;

- The Committee expressed the view that there was a need to break up the solid wall with planting, articulation, and materials. The Committee indicated further design work was required for the front wall, including additional articulation through the possible use of a faux entrance along the wall fronting Canning Highway to provide a point of interest and prevent the wall becoming a solid mass of red brickwork on the Highway.
- The Committee believed that visual surveillance of the street is not possible if the gaps between the piers are bricked up.
- The Committee acknowledges issues around light and noise from Canning Highway but took the view that vegetation along the inside or the outside of the wall could be used to mitigate problems without the scale and bulk of the proposed fence.

(b) The quality of architectural design including its impact upon the heritage significance of the place and its relationship to adjoining development.

- The Committee believed that the garage needed to be setback away from the street to lessen the dominance of the garage to the existing heritage dwelling.
- The Committee believed eaves should be added to the garage to ensure the garage better linked to the existing heritage dwelling.

(c) The relationship with and impact on the broader public realm and streetscape;

- There was concern from the Committee that a Category A heritage property such as this should not be hidden behind a solid wall and should be on show to those passing by.

(d) The impact on the character of the precinct, including its impact upon heritage structures, significant natural features and landmarks;

- See above

(e) The extent to which the proposal is designed to be resource efficient, climatically appropriate, responsive to climate change and a contribution to environmental sustainability;

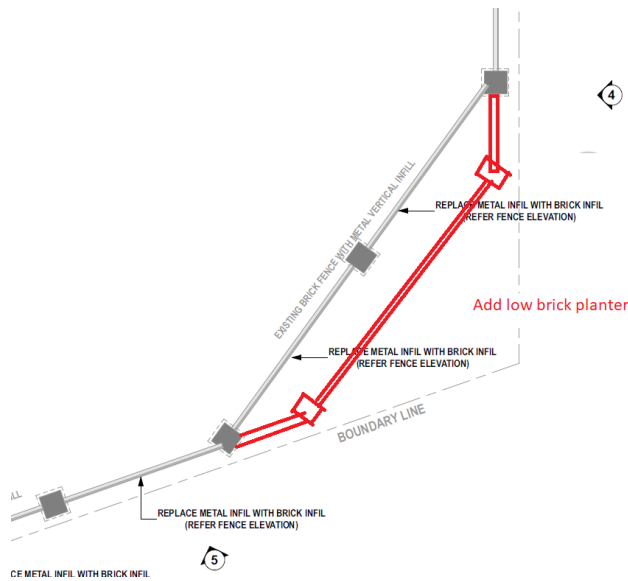
- No comment at this time.

(f) The demonstration of other qualities of best practice urban design including "Crime Prevention Through Environmental Design performance, protection of important view corridors and lively civic places;

- The Committee expressed concern about the loss of passive surveillance from the construction of a solid wall.

Applicant Response to CDAC Comments

- (a) As noted yesterday we would be happy to design a low brick wall in front of the truncation, which will measure about 8-9m along the truncation, with a height of about 500mm. This will create a space which will turn into a planter box which we will vegetate with appropriate planting that will match the dwelling and surrounds. We do not sure the view of a faux as it will detract from the purpose of the wall being for noise attenuation as well as garden privacy/safety for my child. Furthermore, we will look to add some detailing to the wall in line with a nearby heritage property on Osborne Road. See below plan markup and photo.



We do not agree with this position, however we do agree with your comment on the reduction in height as outlined below in your feedback, which we will comply with.

- (b) We do not agree with this position, no action will be taken as it will detriment the entire usability of the garage and dwelling which has been designed to work with the original fabric of the building to ensure minimal impact of the heritage dwelling itself. Furthermore, we have purposely set it back from the boundary to ensure it talks to the look and feel of the home, as opposed to other examples in the area who have built on the boundary in a style and scale that is not in keeping with the heritage property.

We agree with this comment and will add eaves to the garage to match the existing dwelling.

- (c) The front wall is already addressed in above comments. However, on this point the existing wall sits lower than the house. The house will not be hidden as it currently sits much higher than the wall height and sits proud and is visible now and will be visible in the future from the public realm.

(d) As above

(e) Noted

(f) As above

Officer Response

- (a) Main Roads Western Australia will not permit planting to be undertaken on the corner truncation between Osborne Road and Canning Highway as this is an essential sightline for vehicles exiting Osborne Road onto Canning Highway. As a result, it will not be possible to soften the wall with planting along the truncation.
- (b) Noted
- (c) Noted
- (d) Noted
- (e) Noted
- (f) Noted

External Consultation

Referred to Main Roads Western Australia. The following conditions and advice notes were received and are to be included in the final recommendation.

Conditions

- (1) No earthworks shall encroach onto the Canning Highway road reserve.
- (2) The ground levels on the Canning Highway road reserve are to be maintained as existing.
- (3) Stormwater discharge (if any) shall not exceed pre-development discharge to the Canning Highway road reserve.

Advice Notes

- (a) The property is not currently affected by a land reservation in the Metropolitan Region Scheme (MRS) for future road widening.
- (b) A review of the current MRS Primary Regional Road land requirement has been completed in this area, showing an additional land requirement for future road widening on the subject lot. The current and proposed MRS requirement can be seen in Land Protection Plan 201232-0158. This additional requirement will be subject to the Metropolitan Scheme being amended, which has yet to be advertised.
- (c) Land Protection Plan 201232-0158 is currently under review and therefore subject to change. Timing for the completion of this review is not currently known.
- (d) The project for the upgrading/widening of Canning Highway is not in Main Roads current 4 year forward estimated construction program, and all projects not listed are considered long term. Be aware that timing information is subject to change and that Main Roads assumes no liability whatsoever for the information provided.
- (e) The applicant is required to submit an application form to undertake works within the road reserve prior to undertaking any works within the road reserve. Application forms and supporting information about the procedure can be found on the Main Roads website.

Statutory Environment

Planning and Development Act 2005

Residential Design Codes of WA

Town of East Fremantle Local Planning Scheme No. 3 (LPS No. 3)

Policy Implications

Town of East Fremantle Residential Design Guidelines 2016 (as amended)

Financial Implications

Nil

Strategic Implications

The Town of East Fremantle Strategic Community Plan 2020 – 2030 states as follows:

Built Environment

Accessible, well planned built landscapes which are in balance with the Town's unique heritage and open spaces.

3.1 Facilitate sustainable growth with housing options to meet future community needs.

3.1.1 Advocate for a desirable planning and community outcome for all major strategic development sites.

3.1.2 Plan for a mix of inclusive diversified housing options.

3.1.3 Plan for improved streetscapes.

3.2 Maintaining and enhancing the Town's character.

3.2.1 Ensure appropriate planning policies to protect the Town's existing built form.

3.3 Plan and maintain the Town's assets to ensure they are accessible, inviting and well connected.

3.3.1 Continue to improve asset management within resource capabilities.

3.3.2 Plan and advocate for improved access and connectivity.

Natural Environment

Maintaining and enhancing our River foreshore and other green, open spaces with a focus on environmental sustainability and community amenity.

4.1 Conserve, maintain and enhance the Town's open spaces.

4.1.1 Partner with Stakeholders to actively protect, conserve and maintain the Swan River foreshore.

4.1.2 Plan for improved streetscapes parks and reserves.

4.1.3 Improve and protect the urban forest and tree canopy.

4.2 Enhance environmental values and sustainable natural resource use.

4.2.1 Reduce waste through sustainable waste management practices, including effective community and business education.

4.3 Acknowledge the change in our climate and understand the impact of those changes.

4.3.1 Improve systems and infrastructure standards to assist with mitigating climate change impacts.

Risk Implications

A risk assessment was undertaken and the risk to the Town was deemed to be negligible.

Site Inspection

A site inspection was undertaken.

Comment

Statutory Assessment

The proposal has been assessed against the provisions of Local Planning Scheme No. 3 and the Town's Local Planning Policies including the Residential Design Guidelines, as well as the Residential Design Codes. A summary of the assessment is provided in the following tables.

Legend <i>(refer to tables below)</i>	
A	Acceptable
D	Discretionary
N/A	Not Applicable

Residential Design Codes Assessment

Design Element	Required	Proposed	Status
Street Front Setback			N/A
Secondary Street Setback			N/A
Lot Boundary Setbacks			
Alfresco, dining & kitchen - northern wall	1.5m	1.162m	D
Garage – northern wall	0m	0m	A
Alfresco – western wall	1.8m	1.05m	D
Open Space	45%	>45%	A
Wall height	6m	<6m	A
Roof height	9m	<9m	A
Car Parking	2 car bays	2 car bays	A
Site Works	Maximum 0.5m above ngl	0.624m	D
Visual Privacy	7.5m from alfresco	1.05m, 1.162m	D
Overshadowing			N/A
Drainage	To be conditioned		

Local Planning Policies Assessment

LPP Residential Design Guidelines Provision	Status
3.7.2 Additions and Alterations to Existing Buildings	A
3.7.3 Development of Existing Buildings	A
3.7.4 Site Works	A
3.7.5 Demolition	A
3.7.6 Construction of New Buildings	A
3.7.8 Roof Form and Pitch	D
3.7.9 Materials and Colours	A
3.7.10 Landscaping	N/A
3.7.11 Front Fences	D
3.7.12 Pergolas	N/A
3.7.13 Incidental Development Requirements	N/A
3.7.14 Footpaths and Crossovers	A
3.7.15.4.2.3 Fremantle Port Buffer Area	N/A
3.7.15.3.3 Garages and Carports	D

This development application proposes alterations and additions to an existing Category A heritage dwelling. A double garage, kitchen, dining, living and alfresco area are being added to the home. Changing the current wall located along the southern boundary and facing Canning Highway is also proposed. The proposed alterations and additions includes the removal of a section of the dwelling

that was renovated in the 1980s as well as an original wall on the north western part of the building. There are minimal internal changes to the dwelling beyond the removal of the northern walls and rooms. Similar brickwork and roof tiles to the original dwelling are being utilised. Currently the home has a carport on the northern edge of the building. The streetscape appearance as a result of the addition of a garage appears to be improved.

Multiple variations are requested to the requirements of the Residential Design Codes and the Residential Design Guidelines including lot boundary setbacks, wall height, infill and visual permeability, roof pitch, alfresco floor level above 0.5m from natural ground level, and visual privacy to both the northern and the western properties.

Lot Boundary Setbacks - Northern Wall – Alfresco, Dining & Kitchen

In accordance with the Residential Design Codes deemed to comply clause 5.1.3 C3.1 the alfresco, dining and kitchen wall that is 11.77m long and 3.514m high is required to be 1.5m from the northern boundary. In this case it is 1.162m from the lot boundary. The reduced lot boundary setback can be supported in accordance with the design principles 5.1.3 P3.1 for the following reasons;

- There are minimal impacts from building bulk on adjoining properties,
- Adequate sunlight and ventilation is available to the building and the open space on site and to adjoining properties, and
- There is minimal overlooking or loss of privacy to adjoining properties.

The proposal is single storey and located to the rear of an existing heritage dwelling. The parent lot was subdivided by a previous owner, which has resulted in minimal open space to the rear of the property. The alfresco, dining and kitchen setback variation is the result of additions being located in that open area. Whilst a setback variation is requested, the impact to the neighbouring property has been addressed by the applicant through amendments to the plans. Notwithstanding this it is noted the northern wall adjoins a vacant site. For the stated reasons, the reduced lot boundary setbacks are supported.

Lot Boundary Setbacks - Western Wall - Alfresco

In accordance with the Residential Design Codes deemed to comply clause 5.1.3 C3.1 the alfresco wall (and the attached wall of the rest of the dwelling) is 25.8m long and 3.514m high and is required to be setback 1.8m from the western boundary. In this case it is 1.05m from the lot boundary. The reduced lot boundary setback can be supported in accordance with the design principles 5.1.3 P3.1 for the following reasons;

- There are minimal impacts from building bulk on adjoining properties,
- Adequate sunlight and ventilation is available to the building and the open space on site and to adjoining properties, and
- There is minimal overlooking or loss of privacy to adjoining properties.

The proposed alfresco area as addressed above is located to the rear of the heritage dwelling in an area with limited space for redevelopment. The setback is considered acceptable based on the constraints of the site. For the stated reasons, the reduced lot boundary setbacks are supported.

Alfresco Floor Height

The rear alfresco area has an elevation that has been raised more than 0.5m above natural ground level and does not meet deemed to comply clause 5.3.7 C7.2. In this case the finished floor level of the alfresco is 0.624m above the natural ground level. The change in level can be supported in accordance

with design principles 5.3.7 P7.1 in that development considers and responds to the natural features of the site and requires minimal fill. It is noted that the increased height of the alfresco triggers the requirement for visual privacy screening as the deemed to comply visual privacy setbacks are not met. See the explanation in the Visual Privacy section below.

variations

Visual Privacy

As the alfresco is elevated above 0.5m it is required to be setback a minimum of 7.5m from the western and northern boundaries in accordance with the Residential Design Codes deemed to comply clause 5.4.1 C1.1i or be visually screened. It is setback 1.05m to the western lot boundary and 1.162m to the northern property boundary. Following discussions with the applicant it was agreed that additional height of 0.3m would be added to the boundary fencing to the north and the west of the alfresco area as indicated on the amended plans to increase privacy between the alfresco area and the northern and western properties. The additional height to the fence is considered acceptable to protect the privacy of the adjoining neighbours.

Roof Pitch

In accordance with the acceptable development provisions 3.7.8.3 A4.1 of the Residential Design Guidelines, the roof pitch in the Richmond precinct is required to be between 28 and 36 degrees. In this case the pitch of the proposed roof is 25 degrees. In accordance with performance criteria 3.7.8.3 P4 the roof pitch complements the traditional form of surrounding development in the immediate locality and that of the heritage dwelling.

Front Fence

There is a longstanding view of the Town that streetscapes are improved by the enforcement of lower and visually permeable front and side fencing (on corner lots) in accordance with the Residential Design Guidelines acceptable development provisions 3.7.11.5 A2.1 and A3. The maximum height of solid walls or fences shall be 1.2 m and the infill panels above this are required to be visually permeable.

The piers are already constructed. The existing fence has infill panels, however the applicant has raised amenity concerns relating to light spill, noise and security. It is proposed to remove the infill panels and construct a solid wall. The applicant is concerned about amenity issues from Canning Highway and in accordance with the Residential Design Guidelines performance criteria provisions 3.7.11.5 P4.1 i the proposed wall height can be supported up to a maximum average height of 2.1m. A condition will be imposed in the Officer's Recommendation that is in alignment with this. Following on from CDAC it was suggested by the applicant to add plants in the corner truncation at the intersection of the lot to Canning Highway and Osborne Road, however as this is a sightline required by Main Roads Western Australia no vegetation or structures are permitted within the existing truncation that prevents sightlines of traffic travelling along Osborne Road or Canning Highway being obstructed.

Garage Setback

In accordance with the Residential Design Guidelines acceptable development provisions 3.7.15.3.3 A3 i the garage is required to be setback 1.2m behind the existing dwelling. In this case the garage is setback 1.5m from the Osborne Road lot boundary and located forward of the side building line of the dwelling. The garage being set forward of the building line can be supported in accordance with performance criteria 3.7.15.3.3 P3 because the garage does not dominate the streetscape or the building and does not detract from the heritage character of the contributory building. Eaves were also included in the garage roof facing Osborne Road following on from a recommendation of CDAC.

Conclusion

Based on the assessment that has been completed for this development and the explanation provided in this report, the that have been proposed to the Residential Design Codes and the Residential Development Guidelines are considered acceptable. As such it is recommended that the proposed development be supported subject to development conditions.

- Mr Mousli spoke in support of the officer's recommendation.

12.3 OFFICER RECOMMENDATION/COMMITTEE RESOLUTION TP030621

Moved Cr Nardi, seconded Cr Natale

That development approval is granted and Council exercises its discretion in regard to the following;

- (i) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback – Northern Wall - 1.5m required, 1.162m provided**
- (ii) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback – Western Wall - 1.8m required, 1.05m provided**
- (iii) Clause 5.3.7 – Residential Design Codes – Site Works – Alfresco Floor Height – Maximum of 0.5m above natural ground level required, greater than 0.5m above natural ground level provided**
- (iv) Clause 5.4.1 – Residential Design Codes – Visual Privacy – 7.5m required, 1.050m (western boundary) & 1.162m (northern boundary) provided**
- (v) Clause 3.7.8.3 – Residential Design Guidelines – Roof Pitch – 28 to 36 degrees required, 25 degrees provided**
- (vi) Clause 3.7.11.5 – Residential Design Guidelines – Front Fencing – Fence Height and Visual Permeability – solid 1.2m maximum & 60% visual permeability required, greater than 1.2m solid infill provided and no visual permeability**
- (vii) Clause 3.7.15.3.3 – Residential Design Guidelines – Garage Setback – 1.2m behind the existing dwelling required, 1.55m behind the eastern lot boundary provided**

for alterations and additions at No. 1 (Lot 1) Osborne Road, East Fremantle, in accordance with the plans date stamped received 17 May 2021, subject to the following conditions:

- (1) No earthworks shall encroach onto the Canning Highway road reserve.**
- (2) The ground levels on the Canning Highway road reserve are to be maintained as existing.**
- (3) Stormwater discharge (if any) shall not exceed pre-development discharge to the Canning Highway road reserve.**
- (4) All solid infills on the front fence facing Canning Highway or Osborne Road (truncated wall section only) are to be in accordance with the plans submitted on 17 May 2021.**
- (5) No development or planting is to occur in the existing Canning Highway/Osborne Road truncation. The area designated as the road truncation is not be altered without the prior approval of Council in consultation with Main Roads WA.**
- (6) The crossover widths are not to exceed the width of the crossovers indicated on the plans date stamped received 17 May 2021 and to be in accordance with Council's crossover policy and the Residential Design Guidelines (2016).**
- (7) The works are to be constructed in conformity with the drawings and written information accompanying the application for development approval other than where varied in compliance with the conditions of this development approval or with Council's further approval.**

- (8) The proposed works are not to be commenced until Council has received an application for a Building Permit and the Building Permit issued in compliance with the conditions of this development approval unless otherwise amended by Council.
- (9) With regard to the plans submitted with respect to the Building Permit application, changes are not to be made in respect of the plans which have received development approval, without those changes being specifically marked for Council's attention.
- (10) All stormwater is to be disposed of on site, an interceptor channel installed if required and a drainage plan be submitted to the satisfaction of the Chief Executive Officer in consultation with the Building Surveyor prior to the issue of a Building Permit.
- (11) All introduced filling of earth to the lot or excavated cutting into the existing ground level of the lot, either temporary or permanent, shall be adequately controlled to prevent damage to structures on adjoining lots or in the case of fill, not be allowed to encroach beyond the lot boundaries. This shall be in the form of structurally adequate retaining walls and/or sloping of fill at the natural angle of repose and/or another method as approved by the Town of East Fremantle.
- (12) Where this development requires that any facility or service within a street verge (street trees, footpath, crossover, light pole, drainage point or similar) is to be removed, modified or relocated then such works must be approved by Council and if approved, the total cost to be borne by the applicant. Council must act reasonably and not refuse any reasonable proposal for the removal, modification or relocation of such facilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (13) This development approval is to remain valid for a period of 24 months from date of this approval.

Footnote:

The following are not conditions but notes of advice to the applicant/owner:

- (i) *this decision does not include acknowledgement or approval of any unauthorised development which may be on the site.*
- (ii) *a copy of the approved plans as stamped by Council are attached and the application for a Building Permit is to conform with the approved plans unless otherwise approved by Council.*
- (iii) *it is recommended that the applicant provides a Structural Engineer's dilapidation report, at the applicant's expense, specifying which structures on adjoining sites may be adversely affected by the works and providing a record of the existing condition of the structures. Two copies of each dilapidation report should be lodged with Council and one copy should be given to the owner of any affected property.*
- (iv) *all noise levels produced by the construction of the development are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).*
- (v) *matters relating to dividing fences are subject to the Dividing Fences Act 1961.*
- (vi) *The property is not currently affected by a land reservation in the Metropolitan Region Scheme (MRS) for future road widening.*
- (vii) *A review of the current MRS Primary Regional Road land requirement has been completed in this area, showing an additional land requirement for future road widening on the subject lot. The current and proposed MRS requirement can be seen in Land Protection Plan 201232-0158.*

This additional requirement will be subject to the Metropolitan Scheme being amended, which has yet to be advertised.

- (viii) Land Protection Plan 201232-0158 is currently under review and therefore subject to change. Timing for the completion of this review is not currently known.*
- (ix) The project for the upgrading/widening of Canning Highway is not in Main Roads current 4 year forward estimated construction program, and all projects not listed are considered long term. Be aware that timing information is subject to change and that Main Roads assumes no liability whatsoever for the information provided.*
- (x) The applicant is required to submit an application form to undertake works within the road reserve prior to undertaking any works within the road reserve. Application forms and supporting information about the procedure can be found on the Main Roads website.*

(CARRIED UNANIMOUSLY)

Note: As 4 Committee members voted in favour of the Reporting Officer's recommendation, pursuant to Council's decision regarding delegated decision making made on 20 April 2021, this application is deemed determined, on behalf of Council, under delegated authority

12.4 Fraser Street No 7 (Lot 184) Proposed alterations and additions

Owner	Gerard McCann
Applicant	Jude Celedin
File ref	P30/21
Prepared by	James Bannerman Planning Officer
Supervised by	Andrew Malone, Executive Manager Regulatory Services
Meeting date	1 June 2021
Voting requirements	Simple Majority
Documents tabled	Nil
Attachments	<ol style="list-style-type: none">1. Location plan and advertising2. Site photos3. Place record form4. Plans date stamped 20 April 20215. Community consultation checklist

Purpose

The purpose of this report is for Council to consider a development application for proposed alterations and additions at No 7 (Lot 184) Fraser Street, East Fremantle.

Executive Summary

This development application proposes alterations and additions to a Category B heritage dwelling at 7 Fraser Street East Fremantle. The development proposes the demolition of the existing ground level rear additions and retain the front heritage components.

The applicant is seeking Council approval for the following variations to the Residential Design Codes and the Residential Design Guidelines;

- (i) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback – Eastern Wall – Ground Floor - Garage & Store – 1.5m required, 0m provided
- (ii) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback – Eastern Wall – Ground Floor - Entry Lobby, Laundry, Utility, Alfresco 1.5m required, 1.2m provided
- (iii) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback – Eastern Wall - Games Room 1m required, 0m provided
- (iv) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback – Northern Wall – Games Room – 6m required, 1.2m provided
- (v) Clause 5.1.6 – Residential Design Codes – Wall Height – 6m required, 6.4m provided

It is considered that the above variations can be supported subject to conditions of development approval being imposed.

Background

Zoning: Residential R12.5

Site area: 931m²

Heritage: Category B

Previous Decisions of Council and/or History of an Issue or Site

Nil

Consultation

Advertising

The application was advertised to surrounding landowners from 29 April to 14 May 2021. No submissions were received.

Community Design Advisory Committee (CDAC)

The application was referred to 3 May 2021 CDAC. The following comments were made.

(a) The overall built form merits;

- The Committee was overall supportive of the proposal.
- The Committee was concerned the garage was out of proportion to the rest of the dwelling and the proportions should be investigated to be like the front facade of the original heritage dwelling. There was a view that the height and width of the garage needed to be increased to enhance the look of the garage against the heritage dwelling.
- The Committee felt the garage needed to have an increased setback front setback behind the existing dwelling.
- The Committee felt the entry past the garage needed to be enhanced using a colonnade or covered walkway that focused attention on the rear entrance.

(b) The quality of architectural design including its impact upon the heritage significance of the place and its relationship to adjoining development.

- Committee was supportive of the overall design.

(c) The relationship with and impact on the broader public realm and streetscape;

- No comment

(d) The impact on the character of the precinct, including its impact upon heritage structures, significant natural features and landmarks;

- No comment.

(e) The extent to which the proposal is designed to be resource efficient, climatically appropriate, responsive to climate change and a contribution to environmental sustainability;

- No comment.

(f) The demonstration of other qualities of best practice urban design including "Crime Prevention" Through Environmental Design performance, protection of important view corridors and lively civic places;

- No comment.

Applicant Response to CDAC

1. The Garage could be higher and I would like it higher, but I am concerned for the eastern neighbour's amenity. The higher the Garage, the higher the parapet wall. I've tried to strike a balance between a desirable interior Garage/Store height and the height and length of the parapet. If Council would like the Garage higher, I support this.
2. Unfortunately, the garage cannot be much wider, as this will impact on morning light into the original rooms and windows along the east side of the house. This is why I have a 1.5 metre

separation, and partly why the Garage is the height it is - so as not to occlude morning sunlight for these original rooms. As well, this separation is deliberate so as to ensure the new structure does not overly challenge the original building form, an important heritage consideration.

3. Aiming to preserve the existing tallow tree in the entry court, I have designed the Garage and Store to the size needs of the family. As the general EFTC Planning rule is no structure in front of the building line, and that the existing house is already on an 11.5 metre setback, it is felt the 0.6 metre further setback for the Garage is a reasonable compromise between the many constraints and desires at play here.
4. As mentioned above, keeping the new Garage structure visually and physically separate is a design tool driven by heritage considerations. To install a colonnade or covered walkway defeats this intention, and also reduces the amount of light able to enter the two original windows along the eastern wall of the house. Preserving the sunlight into these two rooms is a deliberate heritage design intention. Incidentally, the colonnade/covered walkway idea is a very 1970's response and is mostly removed in heritage restoration works. The idea is NOT to focus attention on the rear entrance as this is a purely functional family entry from the cars, and for children on bikes etc. The MAIN entry focus should remain with the gate, pathway, verandah and front door of the original house. This is an important point in the Burra Charter.

Officer Response to CDAC

The comments from the applicant are noted. No amendments were required of the proposed design based on the responses to CDAC comments received from the applicant.

External Consultation

Nil

Statutory Environment

Planning and Development Act 2005

Residential Design Codes of WA

Town of East Fremantle Local Planning Scheme No. 3 (LPS No. 3)

Policy Implications

Town of East Fremantle Residential Design Guidelines 2016 (as amended)

Financial Implications

Nil

Strategic Implications

The Town of East Fremantle Strategic Community Plan 2020 – 2030 states as follows:

Built Environment

Accessible, well planned built landscapes which are in balance with the Town's unique heritage and open spaces.

3.1 Facilitate sustainable growth with housing options to meet future community needs.

3.1.1 Advocate for a desirable planning and community outcome for all major strategic development sites.

- 3.1.2 Plan for a mix of inclusive diversified housing options.
- 3.1.3 Plan for improved streetscapes.
- 3.2 Maintaining and enhancing the Town's character.
 - 3.2.1 Ensure appropriate planning policies to protect the Town's existing built form.
- 3.3 Plan and maintain the Town's assets to ensure they are accessible, inviting and well connected.
 - 3.3.1 Continue to improve asset management within resource capabilities.
 - 3.3.2 Plan and advocate for improved access and connectivity.

Natural Environment

Maintaining and enhancing our River foreshore and other green, open spaces with a focus on environmental sustainability and community amenity.

- 4.1 Conserve, maintain and enhance the Town's open spaces.
 - 4.1.1 Partner with Stakeholders to actively protect, conserve and maintain the Swan River foreshore.
 - 4.1.2 Plan for improved streetscapes parks and reserves.
 - 4.1.3 Improve and protect the urban forest and tree canopy.
- 4.2 Enhance environmental values and sustainable natural resource use.
 - 4.2.1 Reduce waste through sustainable waste management practices, including effective community and business education.
- 4.3 Acknowledge the change in our climate and understand the impact of those changes.
 - 4.3.1 Improve systems and infrastructure standards to assist with mitigating climate change impacts.

Risk Implications

A risk assessment was undertaken and the risk to the Town was deemed to be negligible.

Site Inspection

A site inspection was undertaken.

Comment

Statutory Assessment

The proposal has been assessed against the provisions of Local Planning Scheme No. 3 and the Town's Local Planning Policies including the Residential Design Guidelines, as well as the Residential Design Codes. A summary of the assessment is provided in the following tables.

Legend <i>(refer to tables below)</i>	
A	Acceptable
D	Discretionary
N/A	Not Applicable

Residential Design Codes Assessment

Design Element	Required	Proposed	Status
Street Front Setback	7.5m	>7.5m	A
Secondary Street Setback			N/A
Lot Boundary Setbacks			
Eastern wall – ground floor - garage & store	1.5m	0m	D

Eastern wall – ground floor - entry lobby, laundry, utility, alfresco	1.5m	1.2m	D
Eastern wall - games room	1m	0m	D
Northern wall – games room	6m	1.2m	D
Western wall – ground floor – sitting room, landing	1.5m	4.1m	A
Eastern wall – upper storey – bed 4, bath	1.2m	4.1m	A
Northern wall – upper storey - bed 2,3,4	6m	14m	A
Western wall- upper storey – bed 2, landing	1.3m	4.1m	A
Open Space	55%	68%	A
Roof height	9m	8.4m	A
Wall height	6m	6.4m	D
Car Parking	2 car bays	2 car bays	A
Site Works			N/A
Visual Privacy			
Bed 4	6m	7m	A
Bed 2	6m	6.7m	A
Overshadowing	Overshadows subject lot		A
Drainage	To be conditioned		

Local Planning Policies Assessment

LPP Residential Design Guidelines Provision	Status
3.7.2 Additions and Alterations to Existing Buildings	A
3.7.3 Development of Existing Buildings	A
3.7.4 Site Works	N/A
3.7.5 Demolition	A
3.7.6 Construction of New Buildings	A
3.7.7 Building Setbacks and Orientation	A
3.7.8 Roof Form and Pitch	A
3.7.9 Materials and Colours	A
3.7.10 Landscaping	A
3.7.11 Front Fences	N/A
3.7.12 Pergolas	N/A
3.7.13 Incidental Development Requirements	N/A
3.7.14 Footpaths and Crossovers	A
3.7.15.4.3.1 Fremantle Port Buffer Area	N/A
3.7.15.3.3 Garages and Carports	A

This development application proposes alterations and additions to a Category B heritage dwelling at 7 Fraser Street East Fremantle. The development proposes the demolition of the existing ground level rear additions and retention of the front heritage components. The proposed development is concentrated to the rear of the lot with the exception of the new single width garage and storeroom on the eastern side of the lot. There is a significant increase in the size of the dwelling however, most of the development is to the rear of the dwelling. Heights have remained below the maximum allowable heights. Five variations are requested to the requirements of the Residential Design Codes in relation to lot boundary setbacks (4) and wall height.

Lot Boundary Setbacks - Eastern Wall – Ground Floor - Garage & Store

It is proposed to construct a wall that is 10.6m long and less than 3.5m high along the eastern boundary of the subject lot. In accordance with the Residential Design Codes deemed to comply clause 5.1.3 C3.1 i a similar wall is required to be setback 1.5m from the boundary. The proposal is located on the eastern boundary. The reduced lot boundary setback can be supported according to design principles clause 5.1.3 P3.2 for the following reasons;

- There is more effective use of space for enhanced privacy for the occupants or the outdoor living areas. The garage as addressed by the applicant has been designed to minimise bulk and scale to the neighbour and does not result in a scale that is considered to have a negative impact to the neighbour,
- There is minimal impact from building bulk on adjoining properties,
- Adequate sunlight and ventilation to the building and open spaces on site and adjoining properties,
- Minimal overlooking and loss of privacy on adjoining properties,
- It does not have an adverse impact on the amenity of the adjoining property,
- Direct sunlight can reach major openings to habitable rooms and outdoor living areas for adjoining properties, and
- Positively contributes to the prevailing and future development context and streetscape as outlined in the local planning framework.

Since it is along the boundary against an existing parapet wall on the neighbouring lot privacy is maintained and the overall impact is considered to be minimal. For the above reasons the reduced lot boundary setback can be supported.

Lot Boundary Setback - Eastern Wall – Ground Floor - Entry Lobby, Laundry, Utility, Alfresco

It is proposed to construct a wall that is 11m long and 3.5m high along the eastern side of the proposed dwelling that is setback 1.2m from the eastern boundary. In accordance with the Residential Design Codes deemed to comply clause 5.1.3 C3.1 i a similar wall is required to be setback 1.5m from the boundary. The reduced lot boundary setback can be supported according to design principles clause 5.1.3 P3.1 for the following reasons;

- There is minimal impact from building bulk on adjoining properties,
- Adequate sunlight and ventilation to the building and open spaces on site and adjoining properties, and
- Minimal overlooking and loss of privacy on adjoining properties.

The reduction in the lot boundary setback is negligible and as such can be supported.

Lot Boundary Setback - Eastern Wall - Games Room

It is proposed to construct a wall that is 7.3m long and 2.9m high along the eastern boundary of the subject lot. In accordance with the Residential Design Codes deemed to comply clause 5.1.3 C3.1 i a similar wall is required to be setback 1m from the boundary. The reduced lot boundary setback can be supported according to design principles clause 5.1.3 P3.2 for the following reasons;

- More effective use of space for enhanced privacy for the occupants or the outdoor living areas,
- There is minimal impact from building bulk on adjoining properties,
- Adequate sunlight and ventilation to the building and open spaces on site and adjoining properties,
- Minimal overlooking and loss of privacy on adjoining properties,

- It does not have an adverse impact on the amenity of the adjoining property,
- Direct sunlight can reach major openings to habitable rooms and outdoor living areas for adjoining properties, and
- Positively contributes to the prevailing and future development context and streetscape as outlined in the local planning framework.

Since it is along the boundary privacy is maintained and sunlight and air can still reach the building and surrounding open spaces. For these reasons, the reduced lot boundary setback can be supported.

Lot Boundary Setback - Northern Wall - Games Room

It is proposed to construct a wall that is 4.6m long and 2.9m high setback 1.2m from the northern boundary of the subject lot. In accordance with the Residential Design Codes deemed to comply clause 5.1.3 C3.1 i a wall is required to be setback 6m from the boundary. The reduced lot boundary setback can be supported according to design principles clause 5.1.3 P3.2 for the following reasons;

- The applicant has designed the proposal to meet the owner's needs and attempted to minimise the impact to the heritage dwelling and adjoining neighbours.
- There is more effective use of space for enhanced privacy for the occupants or the outdoor living areas,
- There is minimal impact from building bulk on adjoining properties,
- Adequate sunlight and ventilation to the building and open spaces on site and adjoining properties,
- Minimal overlooking and loss of privacy on adjoining properties,
- It does not have an adverse impact on the amenity of the adjoining property,
- Direct sunlight can reach major openings to habitable rooms and outdoor living areas for adjoining properties, and
- Positively contributes to the prevailing and future development context and streetscape as outlined in the local planning framework.

For the above reasons, the reduced lot boundary setback can be supported.

Wall Height

The Residential Design Codes requires that wall height should not exceed 6m in accordance to deemed to comply clause 5.1.6 C6. In this case the wall height is 6.4m on the western side of the upper storey of the development. In accordance with design principles 5.1.6 P6 the wall height creates no adverse impact on the amenity of the adjoining properties and there is adequate access to direct sun, daylight and no impact on views of significance. This can be supported based on the fact that the proposed roof height at 8.4m is less than the maximum permissible roof height of 9m.

Conclusion

Based on the assessment that has been completed for this development and the explanation provided in this report, the variations that have been proposed to the Residential Design Codes are considered acceptable. As such it is recommended that the proposed development be supported subject to development conditions.

- Mr McCann spoke in support of the officer's recommendation.

11.4 OFFICER RECOMMENDATION/COMMITTEE RESOLUTION TP040621

Moved Cr Watkins, seconded Cr Harrington

That development approval is granted and Council exercises its discretion in regard to the following;

- (i) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback – Eastern Wall – Ground Floor - Garage & Store – 1.5m required, 0m provided
- (ii) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback – Eastern Wall – Ground Floor - Entry Lobby, Laundry, Utility, Alfresco 1.5m required, 1.2m provided
- (iii) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback – Eastern Wall - Games Room - 1m required, 0m provided
- (iv) Clause 5.1.3 – Residential Design Codes – Lot Boundary Setback – Northern Wall – Games Room – 6m required, 1.2m provided
- (v) Clause 5.1.6 – Residential Design Codes – Wall Height – 6m required, 6.4m provided

for alterations and additions at No. 7 (Lot 184) Fraser Street, East Fremantle, in accordance with the plans date stamped received 20 April 2021, subject to the following conditions:

- (1) The proposed works are not to be commenced until written approval has been received from the Water Corporation in regard to works in proximity to the rear sewerage connection.
- (2) The crossover widths are not to exceed the width of the crossovers indicated on the plans date stamped received 20 April 2021 and to be in accordance with Council’s crossover policy as set out in the Residential Design Guidelines (2016).
- (3) All fencing within the street setback area is to be in compliance with the front fence provisions of the Residential Design Guidelines. Any proposed new fencing or walls in the front setback area will require the submission of a development application for the consideration of the Town.
- (4) The works are to be constructed in conformity with the drawings and written information accompanying the application for development approval other than where varied in compliance with the conditions of this development approval or with Council’s further approval.
- (5) The proposed works are not to be commenced until Council has received an application for a Building Permit and the Building Permit issued in compliance with the conditions of this development approval unless otherwise amended by Council.
- (6) With regard to the plans submitted with respect to the Building Permit application, changes are not to be made in respect of the plans which have received development approval, without those changes being specifically marked for Council’s attention.
- (7) All stormwater is to be disposed of on site, an interceptor channel installed if required and a drainage plan be submitted to the satisfaction of the Chief Executive Officer in consultation with the Building Surveyor prior to the issue of a Building Permit.
- (8) If requested by Council within the first two years following installation, the roofing is to be treated to reduce reflectivity. The treatment is to be to the satisfaction of the Chief Executive Officer in consultation with relevant officers and all associated costs to be borne by the owner.

- (9) All introduced filling of earth to the lot or excavated cutting into the existing ground level of the lot, either temporary or permanent, shall be adequately controlled to prevent damage to structures on adjoining lots or in the case of fill, not be allowed to encroach beyond the lot boundaries. This shall be in the form of structurally adequate retaining walls and/or sloping of fill at the natural angle of repose and/or another method as approved by the Town of East Fremantle.
- (10) Where this development requires that any facility or service within a street verge (street trees, footpath, crossover, light pole, drainage point or similar) is to be removed, modified or relocated then such works must be approved by Council and if approved, the total cost to be borne by the applicant. Council must act reasonably and not refuse any reasonable proposal for the removal, modification or relocation of such facilities or services (including, without limitation any works associated with the proposal) which are required by another statutory or public authority.
- (11) This development approval is to remain valid for a period of 24 months from date of this approval.

Footnote:

The following are not conditions but notes of advice to the applicant/owner:

- (i) *this decision does not include acknowledgement or approval of any unauthorised development which may be on the site.*
- (ii) *a copy of the approved plans as stamped by Council are attached and the application for a Building Permit is to conform with the approved plans unless otherwise approved by Council.*
- (iii) *it is recommended that the applicant provides a Structural Engineer's dilapidation report, at the applicant's expense, specifying which structures on adjoining sites may be adversely affected by the works and providing a record of the existing condition of the structures. Two copies of each dilapidation report should be lodged with Council and one copy should be given to the owner of any affected property.*
- (iv) *all noise levels produced by the construction of the development are to comply with the provisions of the Environmental Protection (Noise) Regulations 1997 (as amended).*
- (vi) *matters relating to dividing fences are subject to the Dividing Fences Act 1961.*

(CARRIED UNANAMOUSLY)

Note: As 4 Committee members voted in favour of the Reporting Officer's recommendation, pursuant to Council's decision regarding delegated decision making made on 20 April 2021, this application is deemed determined, on behalf of Council, under delegated authority

13. MATTERS BEHIND CLOSED DOORS

Nil

14. CLOSURE OF MEETING

There being no further business the Presiding Member declared the meeting closed at 8.15pm.

I hereby certify that the Minutes of the ordinary meeting of the Town Planning Committee of the Town of East Fremantle, held on 1 June 2021, Minute Book reference 1 to 14 were confirmed at the meeting of the Committee on:

6 JULY 2021
.....



Presiding Member

ATTACHMENTS TO TOWN PLANNING COMMITTEE MINUTES

1 JUNE 2021

Minute No	Subject
11.1	Community Design Advisory Committee (3 May 2021)
12.1	George Street No 148 (Lot 78) Proposed double storey dwelling
12.2	King Street No 64 (Lot 363) Proposed alterations and additions
12.3	Osborne Road No 1 (Lot 1) Proposed alterations and additions
12.4	Fraser Street No 7 (Lot 184) Proposed alterations and additions

3 May 2021

MINUTES

Minutes of a Community Design Advisory Committee Meeting, held at East Fremantle Town Hall, on Monday 3 May 2021 commencing at 6:26pm.

1. OPENING OF MEETING

Cr Collinson welcomed the Committee members.

Cr Collinson made the following acknowledgement:

“On behalf of the Council I would like to acknowledge the Whadjuk Nyoongar people as the traditional custodians of the land on which this meeting is taking place and pay respects to the elders past and present.”

2. PRESENT

Cr Cliff Collinson	Chair/ Elected Member
Mr Clinton Matthews	
Mr Michael Norriss	
Mr David Tucker	
David Bennett	
Mr Andrew Malone	Executive Manager Regulatory Services
Mr James Bannerman	Planning Officer

3. APOLOGIES

Dr Jonathan Dalitz
Ms Alex Wilson
Mr Don Whittington

4. LEAVE OF ABSENCE

Nil

5. DECLARATIONS OF INTEREST

Nil

6. CONFIRMATION OF MINUTES

Moved Clinton Matthews, seconded Dave Tucker

Minutes of the Community Design Advisory Committee meeting held on 14 April 2021 were confirmed.

CARRIED UNANIMOUSLY

7. PRESENTATION

Nil.

8. BUSINESS

- 8.1 1 Osborne Road**
(Application P28/21 – 7/4/21)
Alterations and additions

3 May 2021

MINUTES

- (a) *The overall built form merits;*
- The Committee expressed the view that there was a need to break up the solid wall with planting, articulation, and materials. The Committee indicated further design work was required for the front wall, including additional articulation through the possible use of a faux entrance along the wall fronting Canning Highway to provide a point of interest and prevent the wall becoming a solid mass of red brickwork on the Highway.
 - The Committee believed that visual surveillance of the street is not possible if the gaps between the piers are bricked up.
 - The Committee acknowledges issues around light and noise from Canning Highway but took the view that vegetation along the inside or the outside of the wall could be used to mitigate problems without the scale and bulk of the proposed fence.
- (b) *The quality of architectural design including its impact upon the heritage significance of the place and its relationship to adjoining development.*
- The Committee believed that the garage needed to be setback away from the street to lessen the dominance of the garage to the existing heritage dwelling.
 - The Committee believed eaves should be added to the garage to ensure the garage better linked to the existing heritage dwelling.
- (c) *The relationship with and impact on the broader public realm and streetscape;*
- There was concern from the Committee that a Category A heritage property such as this should not be hidden behind a solid wall and should be on show to those passing by.
- (d) *The impact on the character of the precinct, including its impact upon heritage structures, significant natural features and landmarks;*
- See above
- (e) *The extent to which the proposal is designed to be resource efficient, climatically appropriate, responsive to climate change and a contribution to environmental sustainability;*
- No comment at this time.
- (f) *The demonstration of other qualities of best practice urban design including “Crime Prevention” Through Environmental Design performance, protection of important view corridors and lively civic places;*
- The Committee expressed concern about the loss of passive surveillance from the construction of a solid wall.

8.2**64 King Street****(Application P27/21 -6/4/21)**

Alterations and additions

- (a) *The overall built form merits;*
- The Committee considered:
 - overall there was merit in the design intent of the proposal.

3 May 2021

MINUTES

- the western elevation built form is not a suitable resolution for the existing building and compromises the streetscape elevation.
 - the northern setbacks were considered appropriate to capture sunlight.
 - the southern setbacks were considered acceptable subject to greater cross ventilation being incorporated into the design.
 - Committee encourage a review of the design to the western elevation, considering a change to the design from the round dominant window on the upper storey to an alternative window treatment, possibly like the eastern elevation. The window should fit with the heritage character of the front dwelling and the surrounding dwellings.
- (b) *The quality of architectural design including its impact upon the heritage significance of the place and its relationship to adjoining development.*
- The Committee felt that the round top window on the western elevation was not in keeping with the character of the area and elements of the eastern elevation should be adopted for the western elevation.
 - The Committee considered the round window and the western section of the upper storey was seen not to tie in with the heritage dwelling and dominates rather than complements the heritage dwelling.
 - To ensure visual privacy the kitchen window could be obscure or frosted glazing, however, should be operable for the purposes of ventilation.
- (c) *The relationship with and impact on the broader public realm and streetscape;*
- The Committee believed (Elevation 2 – streetline sight line) that the visual streetscape sightline is not an accurate representation of the parts of the dwelling that will be seen from the street and a revised elevation is required.
 - The Committee has a concern that the northern upper storey facing the west will dominate the building and the streetscape.
- (d) *The impact on the character of the precinct, including its impact upon heritage structures, significant natural features and landmarks;*
- No comment at this time.
- (e) *The extent to which the proposal is designed to be resource efficient, climatically appropriate, responsive to climate change and a contribution to environmental sustainability;*
- The Committee felt that it was essential that the kitchen window can be opened to help promote cross ventilation.
- (f) *The demonstration of other qualities of best practice urban design including “Crime Prevention” Through Environmental Design performance, protection of important view corridors and lively civic places;*
- No comment at this time.

8.3

7 Fraser Street**(Application P30/21 - 20/4/21)**

Alterations and additions

3 May 2021

MINUTES

- (a) *The overall built form merits;*
- The Committee was overall supportive of the proposal.
 - The Committee was concerned the garage was out of proportion to the rest of the dwelling and the proportions should be investigated to be like the front facade of the original heritage dwelling. There was a view that the height and width of the garage needed to be increased to enhance the look of the garage against the heritage dwelling.
 - The Committee felt the garage needed to have an increased setback front setback behind the existing dwelling.
 - The Committee felt the entry past the garage needed to be enhanced using a colonnade or covered walkway that focused attention on the rear entrance.
- (b) *The quality of architectural design including its impact upon the heritage significance of the place and its relationship to adjoining development.*
- Committee was supportive of the overall design.
- (c) *The relationship with and impact on the broader public realm and streetscape;*
- No comment
- (d) *The impact on the character of the precinct, including its impact upon heritage structures, significant natural features and landmarks;*
- No comment.
- (e) *The extent to which the proposal is designed to be resource efficient, climatically appropriate, responsive to climate change and a contribution to environmental sustainability;*
- No comment.
- (f) *The demonstration of other qualities of best practice urban design including “Crime Prevention” Through Environmental Design performance, protection of important view corridors and lively civic places;*
- No comment.

8.4**148 George Street**
(Application P21/21 – 10/3/21)
Two storey dwelling

- (a) *The overall built form merits;*
- The Committee note and appreciates the efforts of the applicant to modify the design, however, there is still significant concern about the bulk and scale of development, particularly the significant bulk and scale of the development on May Street (western elevation)
 - The Committee welcomed the addition of timber features on the front facade but felt that there is a need to break up or reduce the bulk of development further.
 - The Committee recommends that the design be revisited, and several suggestions are made to improve the design included flipping the design, pulling the single storey rear section away from the front double storey section to

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provide a break in bulk on May Street, increase the garage setback, or move the garage to George Street.

- (b) *The quality of architectural design including its impact upon the heritage significance of the place and its relationship to adjoining development.*
- It is critical that the proposed design is reduced in size, bulk and scale to meet the character of surrounding homes within the precinct, specifically those dwellings on George Street and May Street.
- (c) *The relationship with and impact on the broader public realm and streetscape;*
- The design does not address May Street and there is a need to provide passive surveillance from a habitable room to May Street. Additional openness and improved presentation of the dwelling needs to be achieved for the May Street elevation.
- (d) *The impact on the character of the precinct, including its impact upon heritage structures, significant natural features and landmarks;*
- See above.
- (e) *The extent to which the proposal is designed to be resource efficient, climatically appropriate, responsive to climate change and a contribution to environmental sustainability;*
- No comment at this time.
- (f) *The demonstration of other qualities of best practice urban design including “Crime Prevention” Through Environmental Design performance, protection of important view corridors and lively civic places;*
- See above.

8.5

18 Philip Street**(Application P31/21 – 22/4/21)***Two storey dwelling*

- (a) *The overall built form merits;*
- The Committee did not support the proposed design.
 - The Committee considered there was limited articulation of the front and side walls of the proposal creating significant bulk and scale to Philip Street.
 - The Committee noted the colour and materials utilised within the proposal should be varied to break up the bulk and scale of development.
 - The Committee noted the potential for concerns about visual privacy from the rear balcony.
- (b) *The quality of architectural design including its impact upon the heritage significance of the place and its relationship to adjoining development.*
- The Committee believed that as the proposal is a large double storey dwelling, there will be significant impacts on the character of the area, including the visual interpretation of the streetscape.
 - The Committee felt that the design does not tie in with the streetscape.



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- The Committee noted the proposal did not achieve good design principles.
- (c) *The relationship with and impact on the broader public realm and streetscape;*
 - The Committee noted that proposal is unsympathetic to the streetscape.
- (d) *The impact on the character of the precinct, including its impact upon heritage structures, significant natural features and landmarks;*
 - See above.
- (e) *The extent to which the proposal is designed to be resource efficient, climatically appropriate, responsive to climate change and a contribution to environmental sustainability;*
 - No comment at this time.
- (f) *The demonstration of other qualities of best practice urban design including “Crime Prevention” Through Environmental Design performance, protection of important view corridors and lively civic places;*
 - No comment at this time.

8.6**18A Philip Street****(Application P32/21 – 22/4/21)***Two storey dwelling*

- (a) *The overall built form merits;*
 - The Committee had similar concerns rating to this proposal assessed in conjunction with the proposal for 18 Philip Street.
 - The committee noted concerns about visual privacy from the rear balcony.
 - The Committee noted the colour and materials utilised within the proposal should be varied to break up the bulk and scale of development.
 - The Committee noted however that 18A Philip Street is at the rear of another dwelling means that therefore there is less concern regarding the proposed bulk, size and scale, therefore its impact on the streetscape is lessened.
- (b) *The quality of architectural design including its impact upon the heritage significance of the place and its relationship to adjoining development.*
 - See above.
- (c) *The relationship with and impact on the broader public realm and streetscape;*
 - See above
- (d) *The impact on the character of the precinct, including its impact upon heritage structures, significant natural features and landmarks;*
 - See above.
- (e) *The extent to which the proposal is designed to be resource efficient, climatically appropriate, responsive to climate change and a contribution to environmental sustainability;*



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- No comment at this time.

(f) *The demonstration of other qualities of best practice urban design including “Crime Prevention” Through Environmental Design performance, protection of important view corridors and lively civic places;*

- No comment.

51 Sewell Street

(Application P33/21 – 22/4/21)

Two storey dwelling

(a) *The overall built form merits;*

- The Committee was supportive of the proposal and believed that the proposal was restrained, particularly the rear addition.
- The Committee requested additional heritage investigations be undertaken prior to a formal assessment being undertaken to inform the decisions makers.
- The Committee welcomed renovations to the dwelling but recommended that the paint on the limestone of the dwelling be removed to help the limestone breathe and assist with the prolonged conservation of the dwelling.

(b) *The quality of architectural design including its impact upon the heritage significance of the place and its relationship to adjoining development.*

- The Committee believed that the heritage fabric of the whole building required a heritage impact assessment.
- The Committee recommended that there be confirmation from a heritage professional that the proposed changes to the dwelling, statements made on the plans and elements of the design are verified.
- The Committee was concerned regarding the claims about the 1960s additions notated on the plans and the removal of the verandah; it was felt that it might be better to retain the verandah subject to a heritage assessment.

(c) *The relationship with and impact on the broader public realm and streetscape;*

- See above.

(d) *The impact on the character of the precinct, including its impact upon heritage structures, significant natural features and landmarks;*

- No comment at this time.

(e) *The extent to which the proposal is designed to be resource efficient, climatically appropriate, responsive to climate change and a contribution to environmental sustainability;*

- No comment at this time.

(f) *The demonstration of other qualities of best practice urban design including “Crime Prevention” Through Environmental Design performance, protection of important view corridors and lively civic places;*

- No comment at this time.

ITEM 11.1

Community Design Advisory Committee

ATTACHMENT 1

**TOWN OF
EAST FREMANTLE**



3 May 2021

MINUTES

9. OTHER

Nil

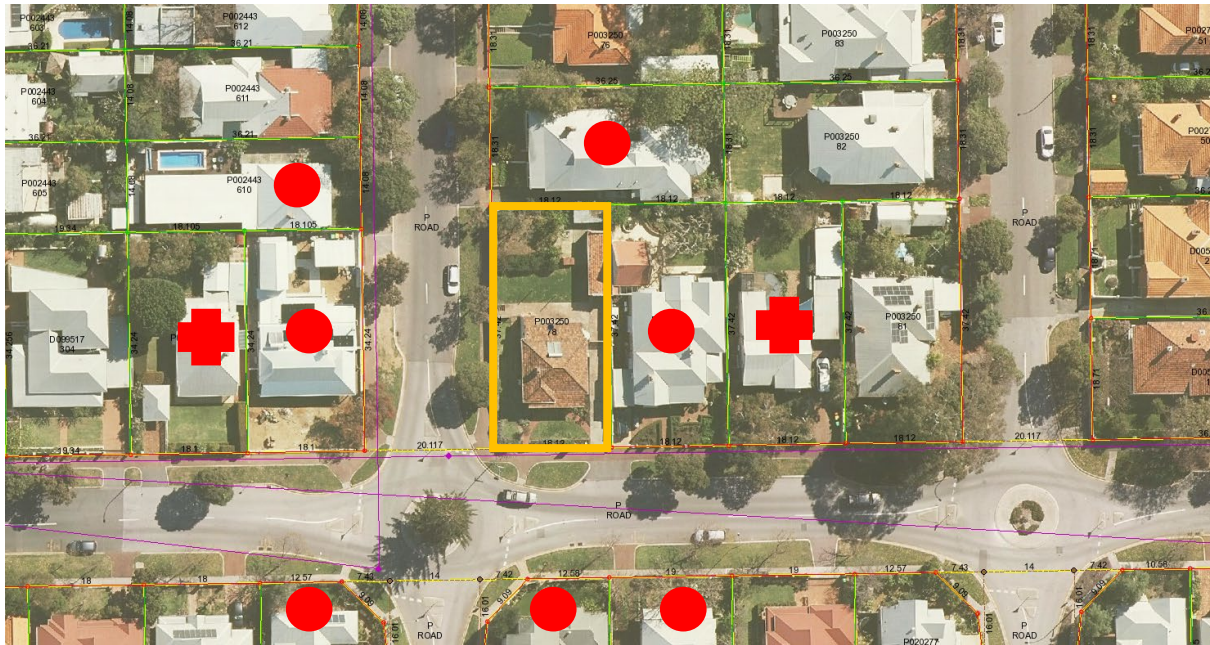
10. BUSINESS WITHOUT NOTICE BY PERMISSION OF THE MEETING

Nil

11. DATE & TIME OF NEXT MEETING

14 June 2021 at 6.00pm (to be confirmed)

148 George Street – Location and Advertising Plan



148 George Street – Site Photos



PLACE RECORD FORM



PRECINCT	Woodside
ADDRESS	148 George Street
PROPERTY NAME	N/A
LOT NO	Lot 78
PLACE TYPE	Residence
CONSTRUCTION DATE	C 1919
ARCHITECTURAL STYLE	Inter-War Austerity
USE/S	Original Use: Residence/ Current Use: Residence
STATE REGISTER	N/A
OTHER LISTINGS	N/A
MANAGEMENT CATEGORY	Category C
PHYSICAL DESCRIPTION	No 148 George Street is a single storey house constructed in timber framing, weatherboard and fibrous cement cladding with a hipped tiled roof. It is a simple expression of the Inter-War Austerity style. The front elevation is asymmetrically planned with a thrust bay and a part width skillion roofed verandah. The verandah is supported on timber posts. The verandah roof extends over the thrust bay to act as a sun hood. The thrust bay features a set of casement windows. There is a central door flanked by a set of casement windows. The weatherboards go to sill height with fibrous cement cladding above. The roofscape features a brick chimney.

	<p>The place retains its basic form and details. There are additions to the rear.</p> <p>The place is consistent with the building pattern in the Precinct. The place plays an important role in the pattern of development of a middle class suburb.</p>
HISTORICAL NOTES	<p>Woodside is a relatively cohesive precinct where most of the places were constructed following the subdivision of W.D. Moore's Estate commencing in 1912. Most of the lots were sold between 1912 and 1929 and the majority of buildings were completed in this time. Residences were substantial and of various Federation period styles distinguishing the area from the small worker's cottages of Plympton. The Inter-War Californian Bungalow style residence is also represented in Woodside.</p> <p>The Woodside Precinct remains largely intact in terms of original housing with little infill subdivision or replacement housing.</p>
OWNERS	Unknown
HISTORIC THEME	Demographic Settlements - Residential Subdivision
CONSTRUCTION MATERIALS	<p>Walls – Timber framing, weatherboard and fibrous cement cladding</p> <p>Roof – Tiles</p>
PHYSICAL SETTING	The residence is situated on a gently sloping site with a low brick fence at the lot boundary.
STATEMENT OF SIGNIFICANCE	<p>No 148 George Street is a single storey house constructed in timber framing, weatherboard and fibrous cement with a tiled roof. It has historic and aesthetic value for its contribution to Woodside's high concentration of predominantly Federation period houses and associated buildings. The place contributes to the local community's sense of place.</p> <p>The place has some heritage value for its intrinsic aesthetic value as an Inter-War Austerity style house. The place retains a moderate to high degree of authenticity and a high degree of integrity.</p> <p>The additions to the rear have no significance.</p>
AESTHETIC SIGNIFICANCE	No 148 George Street has some aesthetic value as an Inter-War Austerity style house. It retains most of the characteristic features of a dwelling of the type and period.
HISTORIC SIGNIFICANCE	No 148 George Street has some historic value. It was part of the suburban residential development associated with the expansion of East Fremantle and the subdivision of W. D. Moore's Woodside Estate from 1912.
SCIENTIFIC SIGNIFICANCE	N/A
SOCIAL SIGNIFICANCE	No 148 George Street has some social value. It is associated with a significant area of middle class Federation and Inter-War period development which contributes to the community's sense of place.
RARITY	No 148 George Street is not rare in the immediate context but Woodside has rarity value as a cohesive middle class suburb.
CONDITION	No 148 George Street is in good condition.
INTEGRITY	No 148 George Street retains a high degree of integrity.
AUTHENTICITY	No 148 George Street retains a moderate to high degree of authenticity.
MAIN SOURCES	

DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

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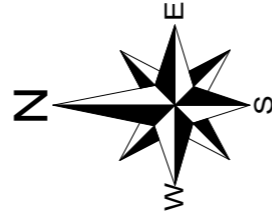
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NOTE:
 WATERMETER NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY.

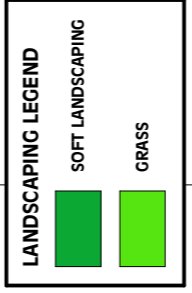
LOT MISCLOSE
 0.000 m

SOIL DESCRIPTION
 Sand
 Refer to Survey



SITE COVERAGE	
ZONED	R20
% ALLOWED	50%
SITE AREA	678.05m ²
SITE COV. AREA	329.23m ²
SITE COV. = 48.6%	

NOTE: EARTHWORKS / SET-OUT DIMENSIONS MAY VARY ON SITE AT BUILDERS DISCRETION. SEWER / DRAINAGE MAY VARY FROM SCHEMATIC PRESENTATION / CHECK MINIMUM CLEARANCES. RETAINING NOT INCLUDED IN CONTRACT - REMAINS OWNERS RESPONSIBILITY. THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS OR FENCES. CHECK TITLE FOR EASEMENTS / COVENANTS ETC.



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HOUSE MODEL: LAKE LUGANO
CLIENT: CAMPBELL RESIDENCE
ADDRESS: LOT 78 (#148) George Street, East Fremantle
JOB NO: 4237
SCALE: 1:200

DRAWING: SITE PLAN
FINAL PLANS DATE:
OWNER:
OWNER:
BUILDER:
PRINTED: 27/04/2021
SHEET: 1 of 19

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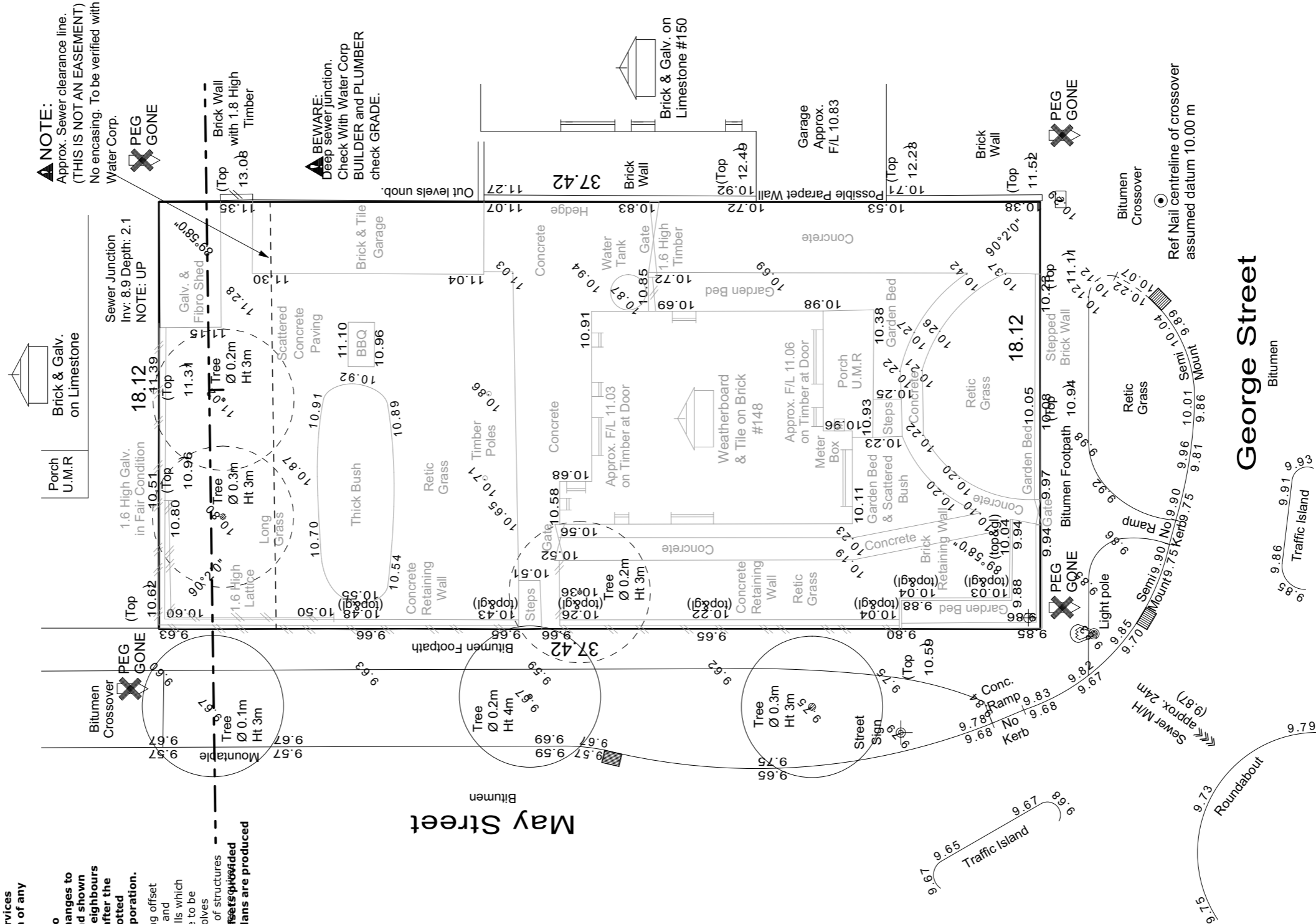
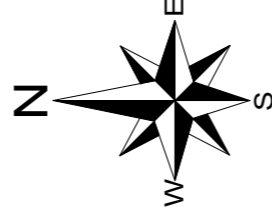
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NOTE:
 WATERMETER NOT LOCATED ADJACENT TO LOT AT TIME OF SURVEY.

LOT MISCLOSE
 0.000 m

SOIL DESCRIPTION
 Sand
 Refer to Survey



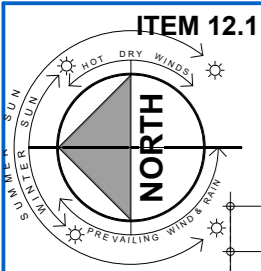
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FRONT SGRN WALL NJ 12/04/21

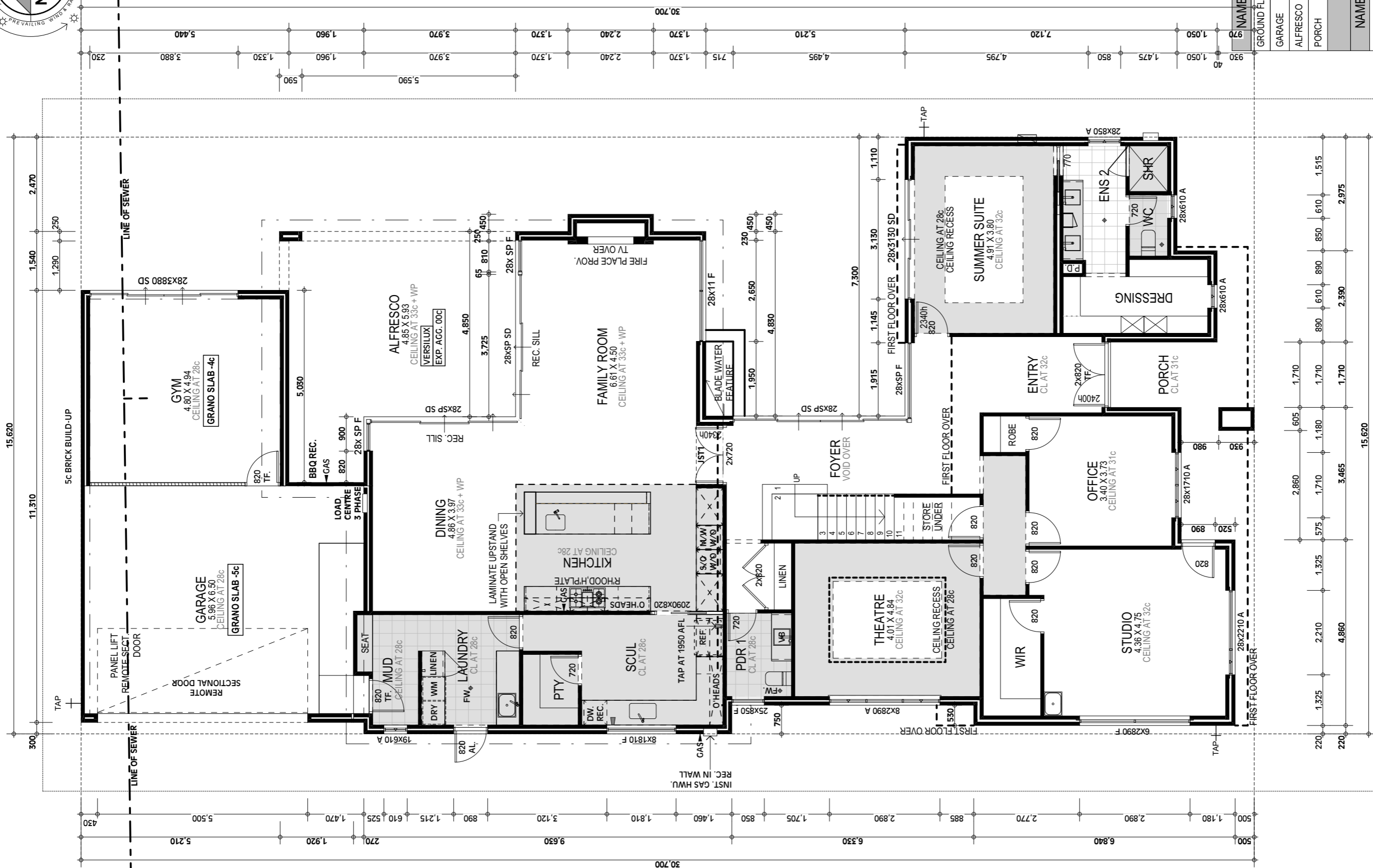
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HOUSE MODEL: LAKE LUGANO	DRAWING: CONTOUR
CLIENT: CAMPBELL RESIDENCE	ADDRESS: LOT 78 (#148) George Street, East Fremantle
SCALE: 1:200	JOB NO: 4237

FINAL PLANS DATE:	OWNER:	WITNESS:
OWNER:	OWNER:	WITNESS:
BUILDER:	BUILDER:	WITNESS:
PRINTED: 27/04/2021	SHEET: 2 of 19	



ITEM 12.1



NAME	AREA (m ²)
GROUND FLOOR	283.61
GARAGE	45.61
ALFRESCO	32.52
PORCH	6.56
NAME	368.30 m²
PERIM. (m)	115.98

ATTACHMENT 4

FINAL PLANS DATE:
 OWNER: WITNESS:
 OWNER: WITNESS:
 BUILDER:

DRAWING: **FLOOR GROUND**
 ADDRESS: **LOT 78 (#148)**
George Street,
East Fremantle

HOUSE MODEL: **LAKE LUGANO**
 CLIENT: **CAMPBELL RESIDENCE**

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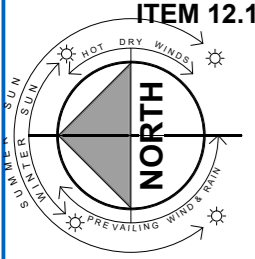
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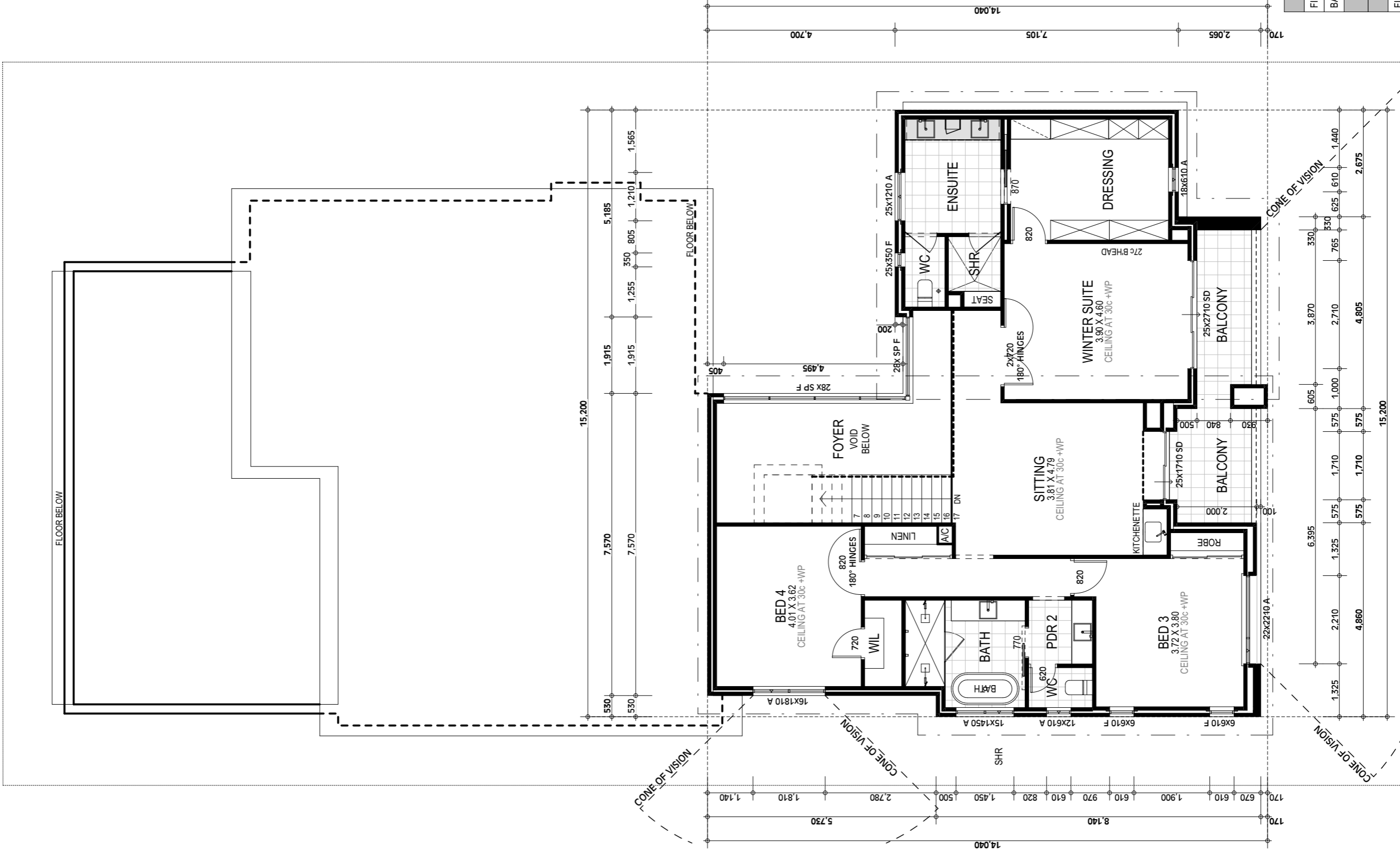
SCALE: 1:100

SCALE: 1:100

SHEET: 3 of 19



ITEM 12.1



NAME	AREA(m ²)
FIRST FLOOR	154.49
BALCONY	14.12
FIRST FLOOR	168.61 m²
NAME	PERIM. (m)
FIRST FLOOR	59.92

ATTACHMENT 4

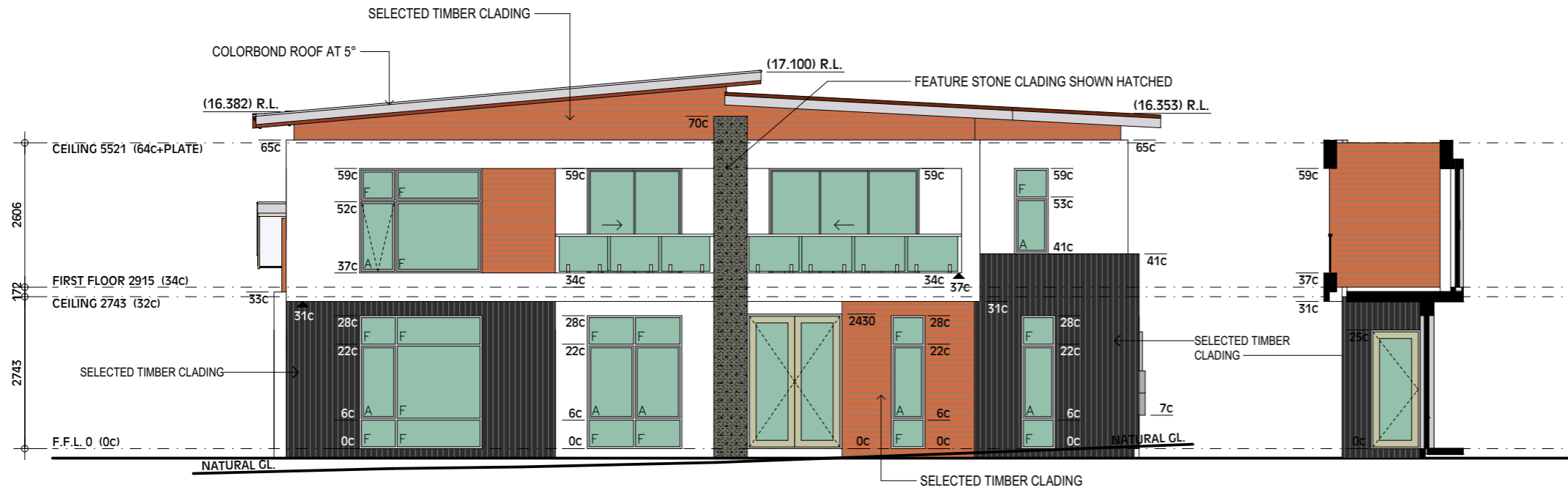
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 OWNER: WITNESS:
 OWNER: WITNESS:
 BUILDER:

DRAWING: **FLOOR FIRST**
 HOUSE MODEL: LAKE LUGANO
 CLIENT: **CAMPBELL RESIDENCE**
 ADDRESS: LOT 78 (#148)
 George Street,
 East Fremantle

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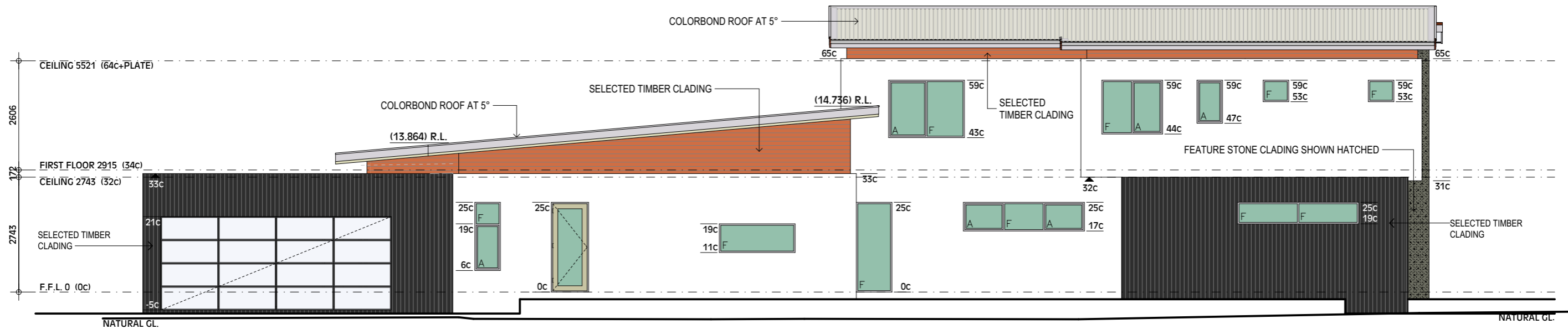
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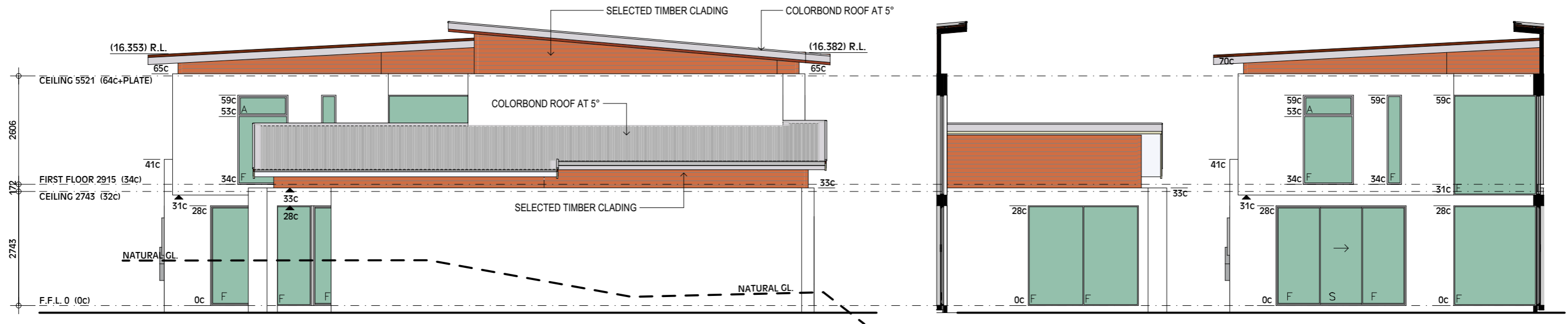
ELEVATION 1

ELEVATION 7



ELEVATION 2

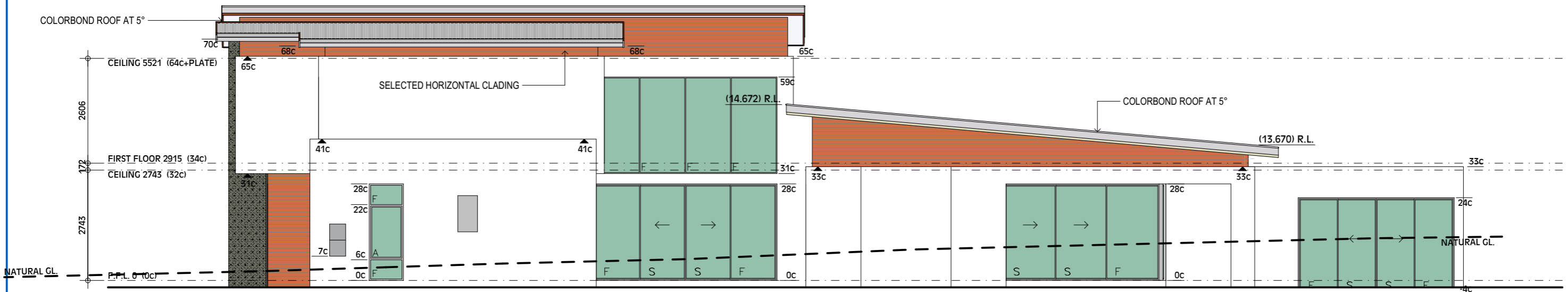
<p>REVISION:</p> <ul style="list-style-type: none"> -PLANNING DWG. NJ 16.12.20 -VO2 NJ 12.04.21 -FRONT SCR. WALL. NJ 12.04.21 	<p>CONSTRUCTION NOTES</p> <ol style="list-style-type: none"> These plans are sole property of Beaumonde Homes and may not be reproduced or modified in whole or in part without written permission. Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the supervisors attention. Do not scale from drawings. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for. The Builder reserves the right to alter dimensions on site to suit construction, engineering, or site conditions. Unless otherwise noted, retaining walls, demolition, sewer piling, subsoil drains, blasting or other site works are all at Owner expense. 	<p>BEAUMONDE HOMES BUILT ON REPUTATION SINCE 1986 A DIVISION OF AINTREE HOLDINGS PTY LTD REG No:7082 SUITE 1, 30 HASLER ROAD, OSBORNE PARK, WA. 6017 TEL: (08) 9446 3388 FAX: (08) 9446 3348 © Copyright AINTREE HOLDINGS</p>	<p>HOUSE MODEL: LAKE LUGANO</p> <p>CLIENT: CAMPBELL RESIDENCE</p> <p>SCALE: 1:100</p>	<p>DRAWING: ELEVATIONS 1</p> <p>ADDRESS: LOT 78 (#148) George Street, East Fremantle</p> <p>JOB NO: 4237</p>	<p>FINAL PLANS DATE:</p> <p>OWNER: WITNESS:.....</p> <p>OWNER: WITNESS:.....</p> <p>BUILDER:</p> <p>PRINTED: 27/04/2021 SHEET: 5 of 19</p>
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ELEVATION 3

ELEVATION 5

ELEVATION 6



ELEVATION 4

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HOUSE MODEL:

LAKE LUGANO

CLIENT:

CAMPBELL RESIDENCE

SCALE: 1:100

DRAWING:

ELEVATIONS 2

ADDRESS:

LOT 78 (#148)
 George Street,
 East Fremantle

JOB NO: 4237

FINAL PLANS DATE:

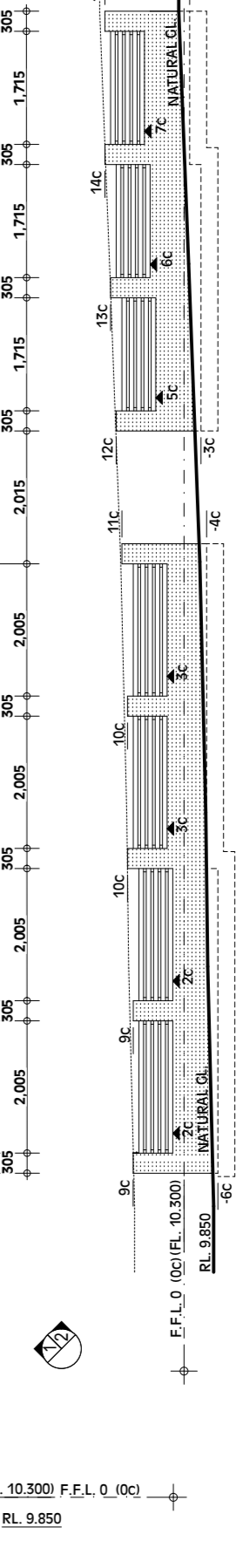
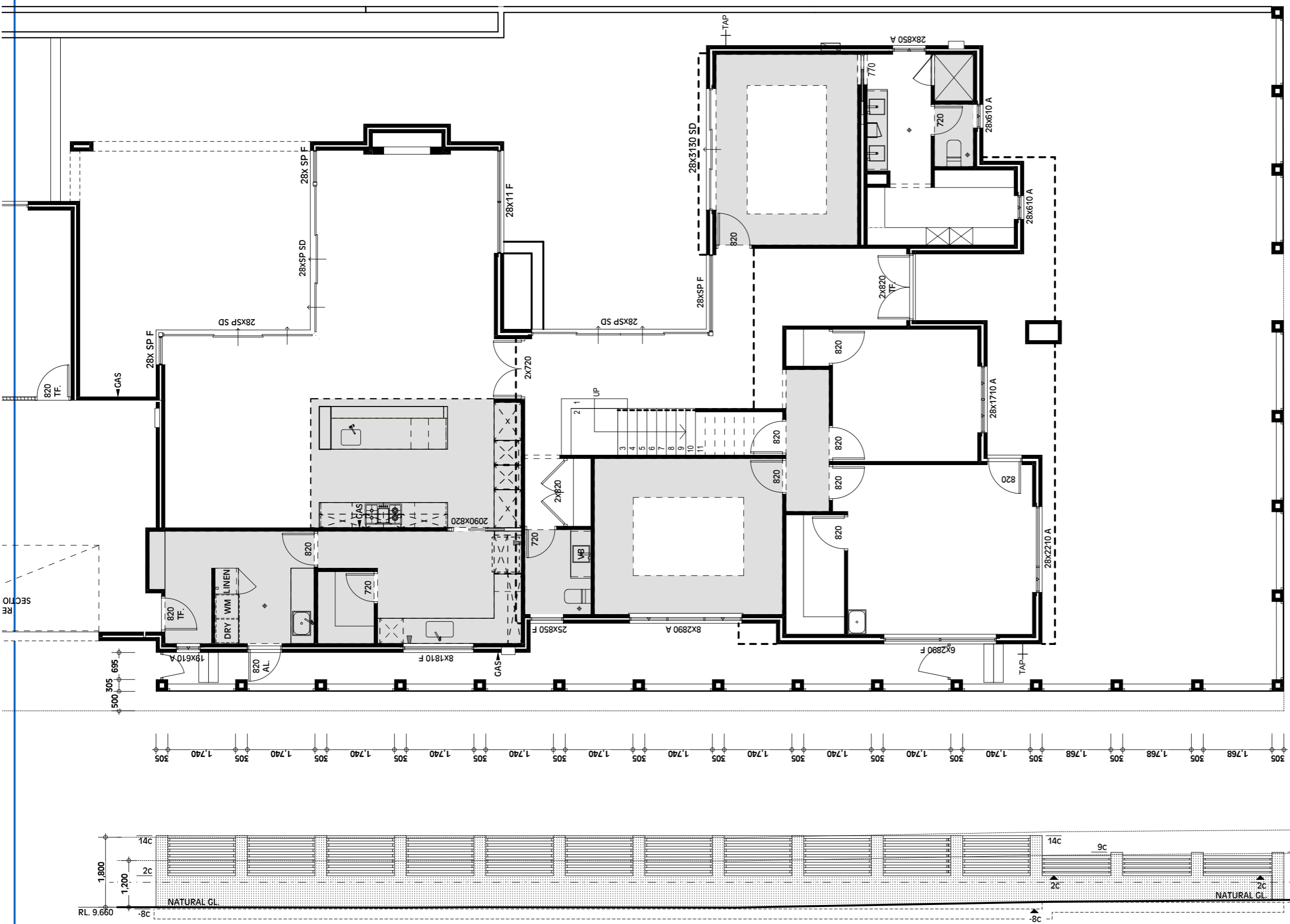
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LS2
 RL 9.660

LS1
 RL 9.850

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HOUSE MODEL:
 LAKE LUGANO

CLIENT:
CAMPBELL RESIDENCE

DRAWING:
SCREEN WALL

ADDRESS:
 LOT 78 (#148)
 George Street,
 East Fremantle

FINAL PLANS DATE:

OWNER: WITNESS:

OWNER: WITNESS:

BUILDER:

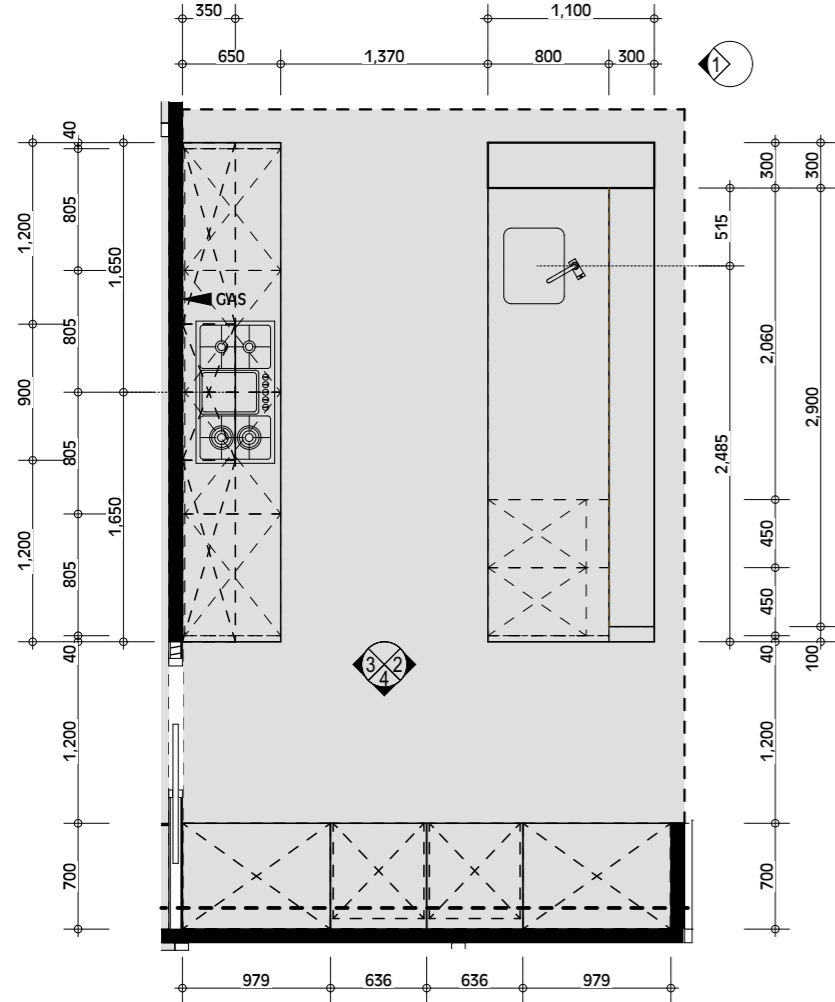
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JOB NO: 4237

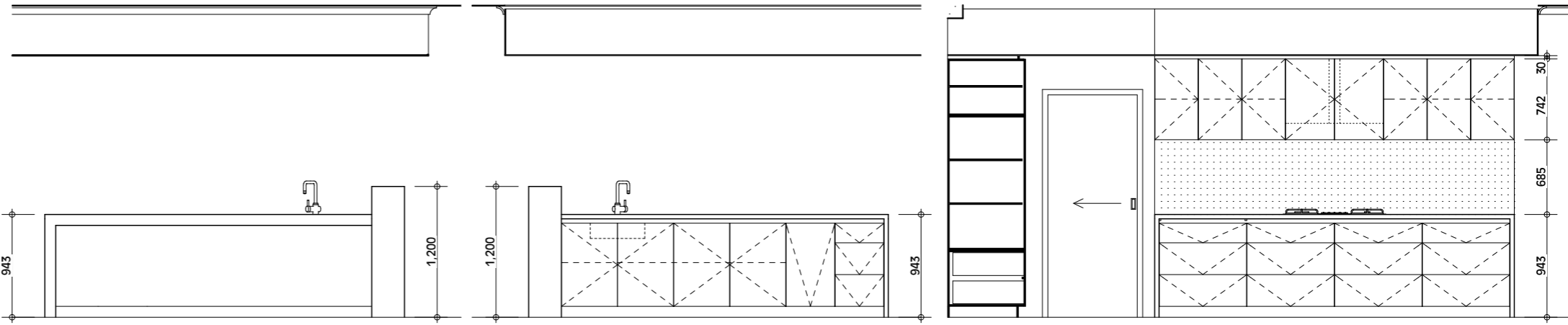
PRINTED: 27/04/2021

SHEET: 7 of 19

ITEM 12.1



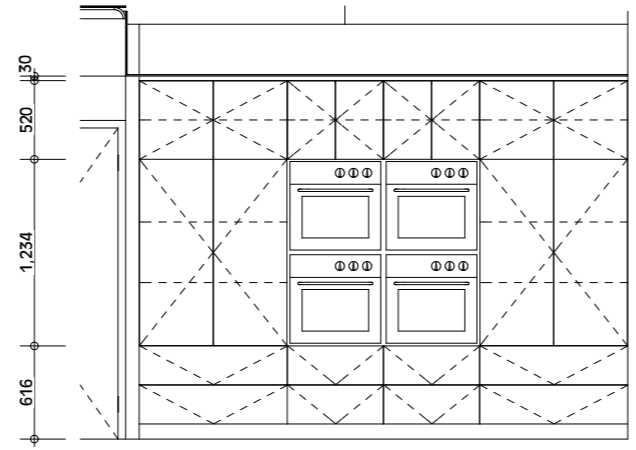
KITCHEN LAYOUT



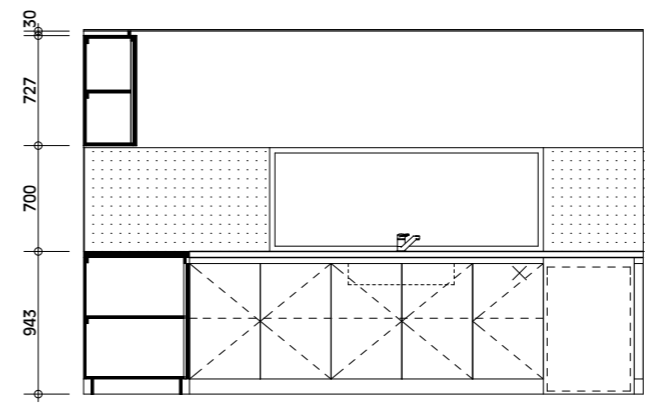
K/1

K/2

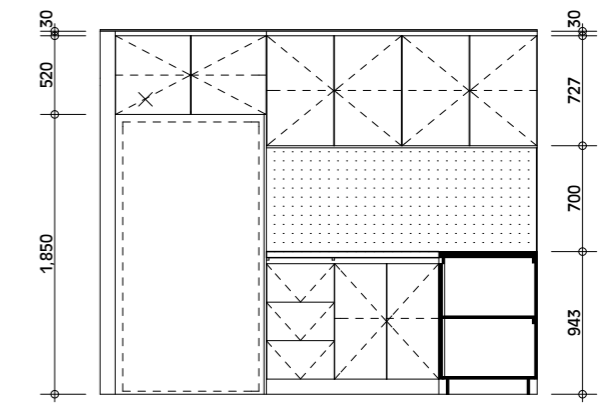
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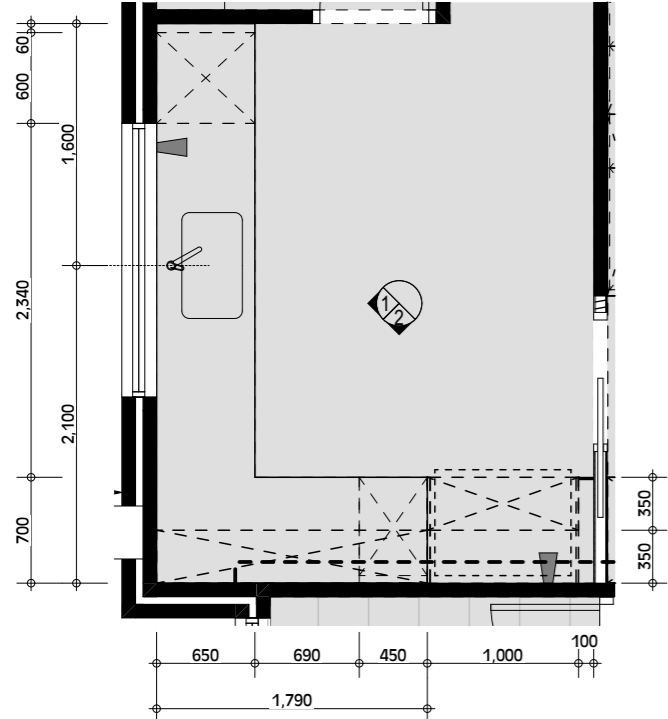
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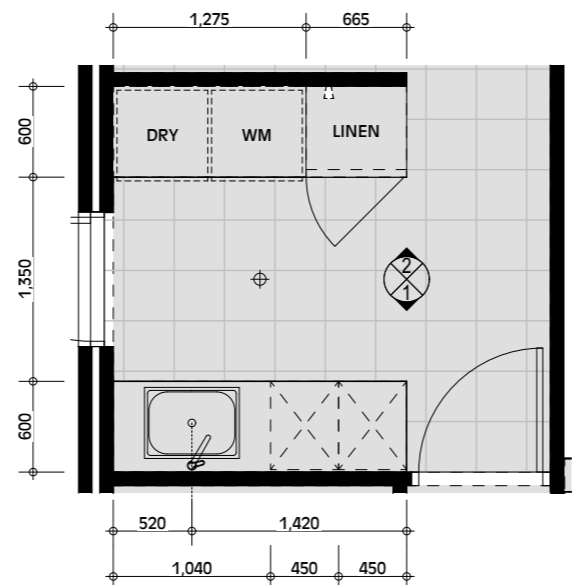
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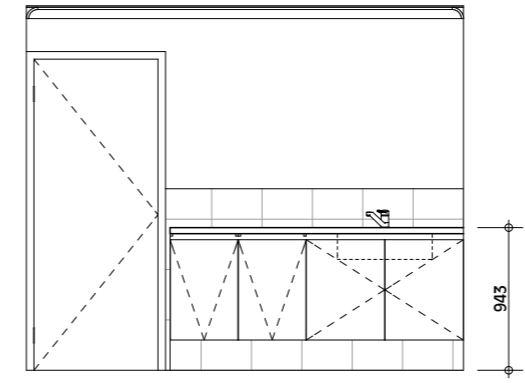
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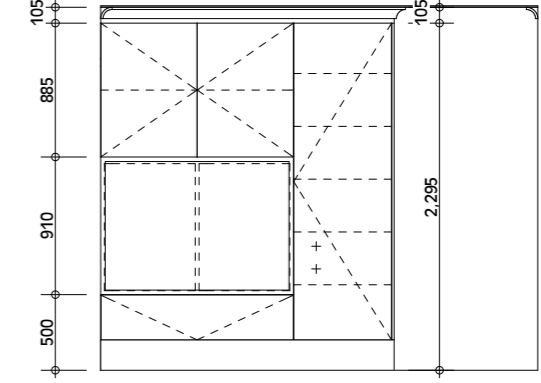
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LAUNDRY LAYOUT

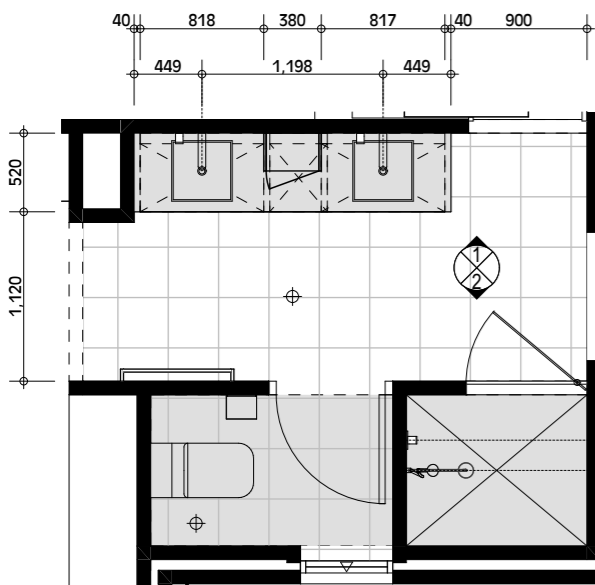
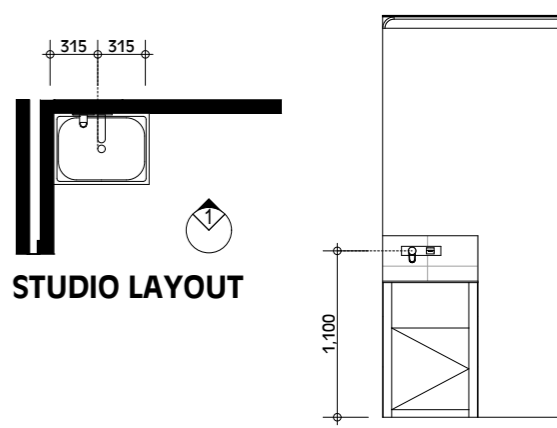
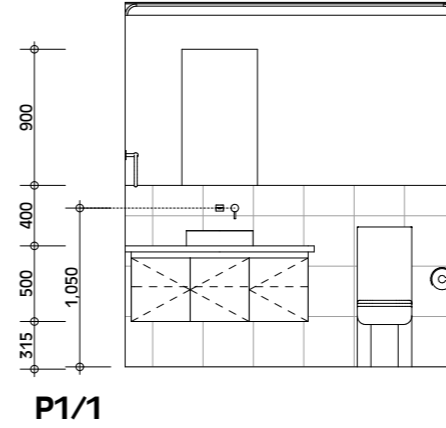
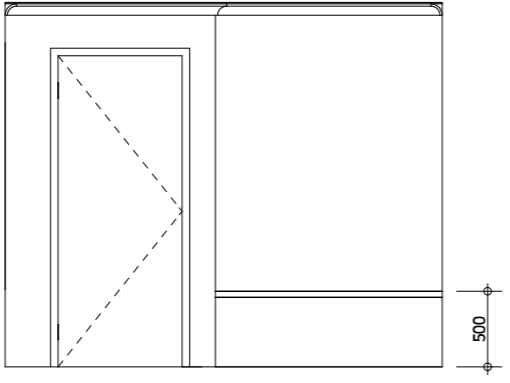
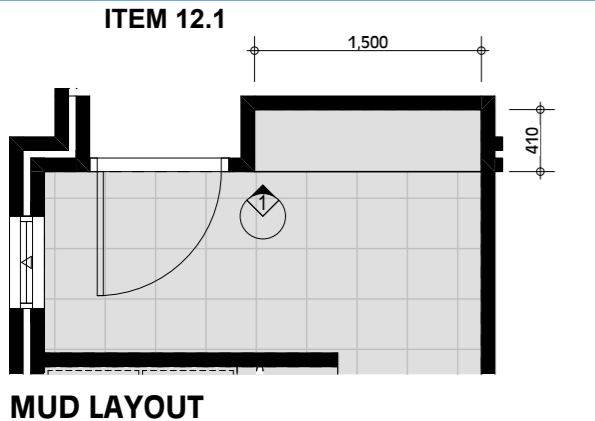


L/1



L/2

<p>REVISION:</p> <ul style="list-style-type: none"> -PLANNING DWG. NJ 16.12.20 -VO2 NJ 12.04.21 -FRONT SCR. WALL. NJ 12.04.21 	<p>CONSTRUCTION NOTES</p> <ol style="list-style-type: none"> 1. These plans are sole property of Beaumonde Homes and may not be reproduced or modified in whole or in part without written permission. 2. Contractors shall check all dimensions and conditions on site prior to commencing fabrication or construction. Any discrepancies to be brought to the supervisors attention. 3. Do not scale from drawings. 4. Owner to note that all sizes shown are without plaster (where applicable) and should be allowed for. 5. The Builder reserves the right to alter dimensions on site to suit construction, engineering, or site conditions. 6. Unless otherwise noted, retaining walls, demolition, sewer piling, subsoil drains, blasting or other site works are all at Owner expense. 	<p>BEAUMONDE HOMES BUILT ON REPUTATION SINCE 1986 A DIVISION OF AINTREE HOLDINGS PTY LTD REG No: 7082 SUITE 1, 30 HASLER ROAD, OSBORNE PARK, WA. 6017 TEL: (08) 9446 3388 FAX: (08) 9446 3348 © Copyright AINTREE HOLDINGS</p>	<p>HOUSE MODEL: LAKE LUGANO</p> <p>CLIENT: CAMPBELL RESIDENCE</p> <p>SCALE: 1:50</p>	<p>DRAWING: INTERNALS 1</p> <p>ADDRESS: LOT 78 (#148) George Street, East Fremantle</p> <p>JOB NO: 4237</p>	<p>FINAL PLANS DATE:</p> <p>OWNER: WITNESS:</p> <p>OWNER: WITNESS:</p> <p>BUILDER:</p> <p>PRINTED: 27/04/2021 SHEET: 16 of 19</p>
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M/1

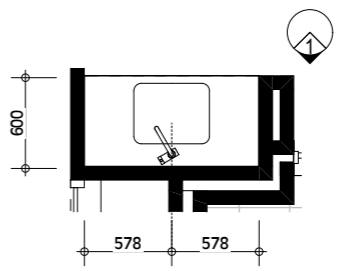
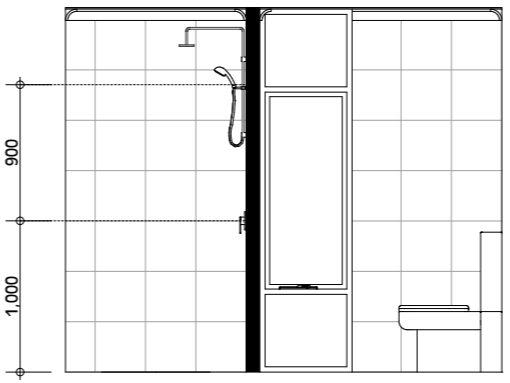
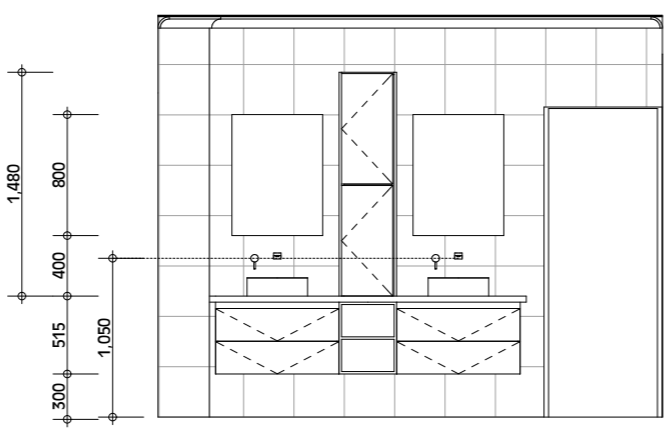
POWDER 1 LAYOUT

P1/1

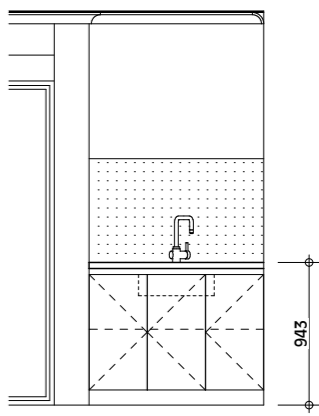
STUDIO LAYOUT

ST/1

ENSUITE 2 LAYOUT



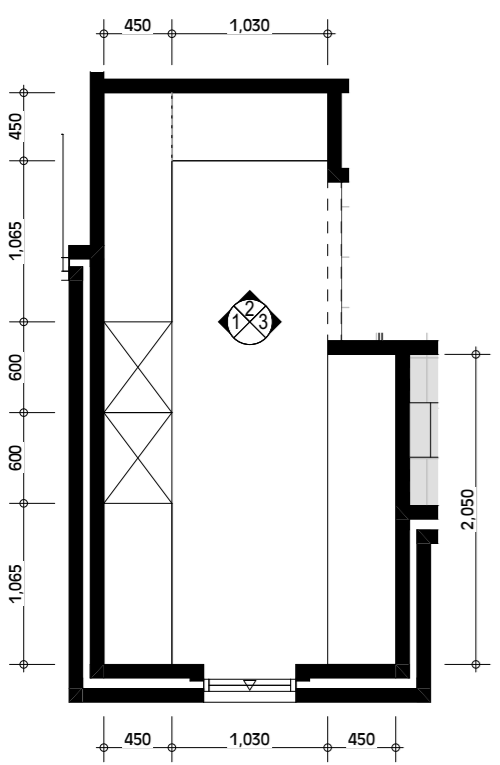
KITCHENETTE LAYOUT



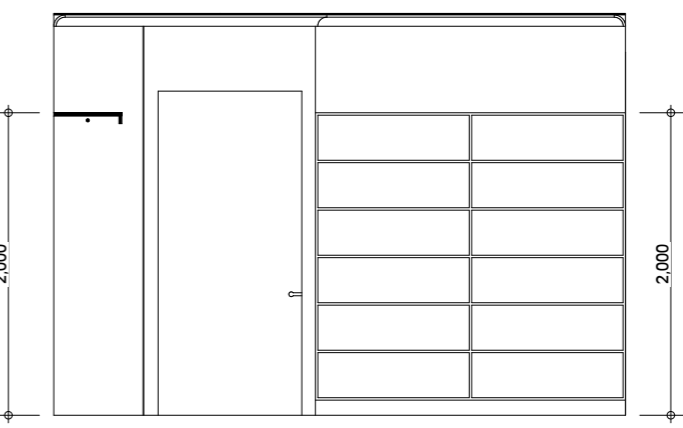
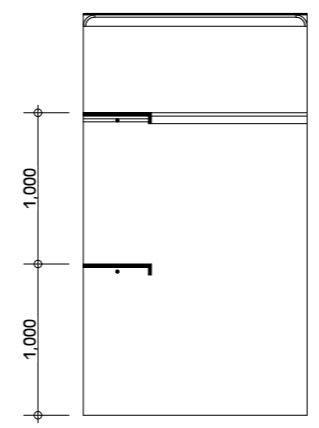
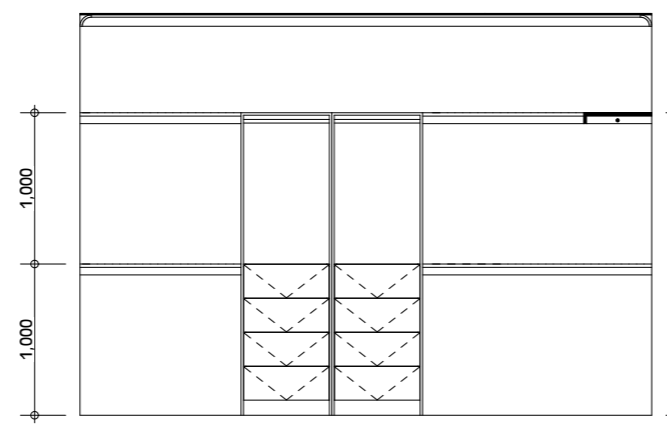
E2/1

E2/2

K11



DRESSING 2 LAYOUT



D2/1

D2/2

D2/3

REVISION:

- PLANNING DWG. NJ 16.12.20
- VO2 NJ 12.04.21
- FRONT SCR. WALL. NJ 12.04.21

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HOUSE MODEL:
LAKE LUGANO

CLIENT:
CAMPBELL RESIDENCE

DRAWING:
INTERNALS 2

ADDRESS:
 LOT 78 (#148)
 George Street,
 East Fremantle

FINAL PLANS DATE:

OWNER: WITNESS:

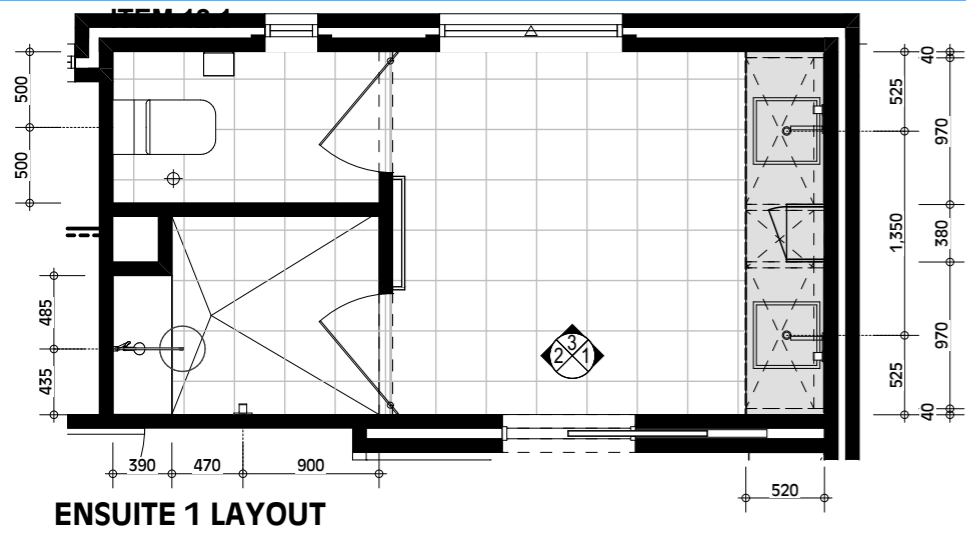
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BUILDER:

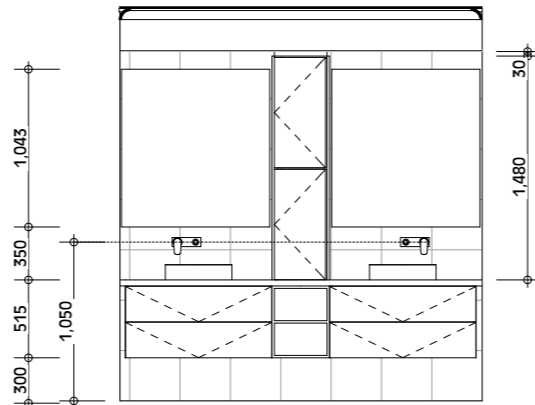
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JOB NO: 4237

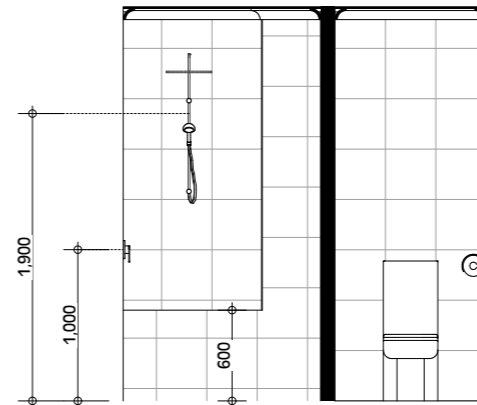
PRINTED: 27/04/2021 SHEET: 17 of 19



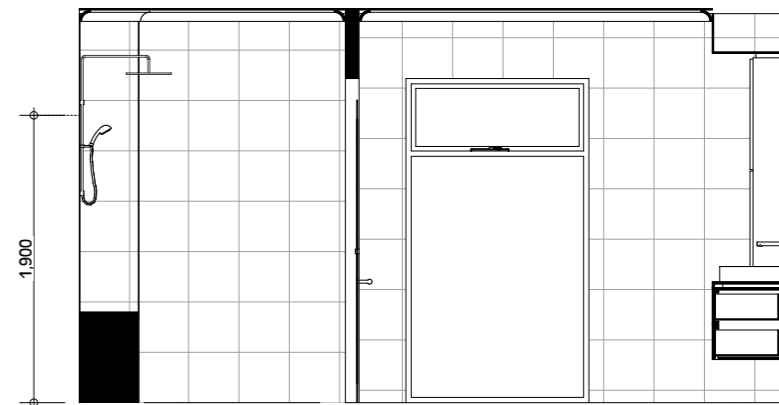
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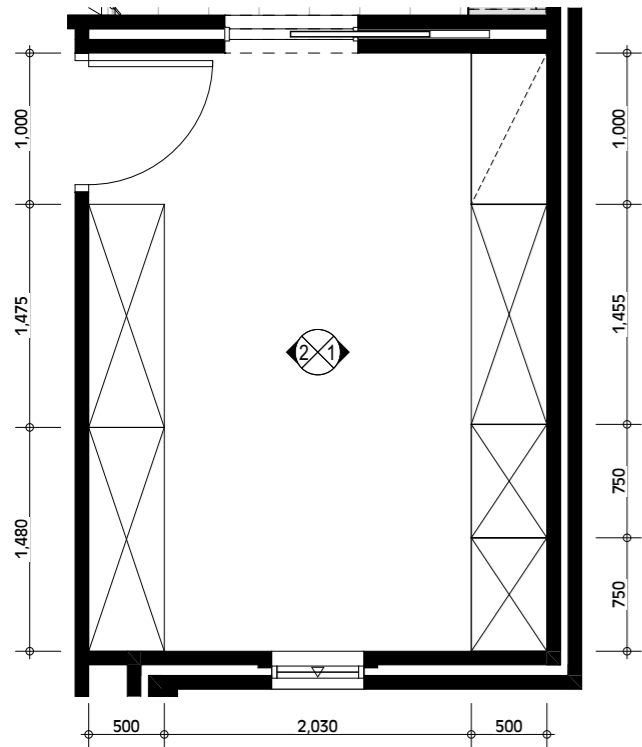
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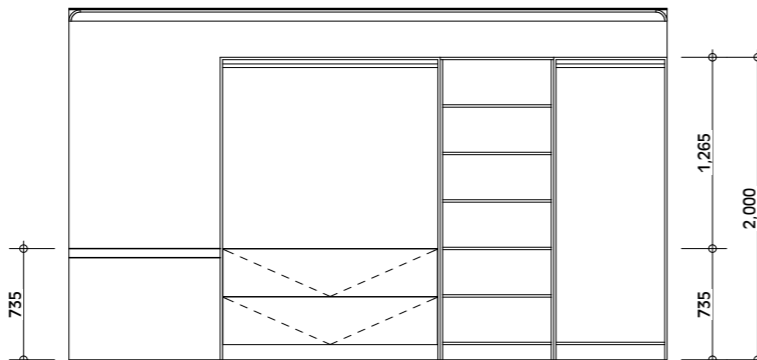
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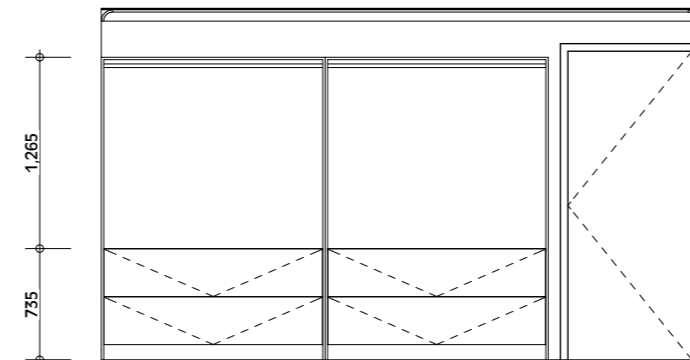
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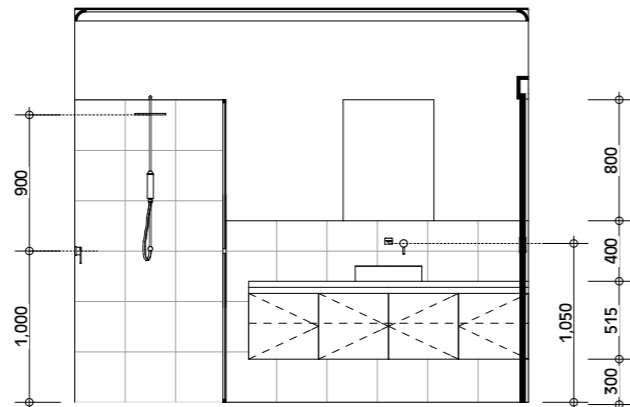
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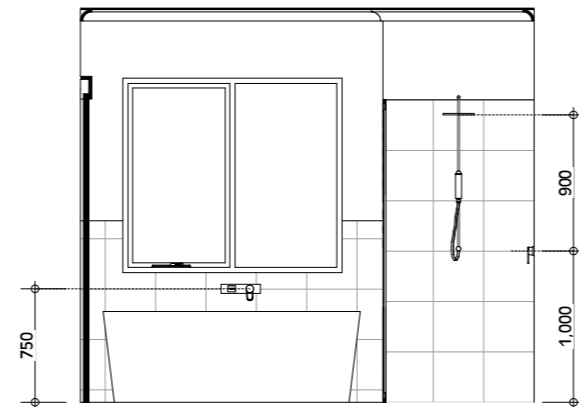
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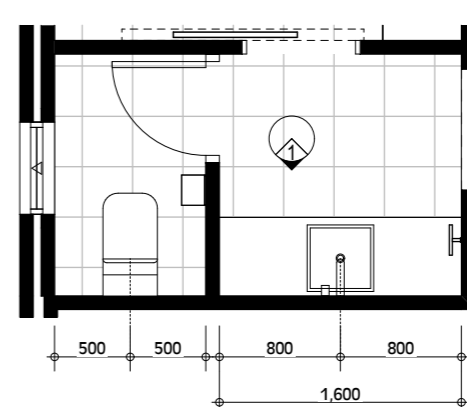
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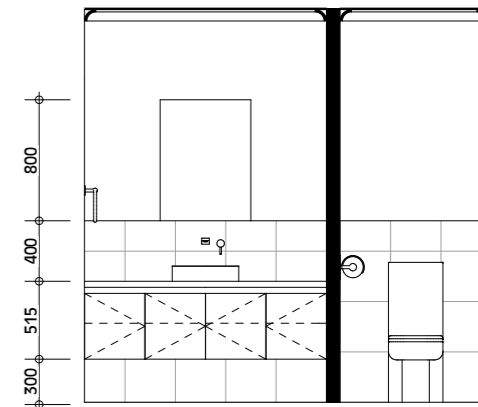
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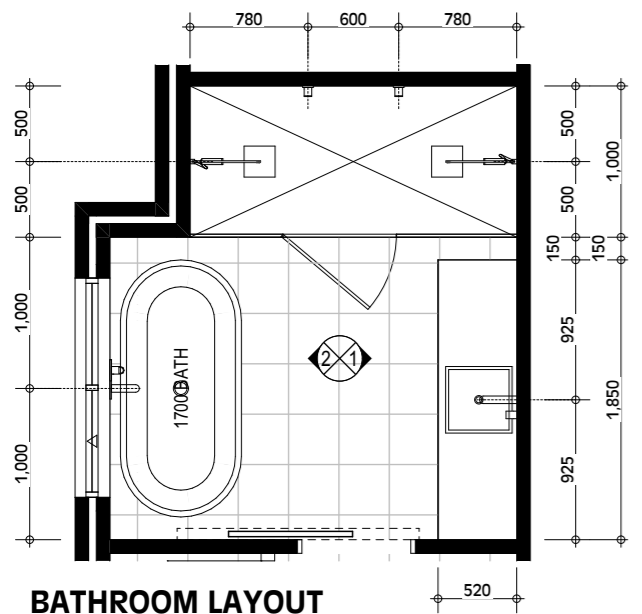
B2



POWDER 2 LAYOUT



P2/1



BATHROOM LAYOUT

REVISION:

- PLANNING DWG. NJ 16.12.20
- VO2 NJ 12.04.21
- FRONT SCR.N. WALL. NJ 12.04.21

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BEAUMONDE HOMES
 BUILT ON REPUTATION SINCE 1986
 A DIVISION OF AINTREE HOLDINGS PTY LTD REG No:7082
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 OSBORNE PARK, WA. 6017
 TEL: (08) 9446 3388 FAX: (08) 9446 3348
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HOUSE MODEL:
 LAKE LUGANO
 CLIENT:
CAMPBELL RESIDENCE

DRAWING:
INTERNALS 3
 ADDRESS:
 LOT 78 (#148)
 George Street,
 East Fremantle

FINAL PLANS DATE:
 OWNER: WITNESS:.....
 OWNER: WITNESS:.....
 BUILDER:

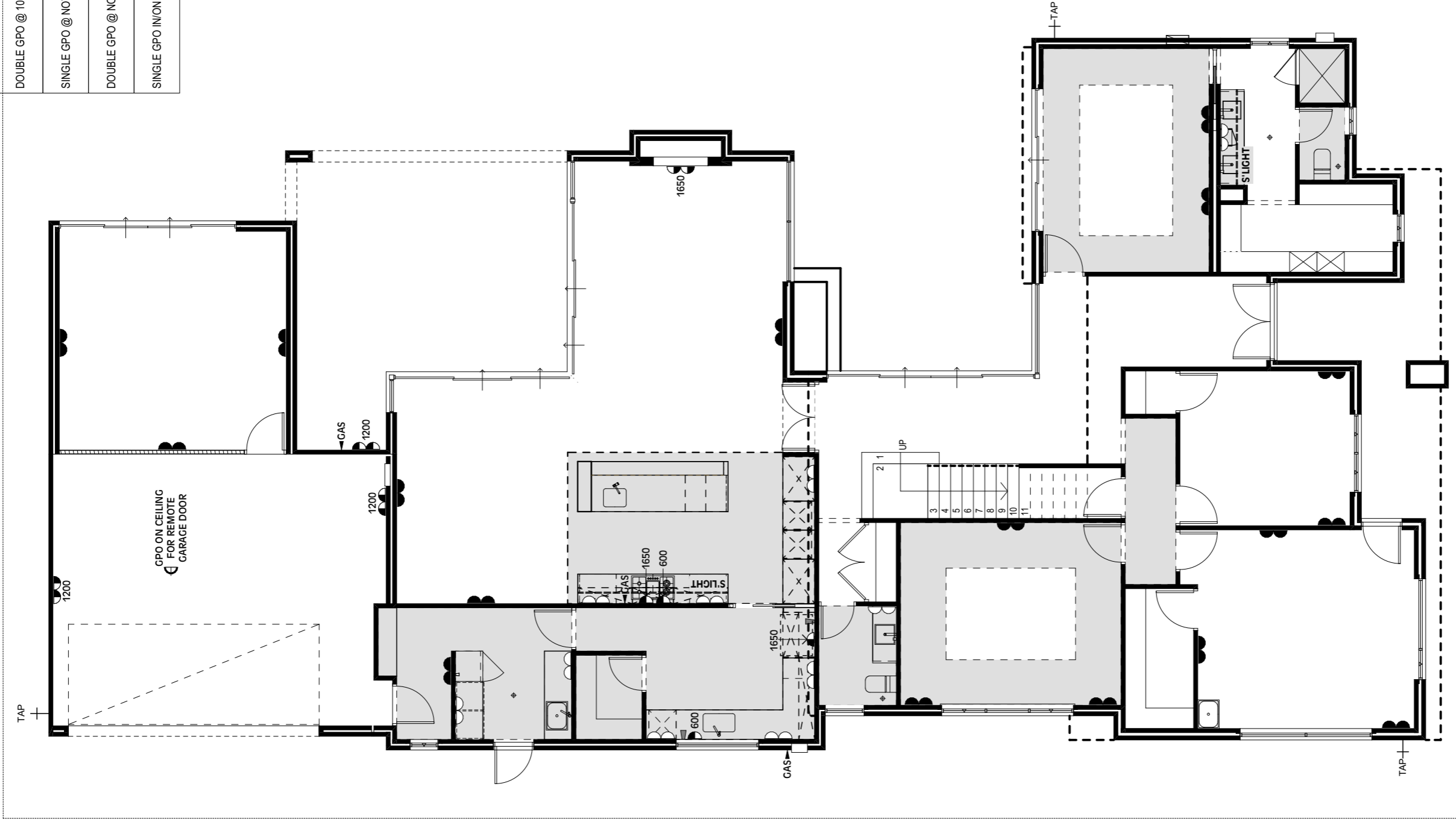
SCALE: 1:50

JOB NO: 4237

PRINTED: 27/04/2021 SHEET: 18 of 19

ITEM 12.1

ELECTRICAL LEGEND - GROUND	
DOUBLE GPO @ 300 AFL	17
DOUBLE GPO @ 1050 AFL	10
SINGLE GPO @ NOTED HT	4
DOUBLE GPO @ NOTED HT	4
SINGLE GPO IN/ON CEILING	1



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 5. Dimensions on site to suit on the basis of existing conditions, or site conditions.
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 BUILT ON REPUTATION SINCE 1986
 A DIVISION OF AINTREE HOLDINGS PTY LTD REG No: 7082
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HOUSE MODEL: LAKE LUGANO
 CLIENT: CAMPBELL RESIDENCE
 SCALE: 1:100, 1:1

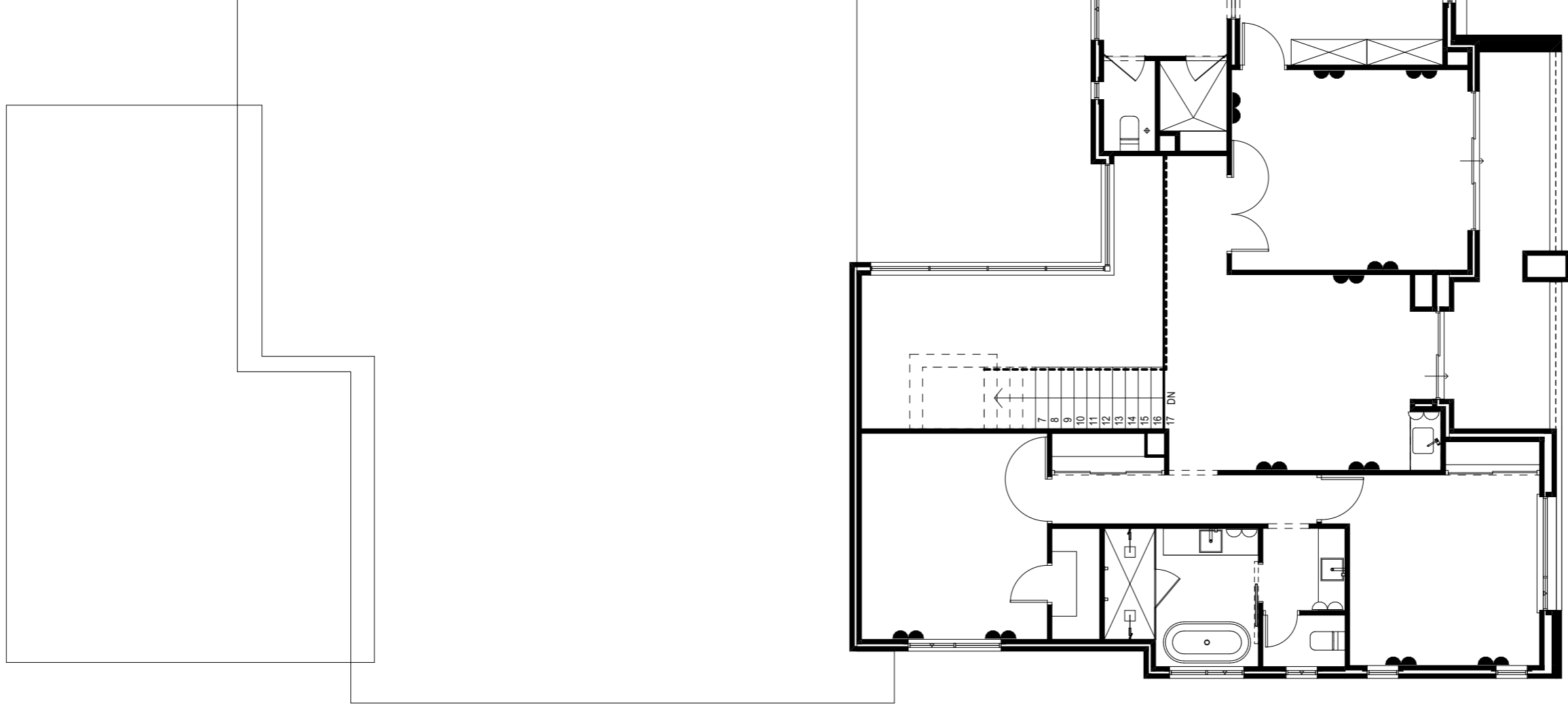
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 ADDRESS: LOT 78 (#148) George Street, East Fremantle
 JOB NO: 4237

FINAL PLANS DATE:
 OWNER: WITNESS:
 OWNER: WITNESS:
 BUILDER:
 PRINTED: 27/04/2021 SHEET: 19 of 19

REVISION:
 -PLANNING DWG. - NJ 16:1220
 -J02 NJ 12:0421
 -FRONT SCRWN WALL NJ 12:0421

ITEM 12.1

ELECTRICAL LEGEND - FIRST	
DOUBLE GPO @ 300 AFL	11
DOUBLE GPO @ 1050 AFL	4



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 5. All dimensions on site to suit to the satisfaction of the architect, engineer, or other professional.
 6. Unless otherwise noted, retaining walls, demolition, sewer piling, subsoil drains, blasting or other site works are all at Owner expense.

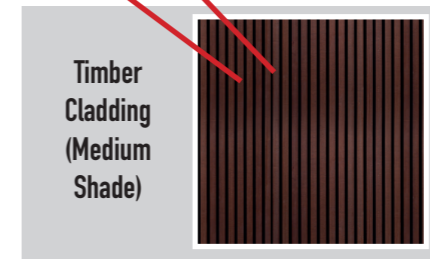
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 -1/02 NJ 12:0421
 -FRONT SCRWN WALL - NJ 12:0421

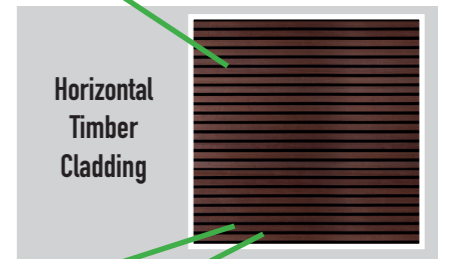
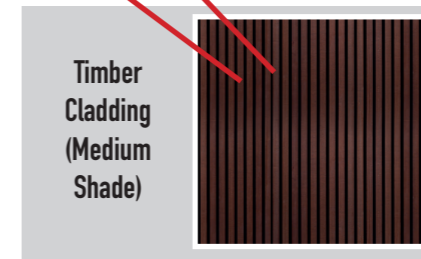
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HOUSE MODEL:
 LAKE LUGANO
CLIENT:
 CAMPBELL RESIDENCE

DRAWING:
 ELECT FIRST
ADDRESS:
 LOT 78 (#148)
 George Street,
 East Fremantle
JOB NO: 4237

FINAL PLANS DATE:
OWNER: **WITNESS:**
OWNER: **WITNESS:**
BUILDER:
PRINTED: 27/04/2021 **SHEET:** 20 of 19







Community Engagement Checklist

Development Application P21/21 - 148 George Street

Project Name

Objective of Engagement:	Neighbour Consultation		
Lead Officer:	Regulatory Services		
Timeline:	Start Date:	22/03/2021	Outcomes By: 7/4/2021
Stakeholders			
Stakeholders to be considered. <i>Please highlight those to be targeted during engagement.</i>	Aged	<input type="checkbox"/>	Ratepayers (all / targeted) <input type="checkbox"/>
	Businesses	<input type="checkbox"/>	Residents (all / targeted) <input checked="" type="checkbox"/>
	Children (School / Playgroup)	<input type="checkbox"/>	Service Providers <input type="checkbox"/>
	Community Groups	<input type="checkbox"/>	Unemployed <input type="checkbox"/>
	Disabled People	<input type="checkbox"/>	Visitors <input type="checkbox"/>
	Environmental	<input type="checkbox"/>	Volunteers <input type="checkbox"/>
	Families	<input type="checkbox"/>	Workers <input type="checkbox"/>
	Govt. Bodies	<input type="checkbox"/>	Youth <input type="checkbox"/>
	Indigenous	<input type="checkbox"/>	<input type="checkbox"/>
	Neighbouring LGs	<input type="checkbox"/>	<input type="checkbox"/>
Staff to be notified:	Office of the CEO	<input type="checkbox"/>	Councillors <input type="checkbox"/>
	Corporate Services	<input type="checkbox"/>	Consultant/s <input type="checkbox"/>
	Development Services	<input type="checkbox"/>	<input type="checkbox"/>
	Operations (Parks/Works)	<input type="checkbox"/>	<input type="checkbox"/>
Community Engagement Plan			
Methods	Responsible	Date Due	Reference / Notes
1.1 E News	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.2 Email Notification ~	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
1.3 Website	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.4 Facebook	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.5 Advert - Newspaper	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.6 Fact Sheet	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.7 Media Rel./Interview	<input type="checkbox"/> Communications		<input type="checkbox"/>
2.1 Information Stalls	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
2.2 Public Meeting/Forum	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
2.3 Survey/Questionnaire	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
3.1 Focus Group	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
3.2 Referendum/Ballot	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
3.3 Workshop	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
4.1 Council Committee	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
4.2 Working Group	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
* Statutory Consultation	<input checked="" type="checkbox"/> Relevant Officer		<input checked="" type="checkbox"/> Advertised to 7 surrounding properties. Information only letter also posted to 2 surrounding properties.
# Heritage Consultation	<input type="checkbox"/> Regulatory Services		<input type="checkbox"/>
^ Mail out (note: timeliness)	<input type="checkbox"/> Communications		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>

	<input type="checkbox"/>		<input type="checkbox"/>
Evaluation			
Summary of...		Date Due	Complete / Attached
Feedback / Results / Outcomes / Recommendations		7/4/2021	
Outcomes Shared			
Methods	Responsible	Date Due	Complete / Attached
E-Newsletter	<input type="checkbox"/> Communications		<input type="checkbox"/>
Email Notification	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
Website	<input type="checkbox"/> Communications		<input type="checkbox"/>
Facebook	<input type="checkbox"/> Communications		<input type="checkbox"/>
Media Release	<input type="checkbox"/> Communications		<input type="checkbox"/>
Advert - Newspaper	<input type="checkbox"/> Communications		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>
Notes			

Appendix – Submissions and Responses from Advertising 148 George Street

Submission	Applicant Response	Officer Response
<p>Submission 1 I object to the proposal on the following points. The design is two storeys high and immediately adjacent to the corner of George St. and May St. As such: - The new height will greatly reduce the visibility of traffic approaching from the north along May St. and turning left (east) onto George St. at the roundabout. Vehicles already "slipstream" around this corner at speed with little knowledge that pedestrians are crossing George St. or that residents are moving their cars off their driveways onto George St. This potential for accidents is especially a problem for 150 and 151 George St. - Those of us who cross the road at the crossing in front of the proposed development at 148 George St. and move our cars onto George St. at this junction, will be less able to see the traffic coming from May St. Accident risk will be significantly increased without the council placing speed calming effects on the road to reduce traffic speed. - The proposed new garage directly on May street is not set back from the road via a driveway. This means traffic to and from 148 George St. will be immediately impacting directly onto the road at a busy junction. - The current single house at 148 George St., although having the appearance of some disrepair, is at least in keeping with the heritage character of the north side of George St. The proposed new two-storey design is totally out of keeping with this heritage.</p>	<p>The objector has failed to demonstrate how the height of the new dwelling would impact vehicle sightlines at the intersection of May Street and George Street. The second storey for the dwelling is located above the ground floor, therefore it is well clear of the sightlines at the intersection.</p> <ul style="list-style-type: none"> · The proposed street setback for the new dwelling complies with the R-Codes for land coded R20. It should be noted that the R20 coding allows for a minimum front setback of 3 metres and a minimum secondary street setback of 1.5 metres. The proposed new dwelling accords with these requirements and in fact provides a far greater minimum front setback than that required by the R-Codes. Similar setbacks are provided for the existing dwellings at No.147 & 149 George Street. · Any suggestion of illegal vehicle movements within the area would need to be addressed by the WA Police Department and is not a planning matter. · No.151 George Street is a residential zoned property and not a commercial zoned property. Further investigation should be undertaken by the Town is regard to the extent of the business operating from No.151 George Street and whether it is consistent with the home occupation requirements or whether the use has an adverse impact on the surrounding residential area and should be relocated to an appropriate zone. · Refer to the above points regarding sightlines and the intersection. · The issue regarding traffic calming devices to address the current traffic movement issues within the area is not a matter that should be considered as part of this application. Any issues regarding the current road network, vehicular access and traffic calming needs to be addressed as a separate request to the Town's Engineering Department and not through a development application process 	<p>The proposed dwelling is setback from the front boundary more than the minimum distance that is required by deemed to comply requirements of the Residential Design Codes (6m) and at a very similar distance to the existing dwelling on site.</p> <p>The proposed development is within the boundaries of the lot at 148 George Street and does not stop drivers seeing oncoming vehicles approaching the intersection of George and May Streets.</p> <p>The roundabout is designed to slow traffic travelling along George and May Streets.</p> <p>The proposed garage at the rear of 148 George Street and located off May street is setback further from the intersection of George and May Street than the current driveway located off George Street – the proposed garage is located approximately 30m from the intersection compared to the current location which is 15m from the intersection.</p> <p>The Residential Design Guidelines state that new development should not attempt to mimic heritage properties and faux heritage properties are specifically discouraged.</p>

	<p>for a single dwelling on the subject land.</p> <p>The objectors comment is confusing and appears to be incorrect. The location of the proposed garage for the new dwelling complies with the R-Code in that it proposes access from the secondary street in lieu of the primary street. In addition, the proposed setback from the secondary street boundary complies.</p> <ul style="list-style-type: none"> · A crossover will be constructed to provide vehicular access for the new dwelling. · The objectors comments are misleading and unsubstantiated. There are a number of two storey dwellings within the area, including the adjacent property. A review of the immediate area has indicated that there is an eclectic mix of housing styles ranging from some example of character homes to modern two storey dwellings. Given this, it is concluded that the area has a mix of built form and that the proposed new dwelling on the subject land will not have an adverse impact on the local streetscape. <p>In light of the above responses, it is contended that the comments made are unsubstantiated and should be dismissed.</p>	
<p>Submission 2 I object to the proposal. Although I did not receive a letter regarding the Application seeking approval for the proposed two storey dwelling Lot 78, 148 George Street, East Fremantle, WA 6158 I do object to the proposal and support the reasons set by my neighbours at 151 George Street. My main concern is that this double storey house is set as far forward on the block as permissible. Being a corner block this I believe restricts visibility when cars turn east into George Street. Speeding traffic along George Street is a recognised problem as it is utilised as a "rat run" between Marmion Street and Canning Highway.</p>	<p>Refer to the response to 'Submission 1' above.</p> <ul style="list-style-type: none"> · The current issues regarding traffic within the area and traffic arrangements ('rat runs') is noted but is not a matter that should be considered at part of this application. Any issue regarding the current road network and vehicular access to certain streets within the locality needs to be addressed as a separate request to the Town's Engineering Department and not through the development application process for a single dwelling on the subject land. In addition, any suggestion of illegal vehicle movements within the area would need to be addressed by the WA Police Department. In light of the above responses, the comments are unsubstantiated, invalid and should be dismissed. 	<p>The proposed dwelling is setback from the front boundary more than the minimum distance that is required by deemed to comply requirements of the Residential Design Codes (6m) and at a very similar distance to the existing dwelling on site.</p> <p>The proposed development is within the boundaries of the lot at 148 George Street and does not stop drivers seeing oncoming vehicles approaching the intersection of George and May Streets.</p> <p>The roundabout is designed to slow traffic travelling along George and May Streets.</p> <p>George Street is a public road and as such can be used by all licensed motor cars.</p> <p>Traffic along George Street is not necessarily travelling to Canning Highway – there are many people that access the commercial area along May Street, Silas Street and</p>

		Council Place by travelling along George Street.
<p>Submission 3</p> <p>I hereby submit my objections to the proposed building to be considered at the meeting of the Town Planning Committee on Tuesday 1 June 2021.</p> <p>1. The building is entirely at odds with the surrounding houses in one of the most historic precincts of the town. Along with the Plympton Ward, the area from Silas St to Moss St on this side of Stirling represents the core of the original East Fremantle township, the first subdivision to be developed from the town of Fremantle as a consequence of the 1890s goldrush. It is notable that, with one exception, other developments on May St and on the historic northern side of George St have been required to, or have chosen to, retain the original dwelling, with modern extensions behind same. In this application, the building is a standard builder's home of concrete and glass that shows no sympathy in its size and materials for the surrounding historic dwellings and streetscape.</p> <p>2. Driving out of my driveway is already a risky business because of the speed with which cars turn left from May St into George St. The size and scale of this proposed dwelling will further obscure the view of any traffic from May St and make my exiting my driveway even more dangerous.</p> <p>3. The large glass windows proposed for the north-east corner of the proposed house appears to enable overlooking into my back garden for persons ascending the stairs to the first-floor foyer.</p> <p>4. The great size of the proposed dwelling, occupying almost the entirety of the lot, means that, unlike all the other houses on either George or May Streets, there is comparatively little front garden, further demonstrating the building's lack of appropriateness to the surrounding streetscape.</p> <p>The Council has demonstrated a concern to preserve the heritage of East Fremantle in its recent initiatives, including the establishment of a heritage register, heritage trail, the heritage section on the town website, and its</p>	<p>The objectors comments are noted, but the Town has the discretion to grant approval for the demolition of existing dwellings within the area to allow for the construction of new dwellings.</p> <p>Whilst the history of the area is noted, there are a number of examples of new dwellings and large additions to existing dwellings (as identified by the objector) that has eroded the character of the area. This has further been exacerbated by the construction of front fencing and carports within the front setback area of numerous dwellings, which were not part of built form typical of the late 1890's. Given this, it needs to be recognized that the original character of the area has changed and will continue to do so in the future.</p> <ul style="list-style-type: none"> · A review of the immediate area has indicated that there is an eclectic mix of housing styles ranging from some example of character homes to modern two storey dwellings. Given this, it is concluded that the area has a mix of built form and that the proposed new dwelling on the land will not have an adverse impact on the local streetscape. · The proposed dwelling has been designed to provide adequate front and secondary street setback. Given this, sufficient sightlines will be provided to enable vehicles from the subject land and those on the adjoining properties to safely access and egress the street. · Any suggestion of illegal vehicle movements (vehicle speeds) within the area would need to be addressed by the WA Police Department and is not a planning matter. · The subject land currently comprises a solid fence along its May Street frontage where it abuts the adjoining northern property. The proposed new dwelling on the land will remove the solid fence and provide a 1.5 x 1.5 metre truncation for the existing driveway on the adjoining northern property. Given this, the proposal will in fact improve visual sightlines for the 	<p>It is the right of the owner of a property that is not heritage listed (Category A or B) to demolish the existing dwelling on site and construct a new dwelling.</p> <p>The Residential Design Guidelines state that new development should not attempt to mimic heritage properties and faux heritage properties are specifically discouraged.</p> <p>The proposed development is within the boundaries of the lot at 148 George Street and does not stop drivers seeing oncoming vehicles approaching the intersection of George and May Streets.</p> <p>The roundabout is designed to slow traffic travelling along George and May Streets.</p> <p>The proposed dwelling achieves the privacy setbacks required by the Residential Design Codes.</p> <p>The proposed dwelling is setback from the front boundary more than the minimum distance that is required by deemed to comply requirements of the Residential Design Codes (6m) and at a very similar distance to the existing dwelling on site.</p> <p>Stairs are not considered part of a habitable room under the Residential design Codes and as a result are not considered when assessing privacy setbacks between neighbouring properties.</p>

<p>requirements for virtually all the recent developments in this part of the town to retain the façade of the original dwellings. Should this proposal be approved by the Council it will be contrary to its own requirements and erode this historic part of East Fremantle.</p>	<p>existing dwelling on the adjoining property.</p> <ul style="list-style-type: none"> · The windows in question are for an ensuite and a void. Furthermore, the proposed new dwelling on the subject land meets the ‘deemed to comply requirements’ of Element 5.4.1 C1.1 (‘Visual privacy’) of the R-Codes. · The proposed new dwelling has been provided with adequate primary and secondary street setbacks, along with a sufficient outdoor living area that reflects a typical development on an R20 coded lot. · The extent of setback and garden area along the secondary and primary street setback areas are consistent with other dwellings on the adjacent corner lots. In addition, sufficient front setback has been provided for the new dwelling provides sufficient space to include landscaping and the planting of mature trees. · Whilst the objectors comments regarding the heritage value of the area are noted, the façade of the existing dwelling on the land does not comprise any heritage value that significantly contributes to the heritage character evident within parts of the East Fremantle locality. It is noted that specific character homes could be retained and this is achieved by listing dwellings on the Town’s Municipal Heritage Inventory (MHI) with a high category to assist with preservation. A blanket approach to retaining houses within the area (even if they do not contain specific heritage value), is considered to be inappropriate. In this instance, the dwelling on the subject land does not comprise a high level of heritage value. <p>In light of the above responses, the concerns have been addressed and the comment should be dismissed</p>	
<p>Submission 4 I hereby submit a list of objections and 'considerations' to the proposed building development at 148 George Street, East Fremantle. Please consider the attached items at the council meeting to be held on Tuesday, 1st June</p>	<p>The objectors comments regarding the proposed setback is incorrect. The new dwelling will comprise a minimum setback of 1.5 metres to the western boundary, with portions being setback 1.72 metres and 2.25 metres. Element 5.1.2 C2.2 (‘Street setbacks’) allows for a minimum setback of 1.5 metres</p>	<p>It is the right of the owner of a property that is not heritage listed (Category A or B) to demolish the existing dwelling on site and construct a new dwelling. The Residential Design Guidelines state that new development should not attempt to mimic heritage properties and faux heritage</p>

<p>2021.</p> <p>I trust that the members of the committee will carefully examine and discuss the objections and consideration points I have outlined for you.</p> <p>I have been a resident at 46 May Street for 44 years and my family have lived at this address since 1932.</p> <p>I desire to see the historic and unique building heritage of the area preserved for the generations that follow us. I have endeavoured to preserve the streetscape and integrity of the house at 46 May Street.</p> <p>I am relying on my elected council members to preserve and protect our suburb from unsympathetic development.</p> <p>I commend the council for guiding the development of 35 May Street which demonstrates both thoughtful preservation and development. This is a fine example of what can be achieved to enhance our suburb. I hope you will be able to preserve 148 George Street in the same way.</p> <p>OBJECTION</p> <p>We consider the building at 148 George St worthy of preservation. The 75 year old house is a fine example of post WW2 workers homes. It has a neat facade of pleasing proportions, a good sized veranda and some modest wooden detailing representative of the period. Although it has had some interior alterations recently, for much of its life Mr Wells maintained underlying structures of the building in good repair. The four main rooms are large and there are Jarrah floors. Some of the original decorative features remain.</p> <p>The surrounding houses on the northern side of George Street form a coherent 19th and early 20th century collection of heritage registered homes.</p> <p>The proposal to build a large, modern two storey home is incompatible with the existing homes surrounding it.</p> <p>We commend the current restoration of 35 May St, a rundown Homes West house that</p>	<p>from the secondary street for the entire length of the dwelling. The proposed new dwelling provides greater than the minimum requirements of the R-Codes.</p> <p>☒ The proposed dwelling has been provided with varying setbacks to the secondary street to provide articulation, visual interest and sufficient space to allow for landscaping.</p> <p>☒ The considerations offered by the objector has not considered the R-Code requirements and refers to an incorrect setback.'</p> <p>☒ Comment regarding reflectivity is noted. The proposed roof will be colorbond.</p> <p>☒ Comment regarding solar panels is noted. This application does not indicate the installation of solar panels, therefore the comments should be dismissed.</p> <p>☒ The issue regarding construction over the sewer infrastructure is a matter that will be addressed by the Water Corporation.</p> <p>☒ The proposed new dwelling on the subject land has been designed to meet the modern needs of the future occupants. The design will allow for adequate front and secondary street setbacks</p>	<p>properties are specifically discouraged.</p> <p>There are currently no protections afforded to trees on private property within East Fremantle, although the Town discourages the removal of vegetation from private lots.</p> <p>Proposed development often proposes design elements that do not meet the deemed to comply requirements but do achieve the design principles of the Residential Design Codes.</p> <p>The applicant/owner will have to seek approval from the Water Corporation with regards to development over the existing sewer line.</p> <p>Open space meets the deemed to comply requirements of the Residential Design Codes.</p>
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<p>will soon be a worthy addition to the street scape.</p> <p>Consideration:</p> <ul style="list-style-type: none"> Any proposed building should be sympathetic to the surrounding buildings. New buildings should be constructed of materials which reference the surrounding structures A new build should not be excessively bulky or tall. Consider <u>preserving the existing house as the council has done at 30 May Street.</u> <p>OBJECTION</p> <p>The block is approximately one metre higher than the May Street level. A full height two storey building will appear to tower over May Street.</p> <p>The house will dominate the corner, ruining the streetscape and casting large shadows over the area. 150 George Street will be particularly impacted.</p> <p>Consideration:</p> <ul style="list-style-type: none"> The building is too tall. The height of the block should be considered when calculating the total height of the structure. The allowable height of the building should be calculated from ground level in May Street. <p>OBJECTION</p> <p>A perfectly adequate crossover and driveway exist in George Street.</p> <p>A new crossover and driveway in May St will reduce valuable street parking. The loss of street parking will adversely impact surrounding houses and the local businesses who use all the available parking space on a regular basis.</p> <p>The 30 year old street tree and three existing trees on the lot will need to be removed to construct anew crossover, garage and gym.</p> <p>Consideration:</p> <ul style="list-style-type: none"> The construction of a new driveway is unnecessary. Parking spaces are at a premium and need to be preserved. Street trees and existing 		
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<p>vegetation will be lost.</p> <p>OBJECTION. The garage will be too close to the footpath. A full view of the footpath from the garage will be obscured by the existing boundary fence at 46 May St. The garage will be too close to the boundary fence of 46 May Street. It will obscure the vista from my verandah.</p> <p>Consideration:</p> <ul style="list-style-type: none"> • The location of the garage will be a hazard to pedestrians. • A clear view of the pavement and road will be not be safely afforded. <p>OBJECTION The location of the garage will be too close to the footpath. adversely impacting the streetscape.</p> <p>Consideration:</p> <ul style="list-style-type: none"> • There is garage close to the footpath in at 42 May St. but it is a replacement for the 80 year old garage which was structurally dangerous and no longer useable. • Any new structure should follow the line of existing buildings in May Street. Therefore any garage should be at least 4 metres from the western boundary on May Street. <p>OBJECTION The house is too close to the western boundary, leaving only one metre between the house and the side fence which will not allow for any landscaping. Locating the house one metre from the boundary will destroy the streetscape, leaving the viewer with a monolith towering above the footpath and road. From May Street looking south toward the roundabout the vista will be destroyed, adversely impacting the streetscape.</p> <p>Consideration:</p> <ul style="list-style-type: none"> • Any new house should follow the footprint of the existing structure. This will minimize the building's impact and help preserve the streetscape. • The house should be set 		
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<p>further away from the boundaries to allow more green space and land- scaping to soften the building's visual impact.</p> <p>OTHER POINTS FOR DISCUSSION:</p> <ul style="list-style-type: none"> • All roof materials should be non-reflective. • Any solar panels are positioned so as not to reflect light onto neighbouring properties. • The plans indicate building on top of the existing sewer line. Having lived in the house at 46 May Street, for 45 years I know that this line has been blocked on a number of occasions. There may be ongoing issues with the sewerage pipes below the block. • The plans indicate a building of 530 square metres allowing for very little greenery or land- scaping which the council actively promotes. The size of this structure and the loss of green space is of great concern. 		
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64 King Street – Location and Advertising Plan



64 King Street – Site Photos



PLACE RECORD FORM



PRECINCT	Plympton
ADDRESS	64 King Street
PROPERTY NAME	N/A
LOT NO	Lot 363
PLACE TYPE	Residence
CONSTRUCTION DATE	C 1908
ARCHITECTURAL STYLE	Federation Cottage Orné Bungalow
USE/S	Original Use: Residence/ Current Use: Residence
STATE REGISTER	N/A
OTHER LISTINGS	N/A
MANAGEMENT CATEGORY	Category B
PHYSICAL DESCRIPTION	No 64 King Street is a single storey cottage constructed in timber framing and rusticated weatherboard cladding with a hipped and gabled decramastic roof. It is a decorative expression of the Federation Bungalow style with later modifications. The front elevation is asymmetrically planned with a prominent thrust bay gable and part width skillion roofed verandah. The gable bay features a highly decorative barge board and a double hung sash window. The verandah is supported on timber posts over a timber floor. There is a central door and hopper light flanked by a double hung sash window.

	<p>There are additions to the rear.</p> <p>The place is consistent with the pattern of development in Plympton and plays an important role in the pattern of development of a working class suburb.</p>
HISTORICAL NOTES	<p>Plympton is a cohesive precinct where most of the places were constructed in the late nineteenth century and the first quarter of the twentieth century. It is comprised primarily of homes for workers and their families with a high concentration of small lots with timber, brick and stone cottages.</p>
OWNERS	<p>Unknown</p>
HISTORIC THEME	<p>Demographic Settlements - Residential Subdivision</p>
CONSTRUCTION MATERIALS	<p>Walls - Timber frame and weatherboard cladding</p> <p>Roof - Decramastic tiles</p>
PHYSICAL SETTING	<p>The residence is situated on an elevated site with a low limestone wall at the lot boundary.</p>
STATEMENT OF SIGNIFICANCE	<p>No 64 King Street is a single storey house constructed in timber framing and rusticated weatherboard cladding with a decramastic roof. The place has historic and aesthetic value with its contribution to Plympton's high concentration of worker's cottages and associated buildings. It contributes to the local community's sense of place.</p> <p>The place has some heritage value for its intrinsic aesthetic value as a Federation Cottage Ornée Bungalow and it retains a moderate degree of authenticity and a high degree of integrity.</p> <p>The additions to the rear have no significance.</p>
AESTHETIC SIGNIFICANCE	<p>No 64 King Street has considerable aesthetic value as a Federation Cottage Ornée Bungalow. It retains all the characteristics of the period with some loss of detail.</p>
HISTORIC SIGNIFICANCE	<p>No 64 King Street has some historic value. It was part of the suburban residential development associated with the expansion of East Fremantle during the Goldrush period of the 1880s and 1890s.</p>
SCIENTIFIC SIGNIFICANCE	<p>N/A</p>
SOCIAL SIGNIFICANCE	<p>No 64 King Street has some social value. It is associated with a significant area of worker's cottages which contributes to the community's sense of place.</p>
RARITY	<p>No 64 King Street is not rare in the immediate context but Plympton has rarity value as a working class suburb.</p>
CONDITION	<p>No 64 King Street is in good condition.</p>
INTEGRITY	<p>No 64 King Street retains a high degree of integrity.</p>
AUTHENTICITY	<p>No 64 King Street retains a moderate degree of authenticity.</p>
MAIN SOURCES	

PROPOSED ALTERATIONS AND ADDITIONS

DESIGN DEVELOPMENT

FOR

MR. CRAIG & MS. KARINA SALTER

AT

LOT 363 (#64) KING STREET, EAST FREMANTLE

DRAWING No.	DESCRIPTION	REVISION
A00	COVER SHEET	DD-03
A01	EXISTING SITE PLAN	DD-03
A02	EXISTING GROUND FLOOR PLAN	DD-03
A03	EXISTING UPPER FLOOR PLAN	DD-03
A04	EXISTING ELEVATIONS	DD-03
A05	EXISTING ELEVATIONS	DD-03
A06	PROPOSED SITE PLAN	DD-03
A07	PROPOSED GROUND FLOOR PLAN	DD-03
A08	PROPOSED FIRST FLOOR PLAN	DD-03
A09	ELEVATIONS	DD-03
A10	ELEVATIONS	DD-03
A11	STREETSCAPE PERSPECTIVE	DD-03

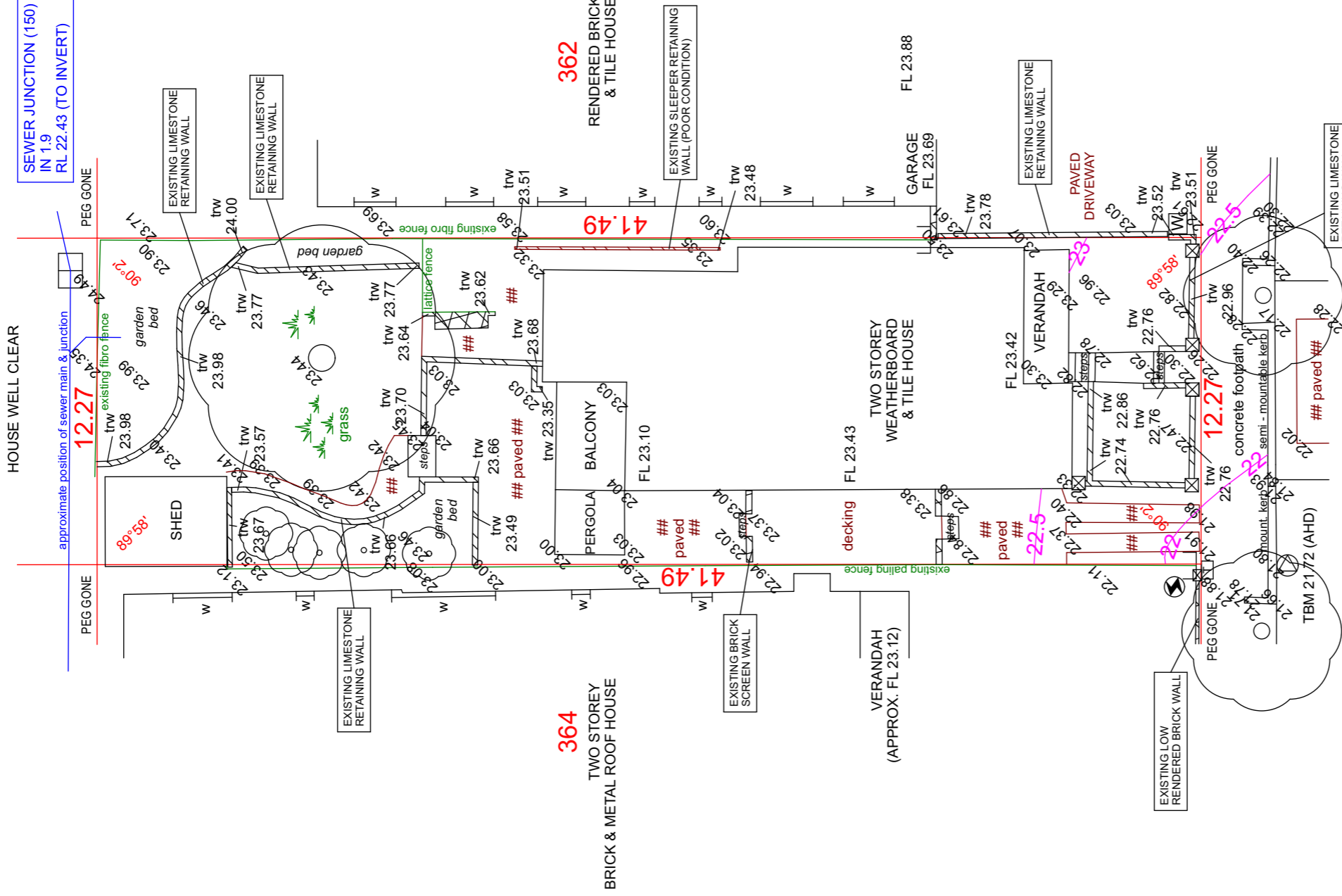
POSITION OF FEATURES HAVE BEEN SURVEYED
IN RELATION TO BOUNDARIES.
REPEG RECOMMENDED PRIOR TO CONSTRUCTION.

LOT No: 363

AREA : 508m²



LOCATION
REF: (UBD)



KING STREET

ONLY OBVIOUS VISIBLE SERVICES HAVE BEEN LOCATED
PRIOR TO ANY EXCAVATION, CONSTRUCTION OR DEMOLITION
PLUMBING CONTRACTORS TO CONFIRM SEWER DEPTHS BEFORE PIPE LAYING. ALL SEWER DETAILS PLOTTED
FROM INFORMATION SUPPLIED BY WATER CORPORATION, SPATIAL INFORMATION MANAGEMENT.
REFER TO THE DISCLAIMER NOTE ON WATER CORP E-PLAN.



AUSTRALIAN HEIGHT DATUM (AHD)
DERIVED FROM BM MRD 403.

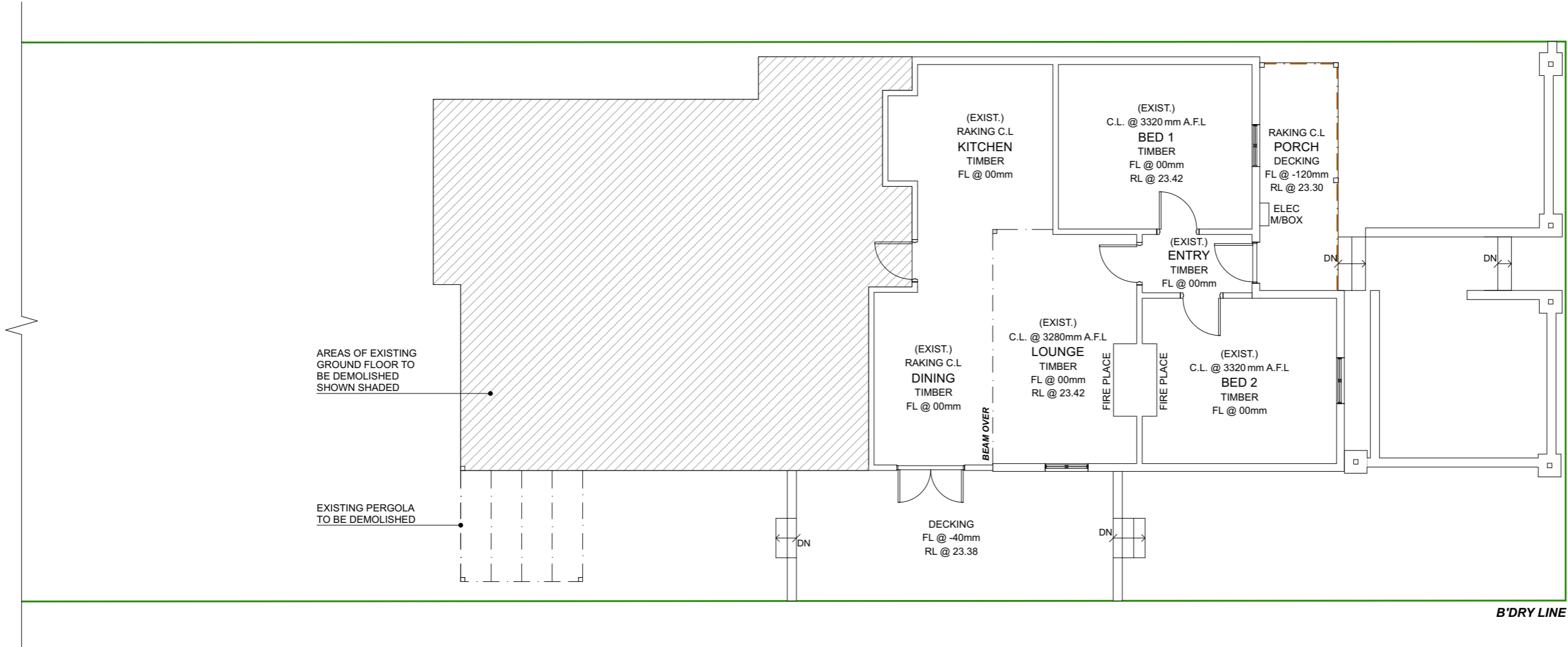
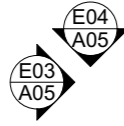
0 5 10 15 20

SITE PLAN 1:200 at A3

<p>IMPORTANT NOTE: Check title for easements, covenants & covenants. Plumbing contractors to confirm sewer depths before pipe laying. All sewer details plotted from information supplied by Water Corporation, Spatial Information Management. Refer to the disclaimer note on Water Corp E-PLAN.</p>		<p>REF NO: 70169 FILE NO: 5131 DATE: 13.07.20 DRAWN: SR / AC</p>																	
<p>SURVEYOR SITE INSPECTION REPORT</p>																			
ELECTRICITY:	UNDERGROUND	GAS:	NOT SIGHTED																
PHONE:	YES	WATER:	YES (RHS - not sighted)																
SEWERAGE:	YES, ABOUT 1.5m DEEP (TO INVERT)																		
ROAD:	BITUMEN																		
KERB:	MOUNTABLE (cracked) / SEMI MOUNTABLE																		
FOOTPATH:	CONCRETE																		
VEGETATION:	ESTABLISHED GARDENS & TREES																		
SOIL:	SAND & POSSIBLE LIMESTONE AT DEPTH																		
VIEWS:	NIL																		
REPEG:	REQUIRED	REPEG TYPE:	OLD SURVEY AREA																
<p>R. G. LESTER & ASSOCIATES LICENSED LAND & ENGINEERING SURVEYORS NORTH BEACH PLAZA SHORTLAND NORTH BEACH ROAD NORTH BEACH WA 6020 PH: 9448 5009 FX: 9203 6722 admin@lestersurveys.com.au</p>		<p>TITLE DETAILS LOT NOS: 363 C/T VOL: 1407 Plan: 1690 FOL: 112</p>																	
<p>LEGEND</p> <table border="0"> <tr> <td>[N] NBN</td> <td>[G] GAS</td> </tr> <tr> <td>[T] TELECOM PIT</td> <td>[H] HYDRANT</td> </tr> <tr> <td>[C] COMMUNICATION PIT</td> <td>[S] STOP VALVE</td> </tr> <tr> <td>[P] POWER DOME</td> <td>[W] PRE-LAD WATER PIPE</td> </tr> <tr> <td>[L] POWER POLE</td> <td>[M] WATER METER</td> </tr> <tr> <td>[F] FENCE END</td> <td>[I] IRRIGATION</td> </tr> <tr> <td>[PIL] PILLAR</td> <td>[M] SEWERAGE MANHOLE</td> </tr> <tr> <td>[TOP] TOP OF RETAINING WALL</td> <td>[S] SEWERAGE INSPECTION LID</td> </tr> </table>		[N] NBN	[G] GAS	[T] TELECOM PIT	[H] HYDRANT	[C] COMMUNICATION PIT	[S] STOP VALVE	[P] POWER DOME	[W] PRE-LAD WATER PIPE	[L] POWER POLE	[M] WATER METER	[F] FENCE END	[I] IRRIGATION	[PIL] PILLAR	[M] SEWERAGE MANHOLE	[TOP] TOP OF RETAINING WALL	[S] SEWERAGE INSPECTION LID	<p>NOTES Block located about 1 kilometre from harbour.</p>	
[N] NBN	[G] GAS																		
[T] TELECOM PIT	[H] HYDRANT																		
[C] COMMUNICATION PIT	[S] STOP VALVE																		
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[PIL] PILLAR	[M] SEWERAGE MANHOLE																		
[TOP] TOP OF RETAINING WALL	[S] SEWERAGE INSPECTION LID																		
<p>DESIGNER: DALECKI DESIGN</p>		<p>CLIENT / S:</p>																	
<p>SITE ADDRESS: LOT 363 (#64) KING STREET, EAST FREMANTLE</p>		<p>Local Authority: TOWN OF EAST FREMANTLE</p>																	
<p>VARIATIONS (all sheets)</p>		<p>DATE</p>																	
<p>DATE</p>		<p>CHK</p>																	
<p>DATE</p>		<p>SHEET No :</p>																	
<p>DATE</p>		<p>JOB No:</p>																	
<p>DATE</p>		<p>70169</p>																	



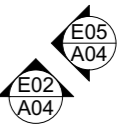
BUILDING AREAS	
GROUND FLOOR AREAS	
EXISTING GROUND FLOOR LIVING	152.48
EXISTING PORCH	8.72
TOTAL GF BUILDING AREAS	161.20 m²
FIRST FLOOR AREAS	
EXISTING UPPER FLOOR BALCONY	10.55
EXISTING UPPER FLOOR LIVING	58.82
TOTAL UF BUILDING AREAS	69.37 m²
TOTAL LIVING AREAS	211.30 m²
TOTAL BUILDING AREAS	230.57 m²



AREAS OF EXISTING
GROUND FLOOR TO
BE DEMOLISHED
SHOWN SHADED

EXISTING PERGOLA
TO BE DEMOLISHED

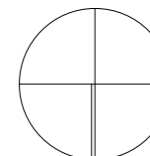
B'DRY LINE



EXISTING GROUND FLOOR PLAN
Scale 1:100

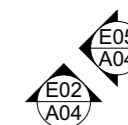
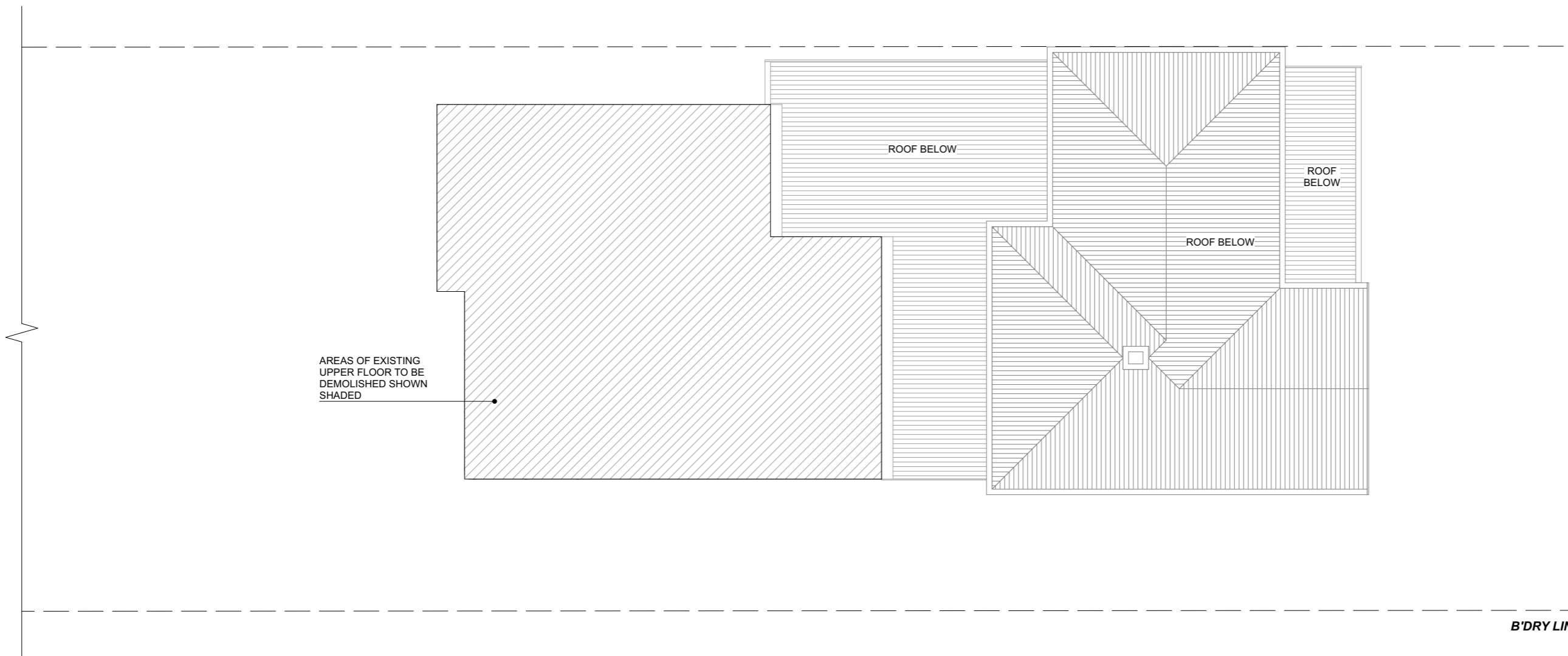
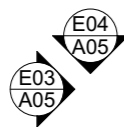
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DD-02	DEVELOPMENT APPROVAL DRAWINGS	06/04/21
DD-03	DA AMENDMENTS	10/05/21

REV:	DD-03	JOB NO.:	198-20
DRAWN:	JD SR	DRAWING NO.:	
SCALE @ A3:	AS SHOWN	A02 OF A11	



N

BUILDING AREAS	
GROUND FLOOR AREAS	
EXISTING GROUND FLOOR LIVING	152.48
EXISTING PORCH	8.72
TOTAL GF BUILDING AREAS	161.20 m²
FIRST FLOOR AREAS	
TOTAL UF BUILDING AREAS	
TOTAL LIVING AREAS	
TOTAL BUILDING AREAS	



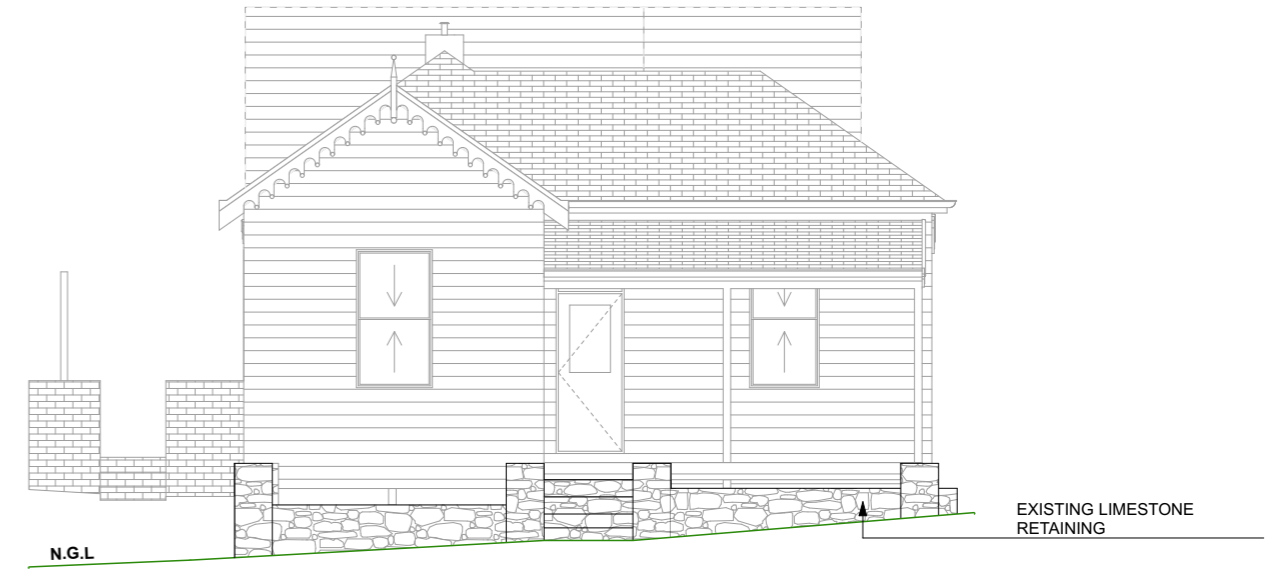
EXISTING UPPER FLOOR PLAN
Scale 1:100

REV.	DESCRIPTION	DATE
DD-02	DEVELOPMENT APPROVAL DRAWINGS	06/04/21
DD-03	DA AMENDMENTS	10/05/21

REV:	DD-03	JOB NO.:	198-20
DRAWN:	JD SR	DRAWING NO.:	
SCALE @ A3:	AS SHOWN	A03 OF A 11	



E01
A02 **EXISTING ELEVATION 01 - WEST**
1:100



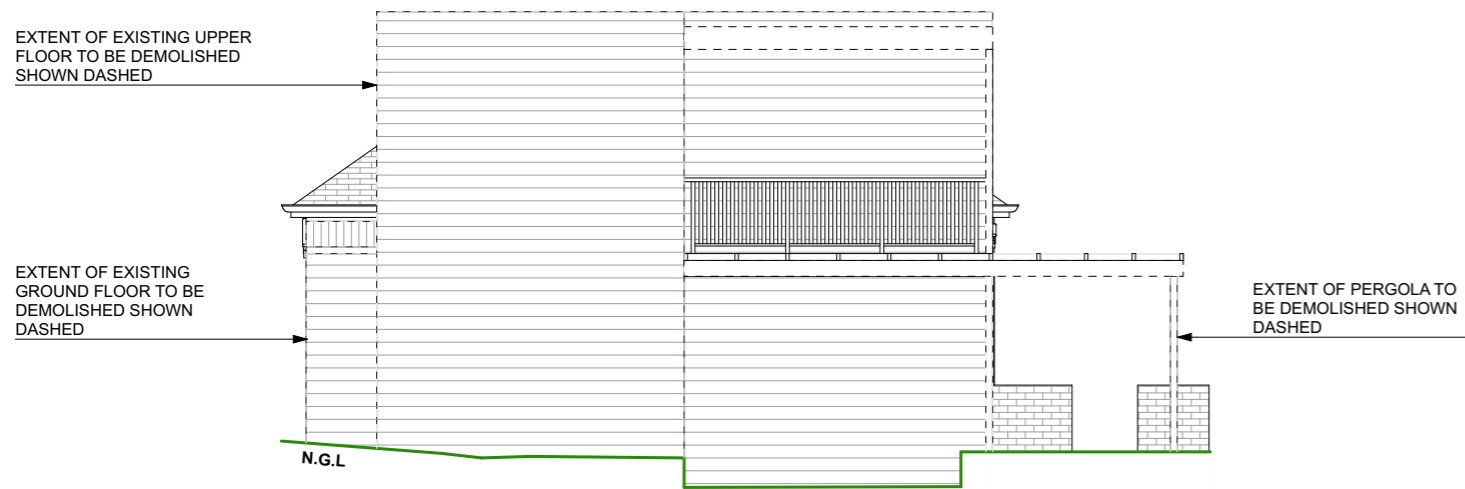
E05
A02 **EXISTING ELEVATION 05 - STREETSCAPE**
1:100



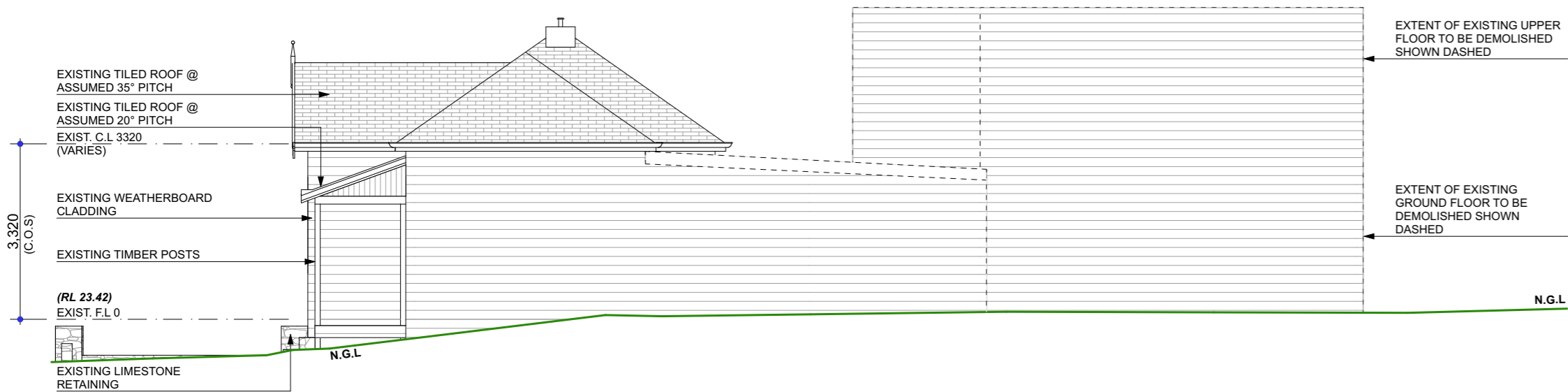
E02
A02 **EXISTING ELEVATION 02 - NORTH**
1:100

REV.	DESCRIPTION	DATE
DD-02	DEVELOPMENT APPROVAL DRAWINGS	06/04/21
DD-03	DA AMENDMENTS	10/05/21

REV:	DD-03	JOB NO.:	198-20
DRAWN:	JD SR	DRAWING NO.:	
SCALE @ A3:	AS SHOWN	A04 OF A11	



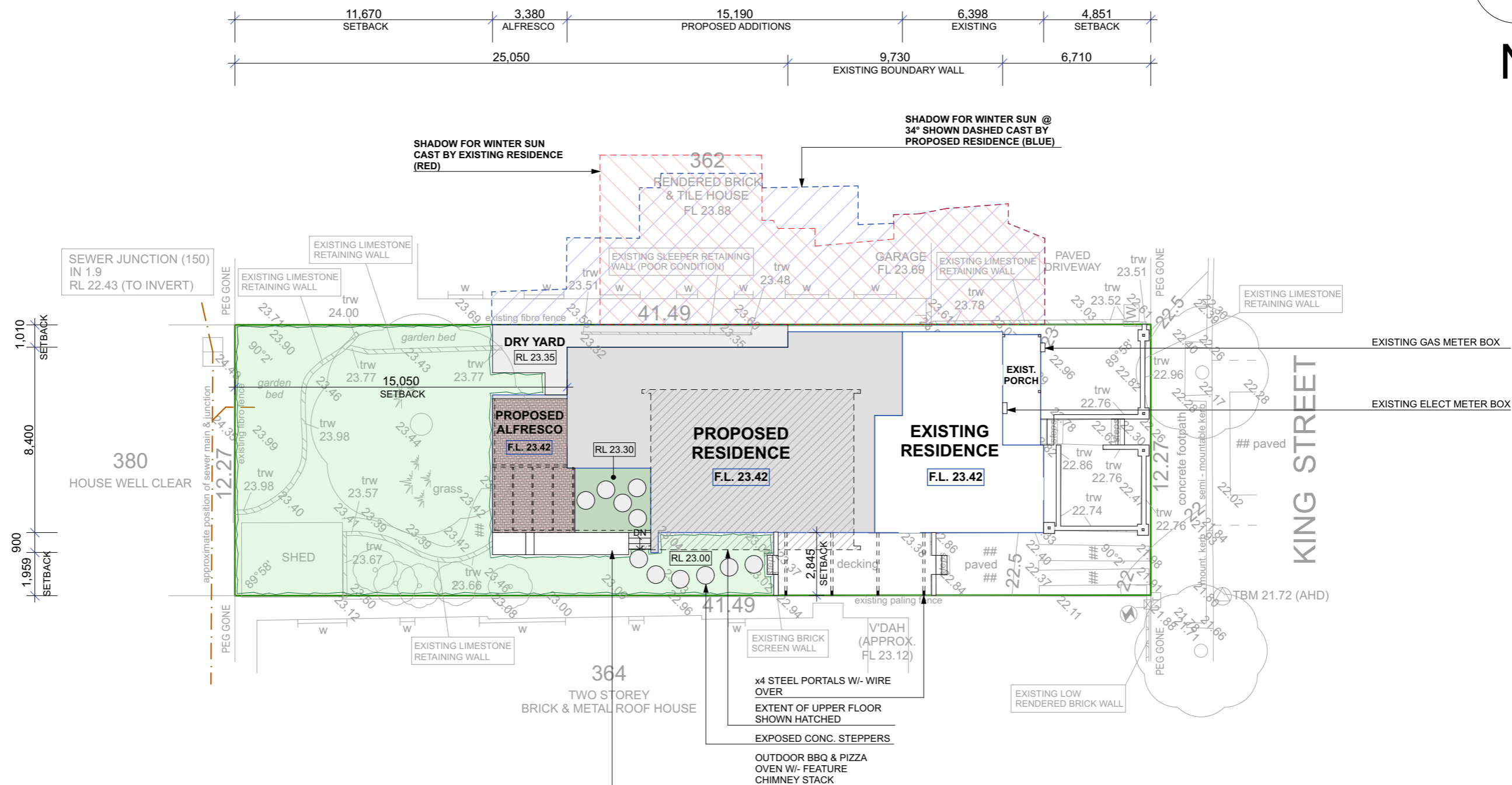
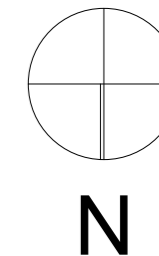
E03 **EXISTING ELEVATION 03 - EAST**
A02 1:100



E04 **EXISTING ELEVATION 041 - SOUTH**
A02 1:100

REV.	DESCRIPTION	DATE
DD-02	DEVELOPMENT APPROVAL DRAWINGS	06/04/21
DD-03	DA AMENDMENTS	10/05/21

REV:	DD-03	JOB NO.:	198-20
DRAWN:	JD SR	DRAWING NO.:	
SCALE @ A3:	AS SHOWN	A05 OF A11	



PROPOSED SITE PLAN
1:200

SITE AREAS:		
TOTAL LOT AREA	509m ²	
BUILDING AREA (SITE COVER)	167m ²	25%
OPEN SPACE	342m ²	75%
NOTE: WITHIN 5% R'CODE VARIATION TOLERANCE		

SHADOW AREAS :		
NEIGHBOURS LOT AREA (APPROX.)	509m ²	
SHADOW CAST (BY PROPOSED RESIDENCE)	124m ²	
TOTAL SHADED AREA (OF NEIGHBOURING BLOCK)		24%

BUILDING AREAS	
ADDITIONS ALFRESCO	11.74
ADDITIONS GROUND FLOOR	113.78
ADDITIONS PATIO	10.86
EXISTING GROUND FLOOR LIVING	55.37
EXISTING PORCH	8.72
TOTAL GROUND FLOOR AREAS	200.47 m²
FIRST FLOOR AREAS	
ADDITIONS FIRST FLOOR	64.23
TOTAL FIRST FLOOR AREAS	64.23 m²
TOTAL LIVING AREAS	233.38 m²
TOTAL BUILDING AREAS	264.70 m²

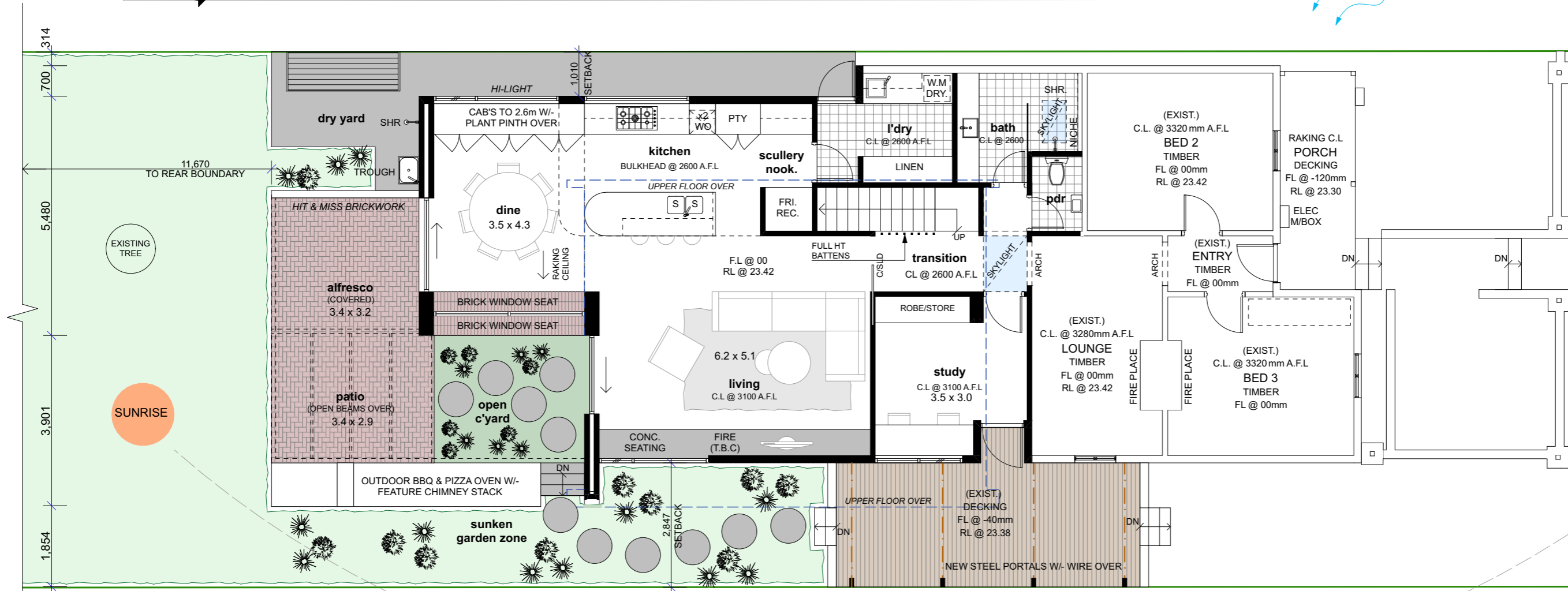
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DD-02	DEVELOPMENT APPROVAL DRAWINGS	06/04/21
DD-03	DA AMENDMENTS	10/05/21

REV:	DD-03	JOB NO.:	198-20
DRAWN:	JD SR	DRAWING NO.:	
SCALE @ A3:	AS SHOWN	A06 OF A 11	



BUILDING AREAS	
ADDITIONS ALFRESCO	11.74
ADDITIONS GROUND FLOOR	113.78
ADDITIONS PATIO	10.86
EXISTING GROUND FLOOR LIVING	55.37
EXISTING PORCH	8.72
TOTAL GROUND FLOOR AREAS	200.47 m²
FIRST FLOOR AREAS	
ADDITIONS FIRST FLOOR	64.23
TOTAL FIRST FLOOR AREAS	64.23 m²
TOTAL LIVING AREAS	233.38 m²
TOTAL BUILDING AREAS	264.70 m²

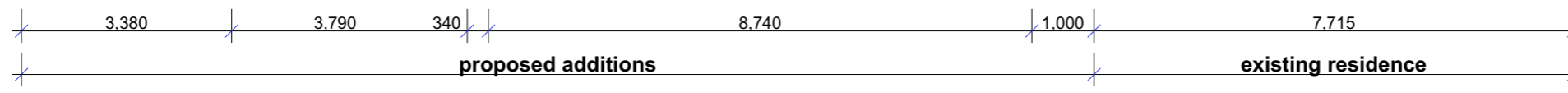
COOLING BREEZES



SUNRISE

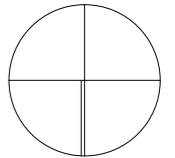
SUNSET

NORTH SUN



PROPOSED GROUND FLOOR PLAN

1:100

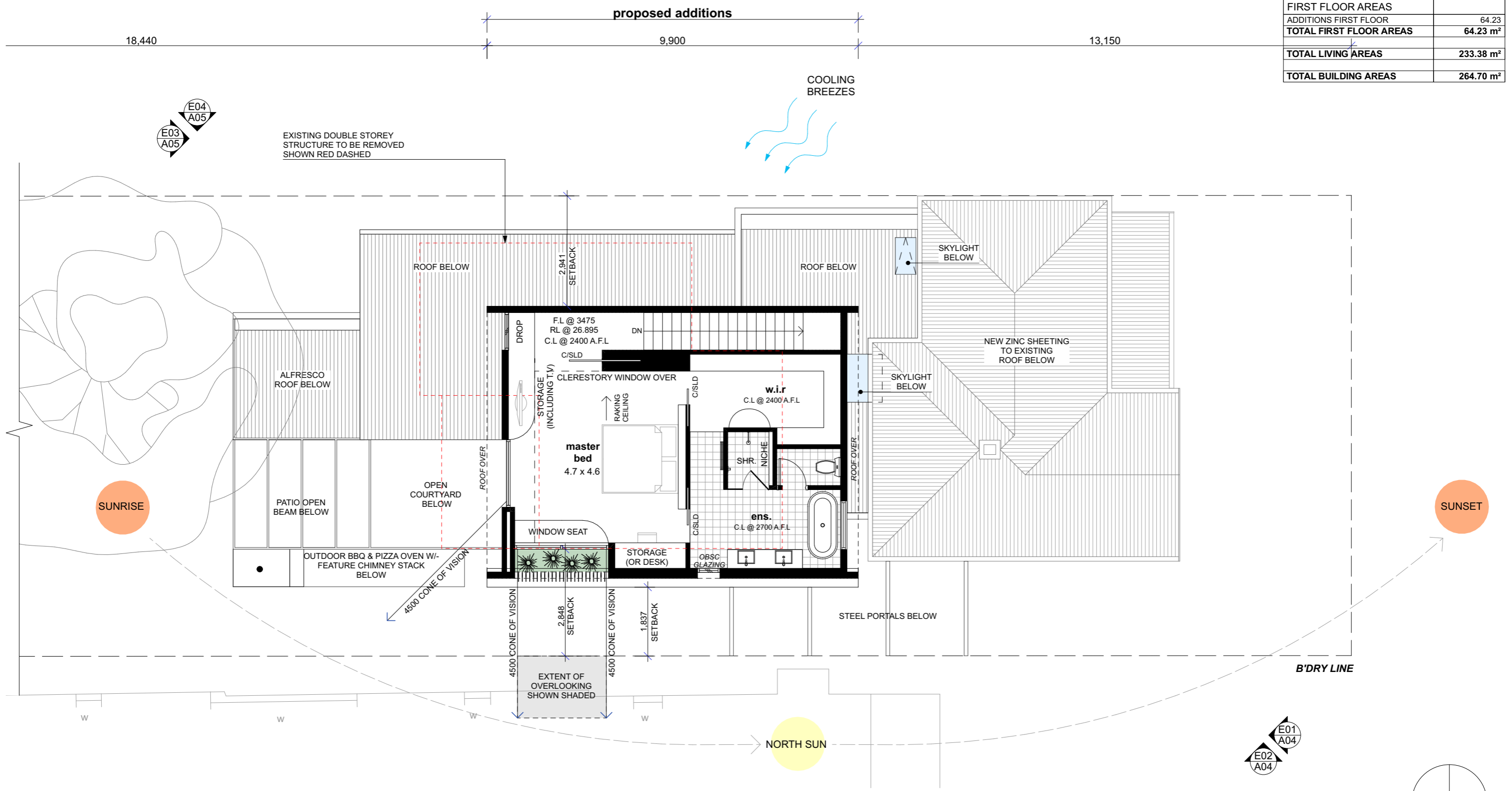


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REV.	DESCRIPTION	DATE
DD-02	DEVELOPMENT APPROVAL DRAWINGS	06/04/21
DD-03	DA AMENDMENTS	10/05/21

REV:	DD-03	JOB NO.:	198-20
DRAWN:	JD SR	DRAWING NO.:	
SCALE @ A3:	AS SHOWN	A07 OF A11	

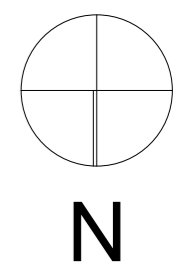
BUILDING AREAS	
ADDITIONS ALFRESCO	11.74
ADDITIONS GROUND FLOOR	113.78
ADDITIONS PATIO	10.86
EXISTING GROUND FLOOR LIVING	55.37
EXISTING PORCH	8.72
TOTAL GROUND FLOOR AREAS	200.47 m²
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ADDITIONS FIRST FLOOR	64.23
TOTAL FIRST FLOOR AREAS	64.23 m²
TOTAL LIVING AREAS	233.38 m²
TOTAL BUILDING AREAS	264.70 m²

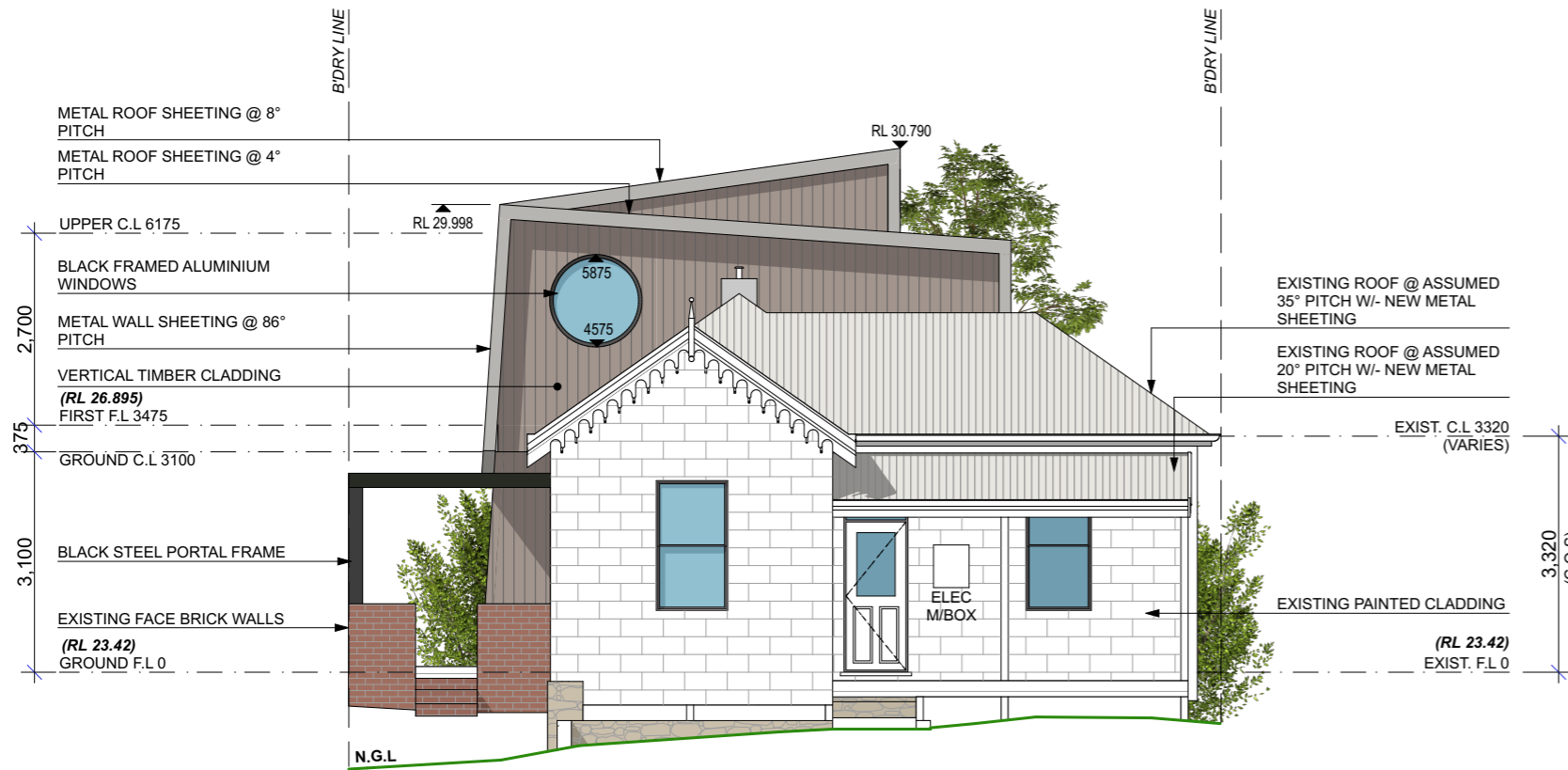


PROPOSED FIRST FLOOR PLAN
1:100

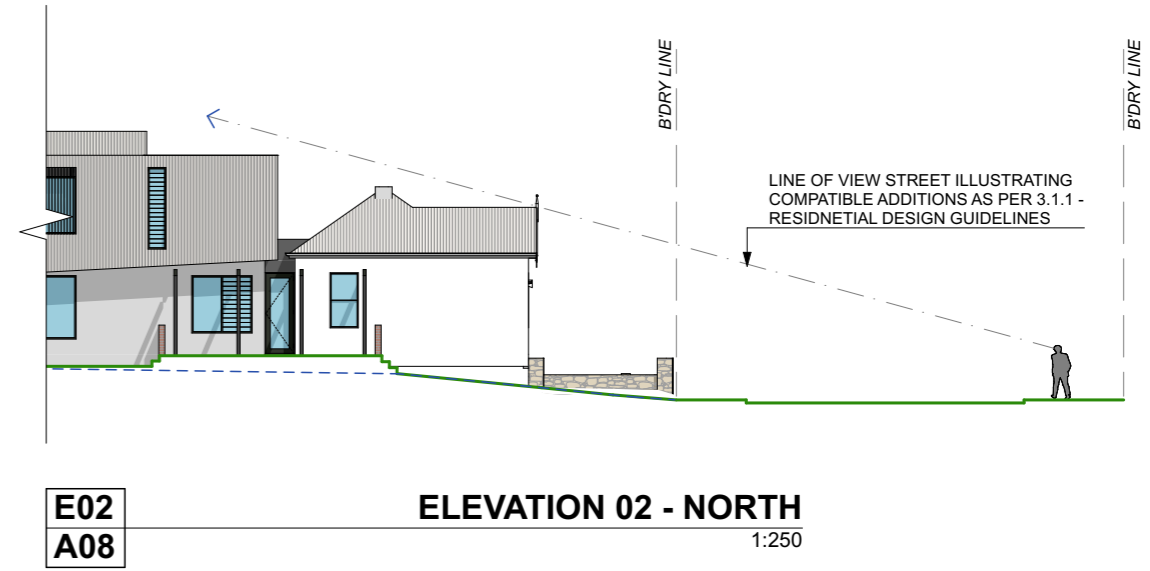
REV.	DESCRIPTION	DATE
DD-02	DEVELOPMENT APPROVAL DRAWINGS	06/04/21
DD-03	DA AMENDMENTS	10/05/21

REV:	DD-03	JOB NO.:	198-20
DRAWN:	JD SR	DRAWING NO.:	
SCALE @ A3:	AS SHOWN	A08 OF A11	





E01
A07 **ELEVATION 01 - WEST**
1:100



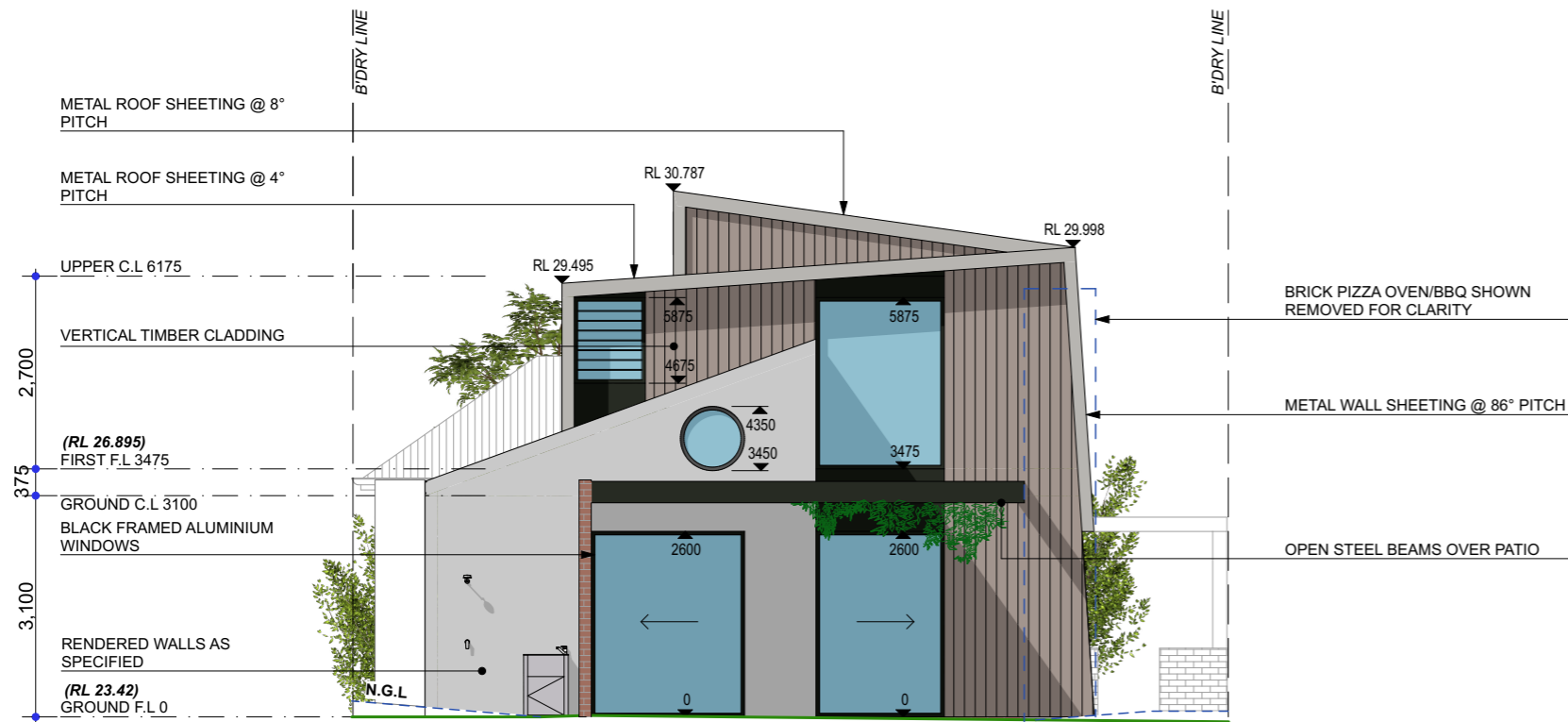
E02
A08 **ELEVATION 02 - NORTH**
1:250



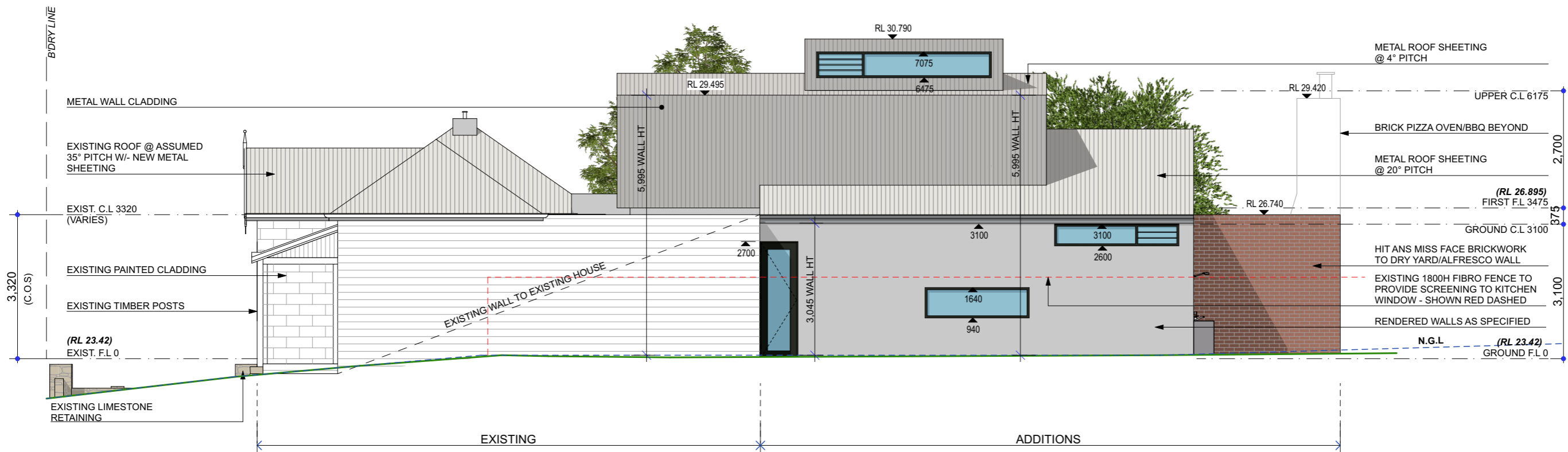
E02
A07 **ELEVATION 02 - NORTH**
1:100

REV.	DESCRIPTION	DATE
DD-02	DEVELOPMENT APPROVAL DRAWINGS	06/04/21
DD-03	DA AMENDMENTS	10/05/21

REV:	DD-03	JOB NO.:	198-20
DRAWN:	JD SR	DRAWING NO.:	
SCALE @ A3:	AS SHOWN	A09 OF A11	



E03
A07 **ELEVATION 03 - EAST**
1:100



E04
A07 **ELEVATION 04 - SOUTH**
1:100

REV.	DESCRIPTION	DATE
DD-02	DEVELOPMENT APPROVAL DRAWINGS	06/04/21
DD-03	DA AMENDMENTS	10/05/21

REV:	DD-03	JOB NO.:	198-20
DRAWN:	JD SR	DRAWING NO.:	
SCALE @ A3:	AS SHOWN	A 10 OF A 11	



STREETScape PERSPECTIVE

REV.	DESCRIPTION	DATE
DD-02	DEVELOPMENT APPROVAL DRAWINGS	06/04/21
DD-03	DA AMENDMENTS	10/05/21

REV:	DD-03	JOB NO.:	198-20
DRAWN:	JD SR	DRAWING NO.:	
SCALE @ A3:	AS SHOWN	A11 OF A11	



Community Engagement Checklist

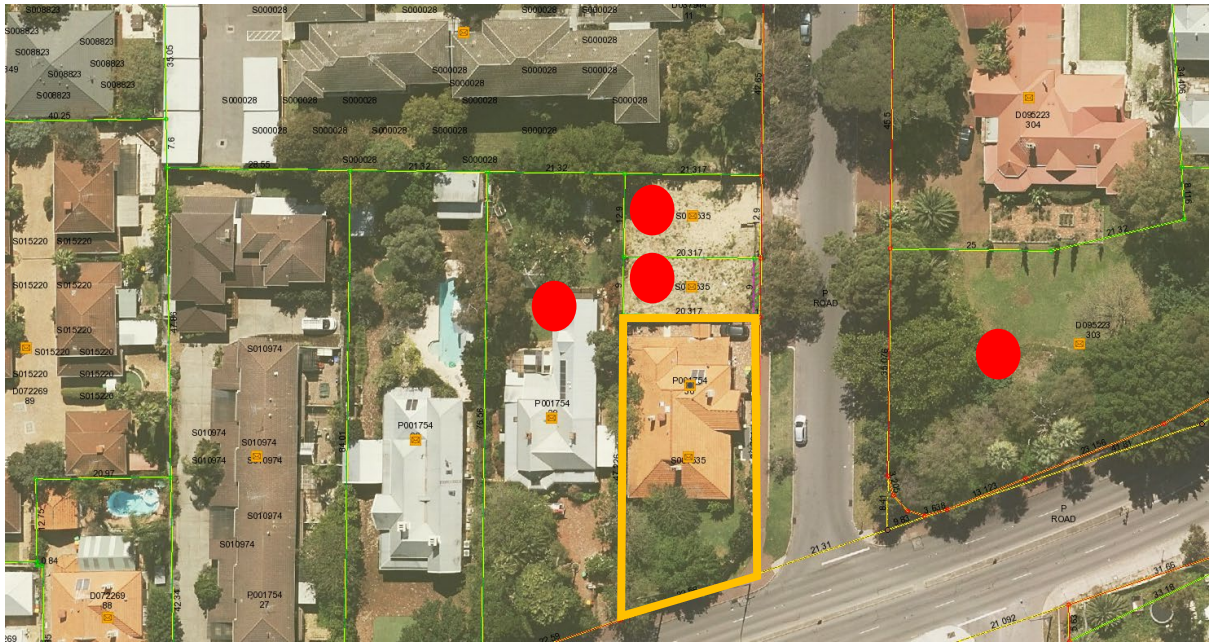
Development Application P27/21 - 64 King Street

Project Name

Objective of Engagement:	Neighbour Consultation		
Lead Officer:	Regulatory Services		
Timeline:	Start Date:	15/04/2021	Outcomes By: 30/4/2021
Stakeholders			
Stakeholders to be considered. <i>Please highlight those to be targeted during engagement.</i>	Aged	<input type="checkbox"/>	Ratepayers (all / targeted) <input type="checkbox"/>
	Businesses	<input type="checkbox"/>	Residents (all / targeted) <input checked="" type="checkbox"/>
	Children (School / Playgroup)	<input type="checkbox"/>	Service Providers <input type="checkbox"/>
	Community Groups	<input type="checkbox"/>	Unemployed <input type="checkbox"/>
	Disabled People	<input type="checkbox"/>	Visitors <input type="checkbox"/>
	Environmental	<input type="checkbox"/>	Volunteers <input type="checkbox"/>
	Families	<input type="checkbox"/>	Workers <input type="checkbox"/>
	Govt. Bodies	<input type="checkbox"/>	Youth <input type="checkbox"/>
	Indigenous	<input type="checkbox"/>	<input type="checkbox"/>
	Neighbouring LGs	<input type="checkbox"/>	<input type="checkbox"/>
Staff to be notified:	Office of the CEO	<input type="checkbox"/>	Councillors <input type="checkbox"/>
	Corporate Services	<input type="checkbox"/>	Consultant/s <input type="checkbox"/>
	Development Services	<input type="checkbox"/>	<input type="checkbox"/>
	Operations (Parks/Works)	<input type="checkbox"/>	<input type="checkbox"/>
Community Engagement Plan			
Methods	Responsible	Date Due	Reference / Notes
1.1 E News	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.2 Email Notification ~	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
1.3 Website	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.4 Facebook	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.5 Advert - Newspaper	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.6 Fact Sheet	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.7 Media Rel./Interview	<input type="checkbox"/> Communications		<input type="checkbox"/>
2.1 Information Stalls	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
2.2 Public Meeting/Forum	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
2.3 Survey/Questionnaire	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
3.1 Focus Group	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
3.2 Referendum/Ballot	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
3.3 Workshop	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
4.1 Council Committee	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
4.2 Working Group	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
* Statutory Consultation	<input checked="" type="checkbox"/> Relevant Officer		<input checked="" type="checkbox"/> Advertised to 5 surrounding properties.
# Heritage Consultation	<input type="checkbox"/> Regulatory Services		<input type="checkbox"/>
^ Mail out (note: timeliness)	<input type="checkbox"/> Communications		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>

Evaluation			
Summary of...		Date Due	Complete / Attached
Feedback / Results / Outcomes / Recommendations		30/4/2021	
Outcomes Shared			
Methods	Responsible	Date Due	Complete / Attached
E-Newsletter	<input type="checkbox"/> Communications		<input type="checkbox"/>
Email Notification	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
Website	<input type="checkbox"/> Communications		<input type="checkbox"/>
Facebook	<input type="checkbox"/> Communications		<input type="checkbox"/>
Media Release	<input type="checkbox"/> Communications		<input type="checkbox"/>
Advert - Newspaper	<input type="checkbox"/> Communications		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>
Notes			

1 Osborne Road – Location and Advertising Plan



1 Osborne Street – Photos





PLACE RECORD FORM



PRECINCT	Richmond
ADDRESS	1 Osborne Road, Residence & Palms
PROPERTY NAME	N/A
LOT NO	Lot 30
PLACE TYPE	Residence
CONSTRUCTION DATE	C 1908
ARCHITECTURAL STYLE	Federation Queen Anne
USE/S	Original Use: Residence/ Current Use: Residence
STATE REGISTER	N/A
OTHER LISTINGS	N/A
MANAGEMENT CATEGORY	Category A
PHYSICAL DESCRIPTION	No 1 Osborne Road is a single storey house constructed in tuck-pointed brick and rendered brick with a hipped and gabled tiled roof. It is a very fine expression of the Federation Queen Anne style. The place is located on a corner lot that addresses both Osborne Road and Canning Highway. The Canning Highway elevation is symmetrically composed with a full width return hip roofed verandah. The Osborne Road elevation is asymmetrically planned with a thrust gable bay and a part width return hip roofed verandah. The verandah is supported on timber posts with post brackets. The half-timbered gable bay jetties over a bay window. The bay window features multi pane casements with hopper lights. There is a

central entry door under a rendered archway. The door features hopper and sidelights. There is a roundel window on the Osborne Road frontage. The roof features finials, tiled crestings and tall tapered roughcast rendered chimneys. There are render string courses.

The place retains its form and most of its details. There are additions to the rear.

The place is consistent with the building pattern in the Precinct. The place plays an important role in the pattern of development of a middle class suburb.

HISTORICAL NOTES

In September 1883 Stephen Henry Parker and James Morrison of Perth commenced subdivision of 65 acres of land to the north of Canning Road. The subdivision occurred at Swan Locations 63, 176, 219 and the south western portion of Swan Location 306. The subdivision included Preston Point Road, Alcester Gardens, Wolsely Gardens, Victoria Road, Alexandra Road, Parry Avenue, and Salvado Avenue.

The Richmond Precinct was owned by Walter Easton and was named after the town of Richmond where Easton lived in England. In 1901 Easton's sons subdivided Windsor Estate. New streets to the subdivision of the Windsor Estate were named after various members of the Easton family; Walter, Gill, Stratford and Morgan (later Osborne Road).

Initially lot sizes were generous but sold at a slow rate. The initial development of the Richmond Precinct occurred at Canning Highway and Preston Point Road. Substantial residences were developed on these streets giving precedence to the future development of Richmond. The distinct architecture of Canning Highway and Preston Point Road distinguish Richmond from the surrounding area.

By 1913 there were approximately 40 residences in the area between Preston Point Road and Alexandra Road. Osborne Road, Windsor Road and Gill Street had several buildings apiece by 1913. By 1931 approximately half the lots were developed. In 1921 Richmond Primary School was developed between Windsor and Osborne Road and several Inter-War residences were developed in the immediate area. In the 1930s the Workers' Homes' Board developed a number of weatherboard, asbestos, brick and tiled residences. Inter-War style front porches were preferred over Federation style full width verandahs.

Redevelopments have occurred throughout the Richmond Precinct. Large lot sizes have allowed Richmond to be subject to the redevelopment of group and multiple housing. However, significant clusters of heritage dwellings remain throughout.

OWNERS

Unknown

HISTORIC THEME

Demographic Settlements - Residential Subdivision

CONSTRUCTION MATERIALS

Walls – Tuck pointed brick and rendered brick

Roof – Tiles

PHYSICAL SETTING

The residence is situated on a flat site with a brick and steel palisade fence on the lot boundary. The garden feature tall Cotton Palms.

STATEMENT OF SIGNIFICANCE

No 1 Osborne Road is a single storey house constructed in tuck-pointed brick and rendered brick with a tiled roof. It has historic and aesthetic value for its contribution to Richmond's high concentration of predominantly Federation and Inter-War period houses and associated buildings. The place contributes to the local community's sense of place.

The place has exceptional aesthetic value as Federation Queen Anne style house. The place retains a high degree of authenticity and a high

	degree of integrity.
	The additions to the rear have little significance.
AESTHETIC SIGNIFICANCE	No 1 Osborne Road has exceptional aesthetic value as a Federation Queen Anne style house. It retains most of the characteristic features of a dwelling of the type and period.
HISTORIC SIGNIFICANCE	No 1 Osborne Road has considerable historic value. It was part of the suburban residential development associated with the expansion of East Fremantle and the subdivision of Walter Easton's Estate from 1901.
SCIENTIFIC SIGNIFICANCE	N/A
SOCIAL SIGNIFICANCE	No 1 Osborne Road has considerable social value. It is associated with a significant area of middle class Federation and Inter-War period development which contributes to the community's sense of place.
RARITY	No 1 Osborne Road is not rare in the immediate context but Richmond has rarity value as a cohesive middle class suburb.
CONDITION	No 1 Osborne Road is in good condition.
INTEGRITY	No 1 Osborne Road retains a high degree of integrity.
AUTHENTICITY	No 1 Osborne Road retains a high degree of authenticity.
MAIN SOURCES	

TBM deck spike in bitumen equals RL 25.23 AHD
Based on sewer manhole 0741 RL 26.53 AHD (Water Corp e-plan)
Contractor to check datum before adopting levels

Survey Date: 27 November 2019		Scale 1:250@A3	
Client: Horiko			
Rev	Date	Description	Surv Drawn
0	21/10/13	Original Feature Survey	PPS
1	04/12/19	Update - Vacant Lots	AW

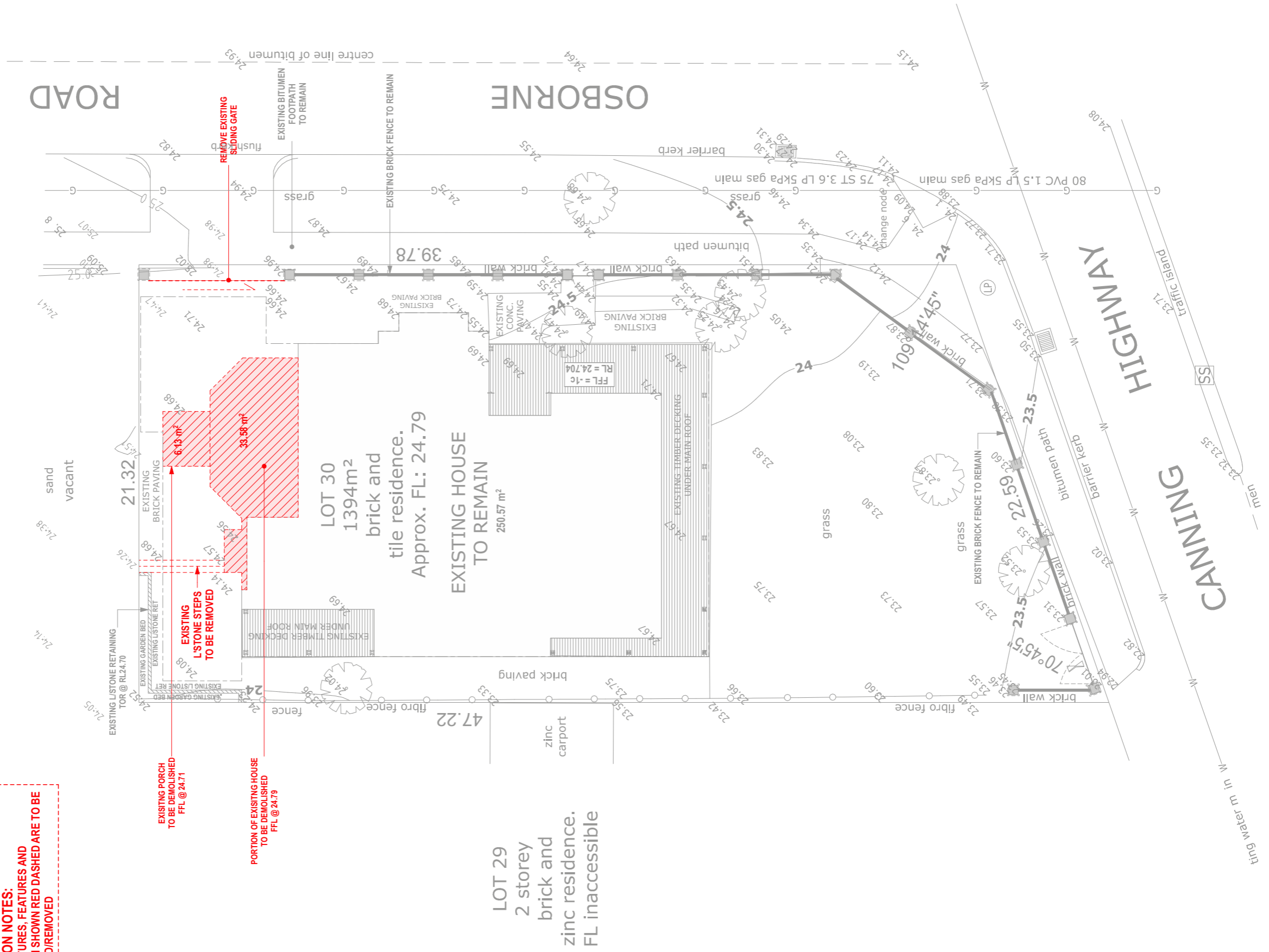
FEATURE AND CONTOUR SURVEY OF LOT 30 ON PLAN 1754
1 Osborne Road, East Fremantle
C/T Vol: 1494 Fol: 630
our ref. 18-8085

Feature Survey by
THE LAND DIVISION
PLANNING | SURVEYING | DESIGN
PO Box 2444,
Malaga, WA 6090
Tel 08 9209 3232
Fax 08 9249 2551

ITEM 12.3

NOTES: 1) CONSULT LEGAL ADVICE ON EASEMENTS, ENCUMBRANCES AND CAVEATS THAT MAY APPEAR ON THE CERTIFICATE OF TITLE. 2) LEVELS ON ADJOINING PROPERTIES ARE APPROXIMATE DUE TO ACCESS RESTRICTIONS. 3) SERVICES PLOTTED AS VISUALLY SEEN ON SITE AND ARE APPROXIMATE. 4) SEWER POSITION AND LEVELS FROM WATER CORPORATION PLANS. 5) CONSULT DIAL BEFORE YOU DIG TO CHECK LOCATION OF UNDERGROUND SERVICES. 6) BEWARE OF OVERHEAD POWER LINE HAZARDS. 7) CONSULT TLD ON ANY ANOMALY BEFORE DESIGN AND CONSTRUCTION. 8) POSITION AND DEPTH OF SERVICES TO BE CONFIRMED ON SITE BY CONTRACTOR. 9) FEATURES ARE RELATED TO FENCE-LINES ONLY. NO CONNECTION MADE TO BOUNDARIES. REPEG RECOMMENDED.

DEMOLITION NOTES:
- ALL STRUCTURES, FEATURES AND VEGETATION SHOWN RED DASHED ARE TO BE DEMOLISHED/REMOVED



TBM deck spike in bitumen equals RL 25.23 AHD
Based on sewer manhole 0741 RL 26.53 AHD (Water Corp e-plan)
Contractor to check datum before adopting levels

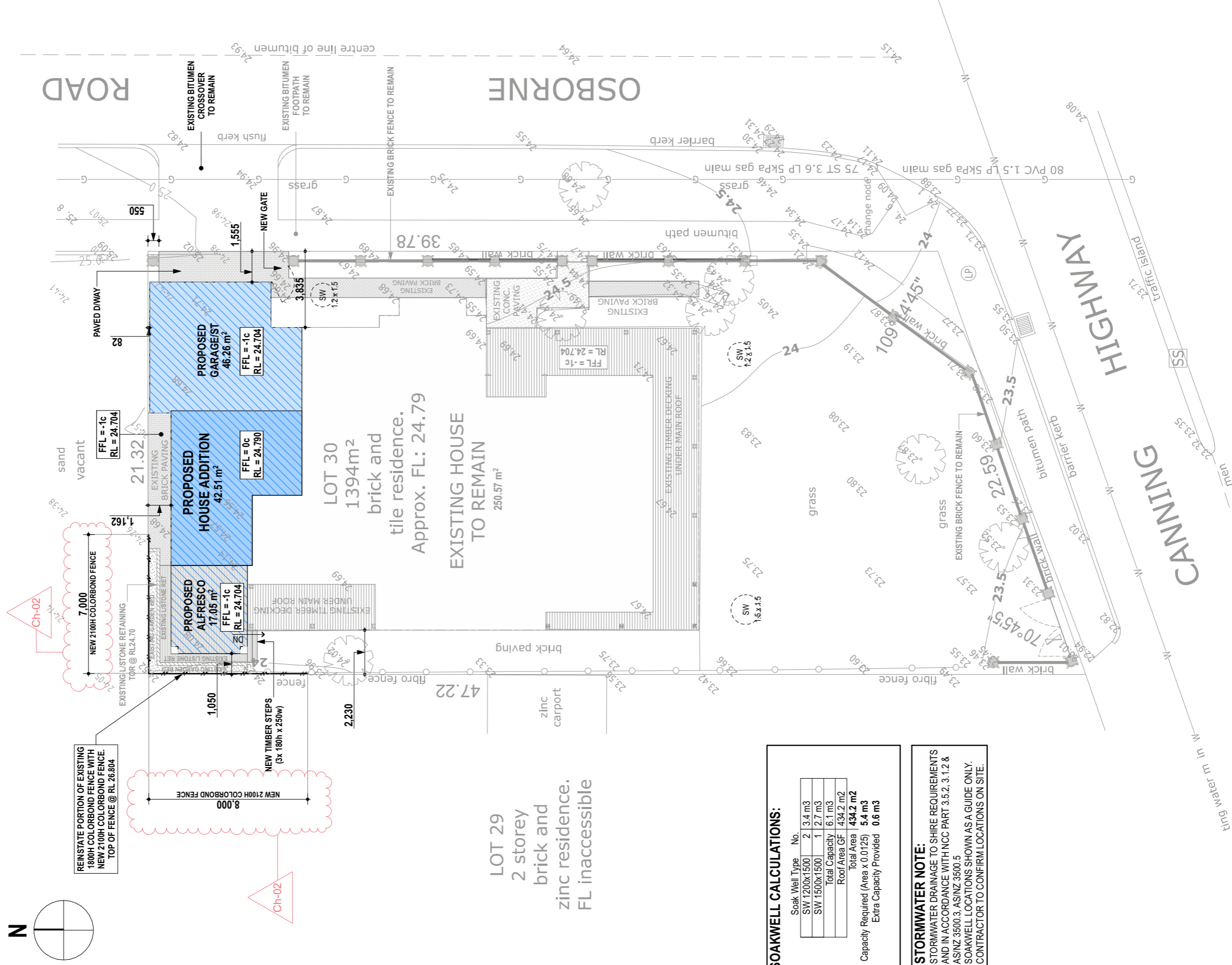
Survey Date: 27 November 2019

Scale 1:250@A3

**FEATURE AND CONTOUR SURVEY
OF LOT 30 ON PLAN 1754**
1 Osborne Road, East Fremantle
C/T Vol: 1494 Fol: 630
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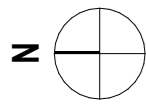
SOAKWELL CALCULATIONS:

Soak Well Type	No.	Capacity
SW 1200x1500	2	3.4 m³
SW 1500x1500	1	2.7 m³
Total Capacity		6.1 m³
Roof Area GF		434.2 m²
Total Area		434.2 m²
Capacity Required (Area x 0.0125)		5.4 m³
Extra Capacity Provided		0.6 m³

STORMWATER NOTE:

- STORMWATER DRAINAGE TO SHIRE REQUIREMENTS AND IN ACCORDANCE WITH NCC PART 3.5.2, 3.1.2 & AS/NZ 3500.3, AS/NZ 3500.5
- SOAKWELL LOCATIONS SHOWN AS A GUIDE ONLY. CONTRACTOR TO CONFIRM LOCATIONS ON SITE.

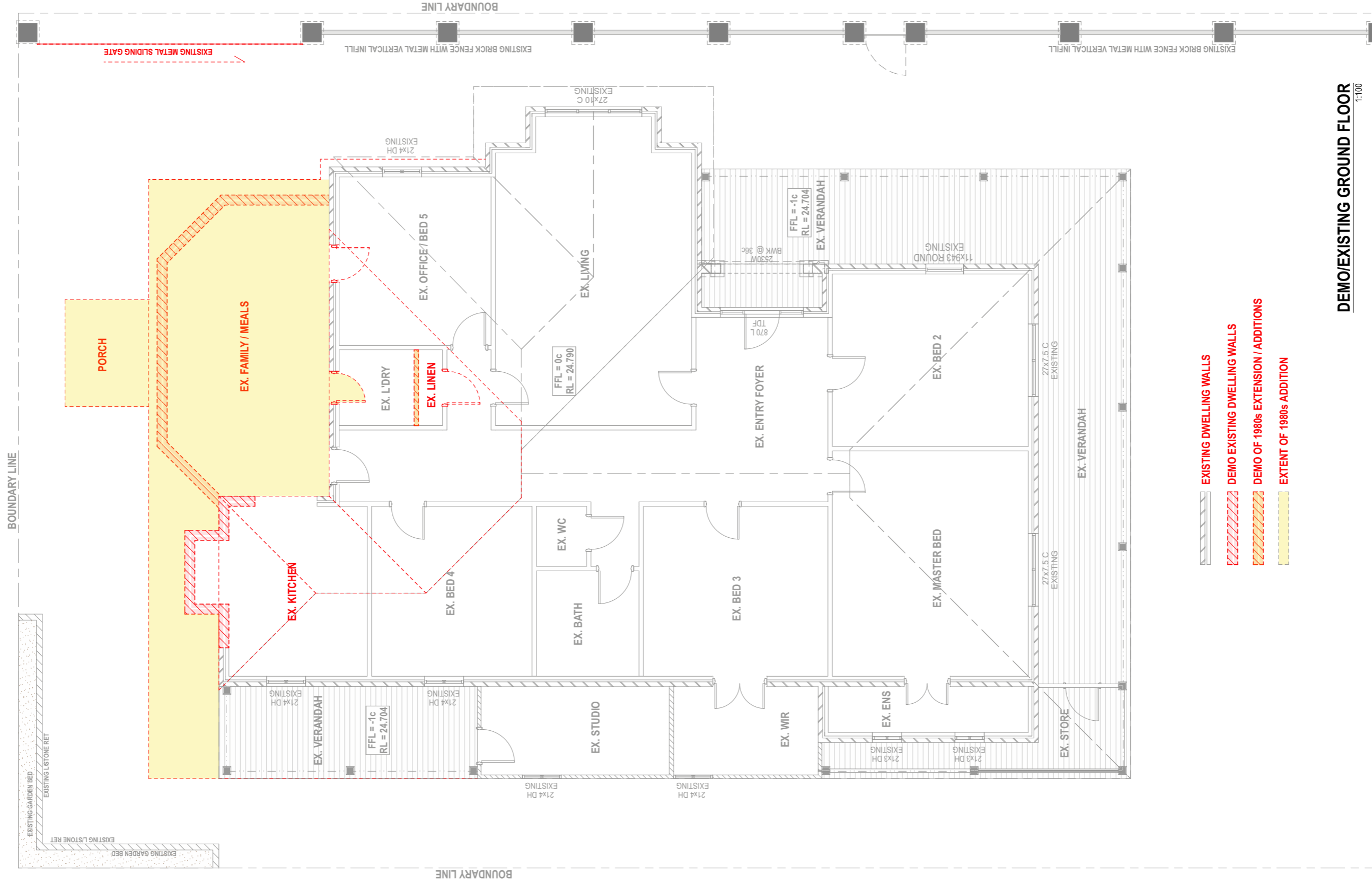




2
3

1

4



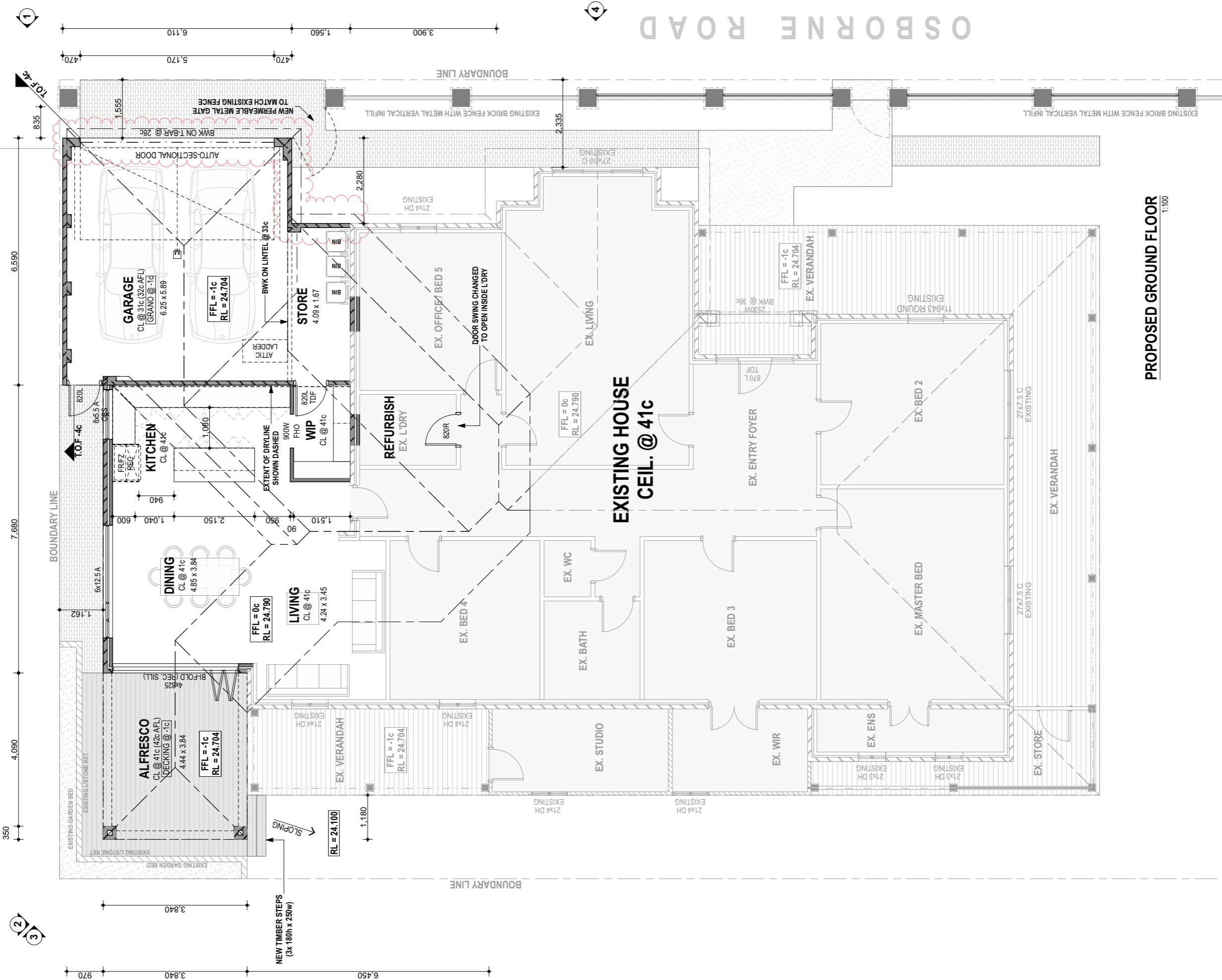
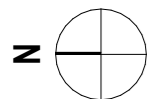
-  EXISTING DWELLING WALLS
-  DEMO EXISTING DWELLING WALLS
-  DEMO OF 1980s EXTENSION / ADDITIONS
-  EXTENT OF 1980s ADDITION

DEMO/EXISTING GROUND FLOOR
1:100

CHANGE SCHEDULE

ID	CHANGE DESCRIPTION	CHANGE DATE
Ch-01	EAVE ADDED TO MATCH EXISTING HOUSE	14/5/2021,
Ch-02	2100 HIGH COLORBOND FENCE ADDED	14/5/2021,
Ch-03	FRONT BRICK FENCE HEIGHTS ADJUSTED AND MOULDINGS/RENDER ADDED	15/5/2021,



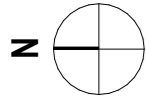


WALL LEGEND

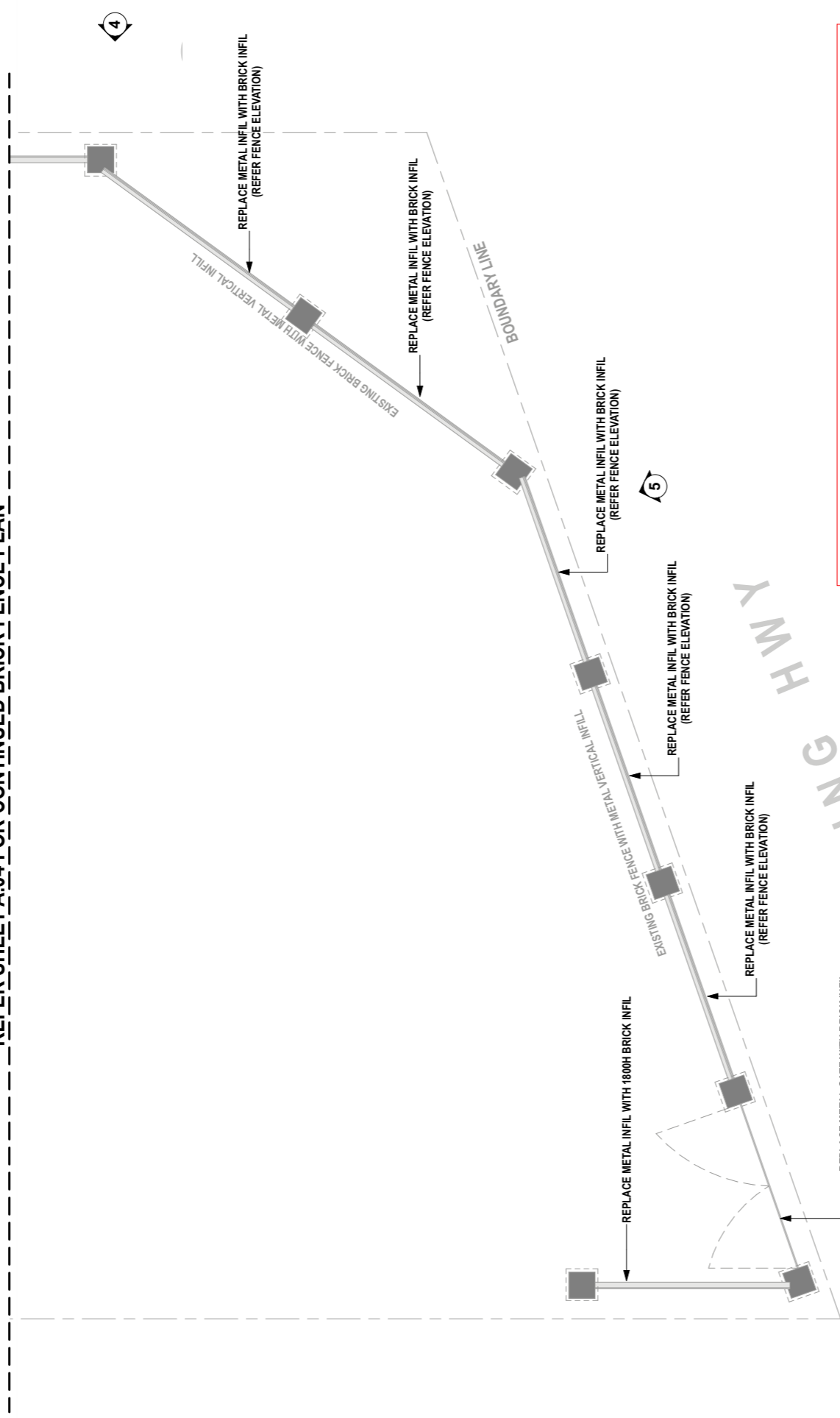
- 110 | 50 | 90 - EXISTING 1c FACE BRICK EXTERNAL CAVITY WALL
- 110 - EXISTING PLASTERED INTERNAL BRICK WALL
- 90 - EXISTING CLADDED TIMBER STUD FRAMED WALL
- 110 | 50 | 90 - NEW 1c FACE BRICK EXTERNAL CAVITY WALL (TO MATCH EXISTING)
- 90 - NEW PLASTERED INTERNAL BRICK WALL (TO MATCH EXISTING)

PROPOSED GROUND FLOOR
1:100

REFER SHEET A.05 FOR CONTINUED BRICK FENCE PLAN



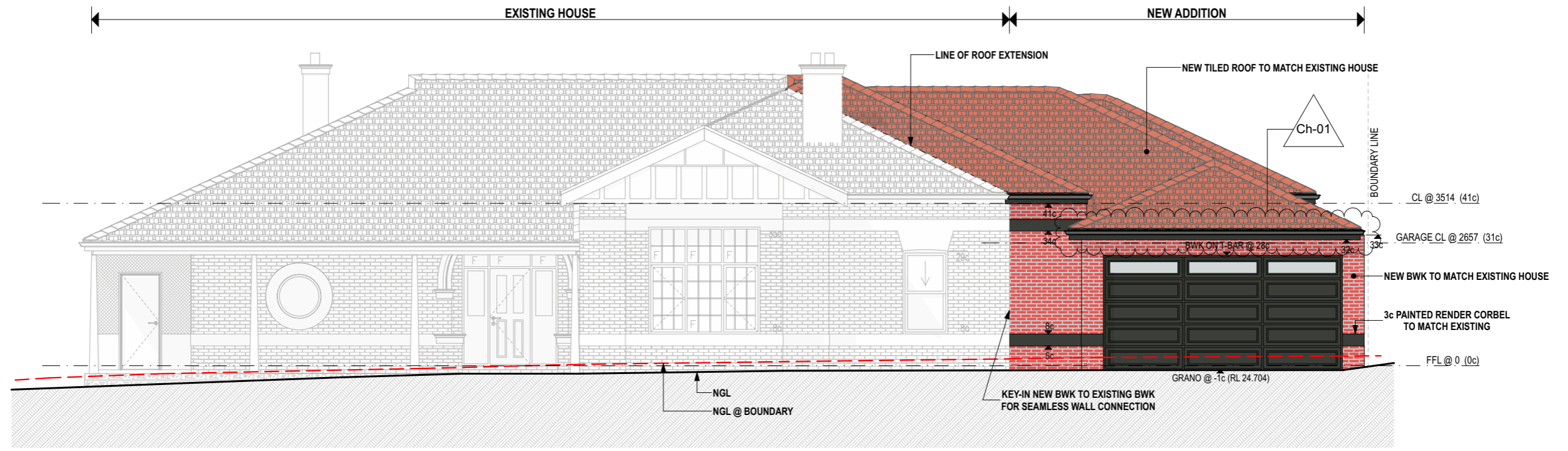
REFER SHEET A.04 FOR CONTINUED BRICK FENCE PLAN



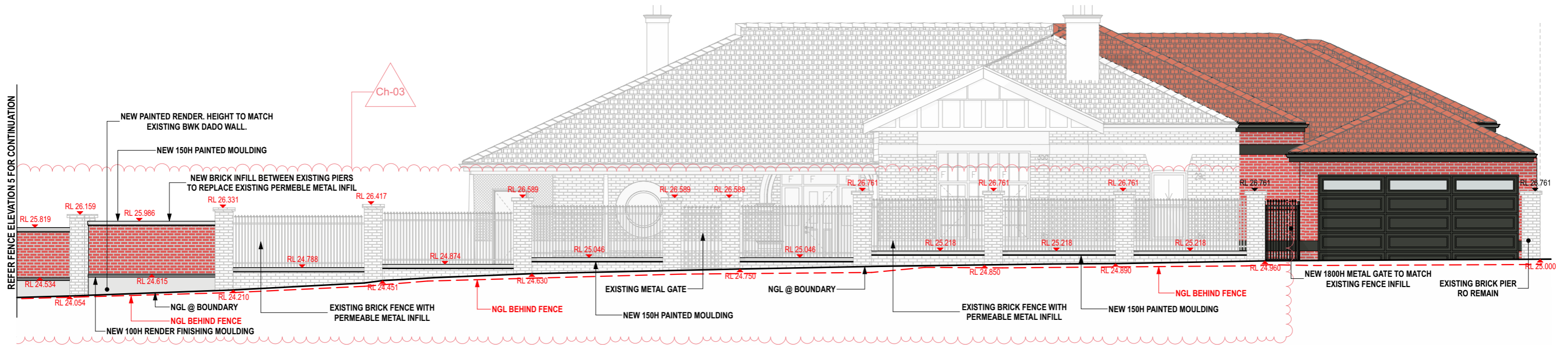
NOISE ATTENUATION NOTES:
PROVIDE BRICK INFILL TO EXISTING FENCE ALONG CANNING HWY AND CORNER TRUNCATION TO BUFFER TRAFFIC NOISE AND REDUCE IMPACT ON THE AMENITY OF THE SUBJECT LOT.

EXISTING BRICK FRONT FENCE PLAN
1:100



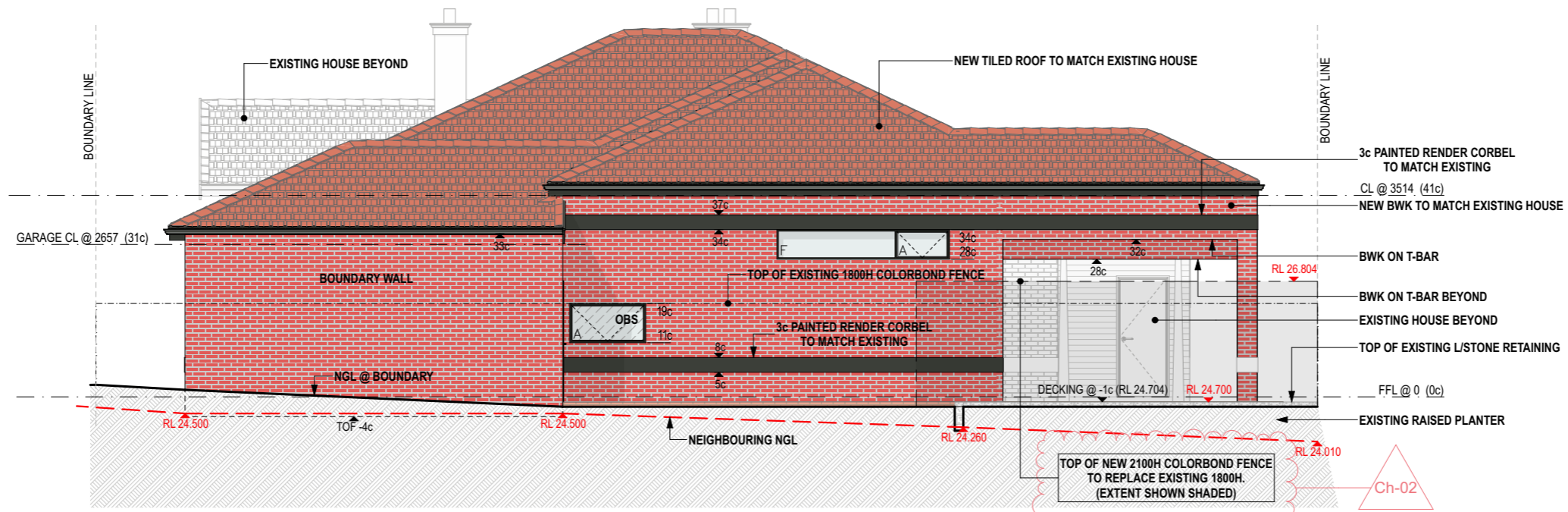


EAST ELEVATION 1
1:100

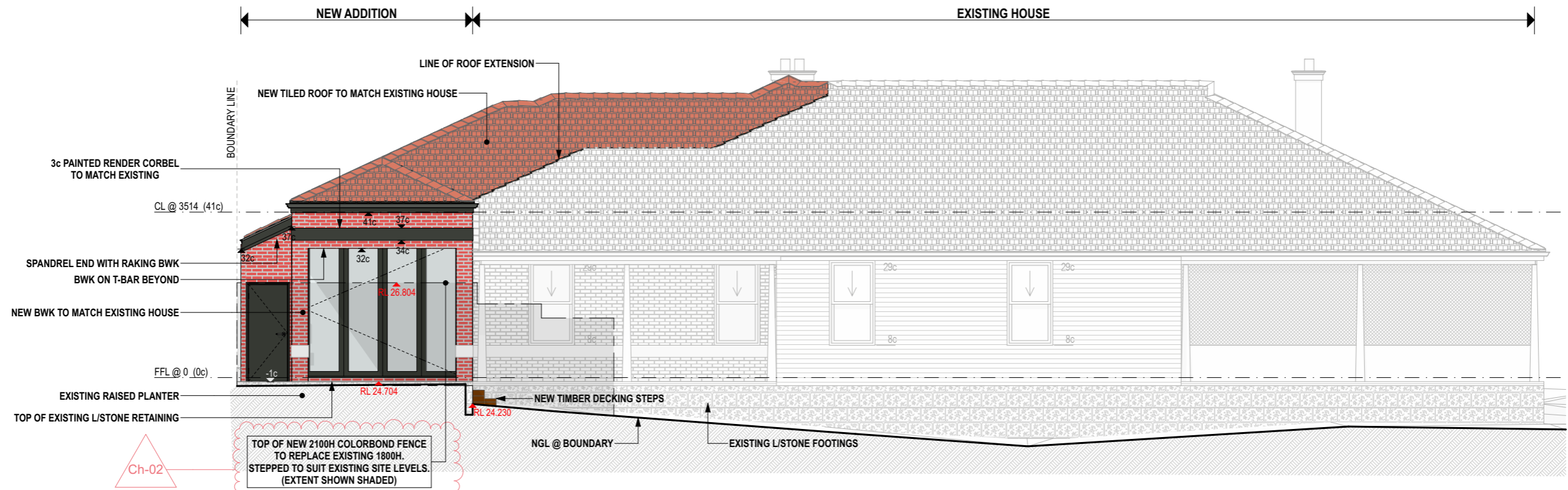


EAST FENCE ELEVATION 4
1:100

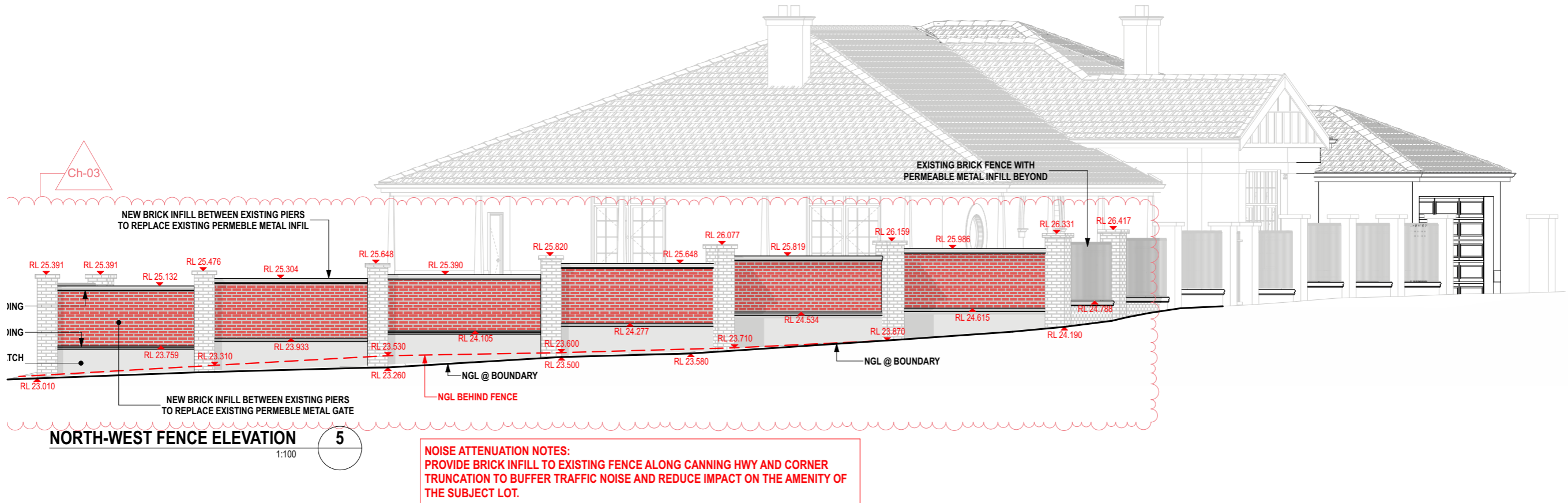
NOISE ATTENUATION NOTES:
PROVIDE BRICK INFILL TO EXISTING FENCE ALONG CANNING HWY AND CORNER TRUNCATION TO BUFFER TRAFFIC NOISE AND REDUCE IMPACT ON THE AMENITY OF THE SUBJECT LOT.



NORTH ELEVATION 2
1:100



WEST ELEVATION 3
1:100





NORTH-EAST PERSPECTIVE



EAST PERSPECTIVE



SOUTH-EAST PERSPECTIVE



SOUTH PERSPECTIVE



NORTH-WEST PERSPECTIVE



WEST PERSPECTIVE



Community Engagement Checklist

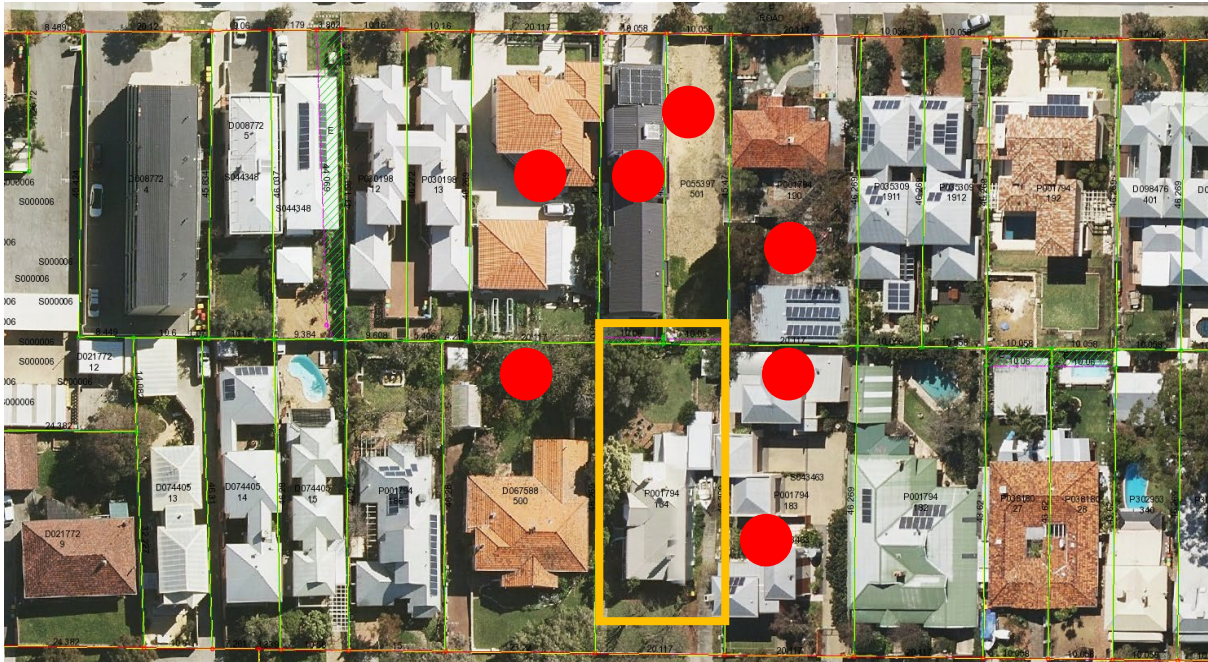
Development Application P28/21 - 1 Osborne Road

Project Name

Objective of Engagement:	Neighbour Consultation		
Lead Officer:	Regulatory Services		
Timeline:	Start Date:	15/04/2021	Outcomes By: 30/4/2021
Stakeholders			
Stakeholders to be considered. <i>Please highlight those to be targeted during engagement.</i>	Aged	<input type="checkbox"/>	Ratepayers (all / targeted) <input type="checkbox"/>
	Businesses	<input type="checkbox"/>	Residents (all / targeted) <input checked="" type="checkbox"/>
	Children (School / Playgroup)	<input type="checkbox"/>	Service Providers <input type="checkbox"/>
	Community Groups	<input type="checkbox"/>	Unemployed <input type="checkbox"/>
	Disabled People	<input type="checkbox"/>	Visitors <input type="checkbox"/>
	Environmental	<input type="checkbox"/>	Volunteers <input type="checkbox"/>
	Families	<input type="checkbox"/>	Workers <input type="checkbox"/>
	Govt. Bodies	<input type="checkbox"/>	Youth <input type="checkbox"/>
	Indigenous	<input type="checkbox"/>	<input type="checkbox"/>
	Neighbouring LGs	<input type="checkbox"/>	<input type="checkbox"/>
Staff to be notified:	Office of the CEO	<input type="checkbox"/>	Councillors <input type="checkbox"/>
	Corporate Services	<input type="checkbox"/>	Consultant/s <input type="checkbox"/>
	Development Services	<input type="checkbox"/>	<input type="checkbox"/>
	Operations (Parks/Works)	<input type="checkbox"/>	<input type="checkbox"/>
Community Engagement Plan			
Methods	Responsible	Date Due	Reference / Notes
1.1 E News	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.2 Email Notification ~	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
1.3 Website	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.4 Facebook	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.5 Advert - Newspaper	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.6 Fact Sheet	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.7 Media Rel./Interview	<input type="checkbox"/> Communications		<input type="checkbox"/>
2.1 Information Stalls	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
2.2 Public Meeting/Forum	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
2.3 Survey/Questionnaire	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
3.1 Focus Group	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
3.2 Referendum/Ballot	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
3.3 Workshop	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
4.1 Council Committee	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
4.2 Working Group	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
* Statutory Consultation	<input checked="" type="checkbox"/> Relevant Officer		<input checked="" type="checkbox"/> Advertised to 4 surrounding properties.
# Heritage Consultation	<input type="checkbox"/> Regulatory Services		<input type="checkbox"/>
^ Mail out (note: timeliness)	<input type="checkbox"/> Communications		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>

Evaluation			
Summary of...		Date Due	Complete / Attached
Feedback / Results / Outcomes / Recommendations		30/4/2021	
Outcomes Shared			
Methods	Responsible	Date Due	Complete / Attached
E-Newsletter	<input type="checkbox"/> Communications		<input type="checkbox"/>
Email Notification	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
Website	<input type="checkbox"/> Communications		<input type="checkbox"/>
Facebook	<input type="checkbox"/> Communications		<input type="checkbox"/>
Media Release	<input type="checkbox"/> Communications		<input type="checkbox"/>
Advert - Newspaper	<input type="checkbox"/> Communications		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>
Notes			

7 Fraser Street – Advertising and Location Plan



7 Fraser Street – Site Photos



PLACE RECORD FORM



PRECINCT	Richmond
ADDRESS	7 Fraser Street
PROPERTY NAME	N/A
LOT NO	Lot 184
PLACE TYPE	Residence
CONSTRUCTION DATE	C 1905
ARCHITECTURAL STYLE	Federation Arts and Crafts Bungalow
USE/S	Original Use: Residence/ Current Use: Residence
STATE REGISTER	N/A
OTHER LISTINGS	N/A
MANAGEMENT CATEGORY	Category B
PHYSICAL DESCRIPTION	No 7 Fraser Street is a single storey house constructed in limestone, painted brick and rendered brick with a hipped and gable corrugated iron roof. It is a fine expression of the Federation Bungalow style. It is asymmetrically composed with a thrust gable bay and a part width return broken back verandah. The verandah terminates at both ends at a gable thrust bay. It is supported on timber posts with post brackets. A vertical timber balustrade spans between the posts. The gable bay jetties over a bay window. The entry door is located on the west elevation under the verandah. The front facade features render string courses and a corner suite. The roofscape features rendered chimneys. The place sits on a

limestone foundation. The lower walls are painted brick and the upper walls are rendered.

The place retains its form and most of its details. There are additions to the rear.

The place is consistent with the building pattern in the Precinct. The place plays an important role in the pattern of development of a middle class suburb.

HISTORICAL NOTES

In September 1883 Stephen Henry Parker and James Morrison of Perth commenced subdivision of 65 acres of land to the north of Canning Road. The subdivision occurred at Swan Locations 63, 176, 219 and the south western portion of Swan Location 306. The subdivision included Preston Point Road, Alcester Gardens, Wolsely Gardens, Victoria Road, Alexandra Road, Parry Avenue, and Salvado Avenue.

The Richmond Precinct was owned by Walter Easton and was named after the town of Richmond where Easton lived in England. In 1901 Easton's sons subdivided *Windsor Estate*. New streets to the subdivision of the *Windsor Estate* were named after various members of the Easton family; Walter, Gill, Stratford and Morgan (later Osborne Road).

Initially lot sizes were generous but sold at a slow rate. The initial development of the Richmond Precinct occurred at Canning Highway and Preston Point Road. Substantial residences were developed on these streets giving precedence to the future development of Richmond. The distinct architecture of Canning Highway and Preston Point Road distinguish Richmond from the surrounding area.

By 1913 there were approximately 40 residences in the area between Preston Point Road and Alexandra Road. Osborne Road, Windsor Road and Gill Street had several buildings apiece by 1913. By 1931 approximately half the lots were developed. In 1921 Richmond Primary School was developed between Windsor and Osborne Road and several Inter-War residences were developed in the immediate area. In the 1930s the Workers' Homes' Board developed a number of weatherboard, asbestos, brick and tiled residences. Inter-War style front porches were preferred over Federation style full width verandahs.

Redevelopments have occurred throughout the Richmond Precinct. Large lot sizes have allowed Richmond to be subject to the redevelopment of group and multiple housing. However, significant clusters of heritage dwellings remain throughout.

OWNERS

Unknown

HISTORIC THEME

Demographic Settlements - Residential Subdivision

CONSTRUCTION MATERIALS

Walls – Limestone, painted brick and rendered brick

Roof – Corrugated iron sheeting

PHYSICAL SETTING

The residence is on a flat lot with a low timber picket fence on the lot boundary.

STATEMENT OF SIGNIFICANCE

No 7 Fraser Street is a single storey house constructed in limestone, painted brick and rendered brick with a corrugated iron roof. It has historic and aesthetic value for its contribution to Richmond's high concentration of predominantly Federation and Inter-War period houses and associated buildings. The place contributes to the local community's sense of place.

The place has considerable aesthetic value as a Federation Queen Anne style house. The place retains a moderate to high degree of authenticity and a high degree of integrity.

The additions have no significance.

AESTHETIC SIGNIFICANCE	No 7 Fraser Street has considerable aesthetic value as a Federation style house. It retains most of the characteristic features of a dwelling of the type and period.
HISTORIC SIGNIFICANCE	No 7 Fraser Street has some historic value. It was part of the suburban residential development associated with the expansion of East Fremantle and the subdivision of Walter Easton's Estate from 1901.
SCIENTIFIC SIGNIFICANCE	N/A
SOCIAL SIGNIFICANCE	No 7 Fraser Street has some social value. It is associated with a significant area of middle class Federation and Inter-War period development which contributes to the community's sense of place.
RARITY	No 7 Fraser Street is not rare in the immediate context but Richmond has rarity value as a cohesive middle class suburb.
CONDITION	No 7 Fraser Street is in good condition.
INTEGRITY	No 7 Fraser Street retains a high degree of integrity.
AUTHENTICITY	No 7 Fraser Street retains a moderate to high degree of authenticity.
MAIN SOURCES	



13 APRIL 2021

PLANNING APPROVAL DRAWINGS

CELEDIN

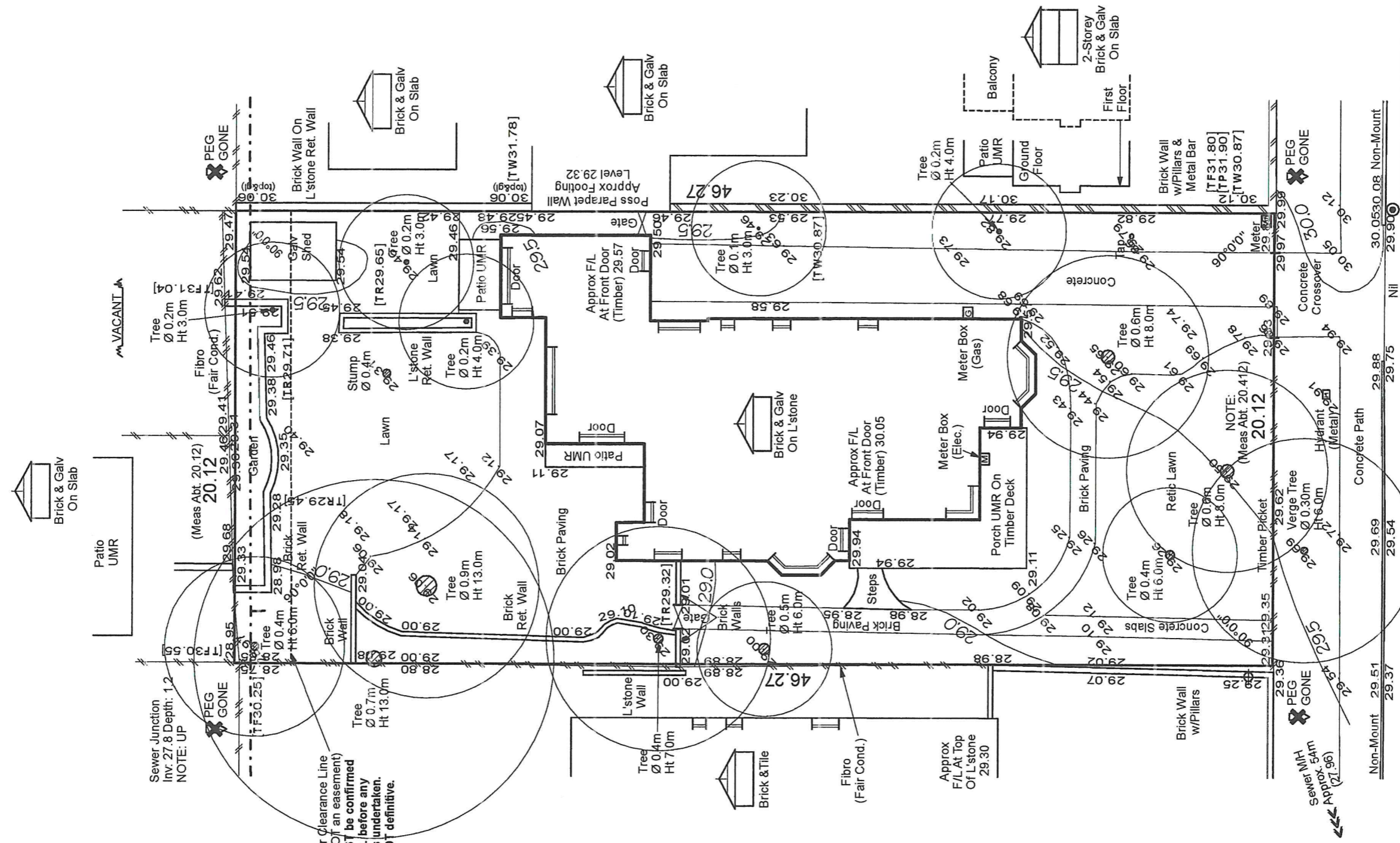
7 Fraser Street, East Fremantle

FS01	FEATURE SURVEY
MD01	MEASURED DRAWINGS Plan
MD02	MEASURED DRAWINGS Elevations - South / East
MD03	MEASURED DRAWINGS Elevations - West / North
PA01	SITE PLAN
PA02	PLAN - GROUND FLOOR
PA03	PLAN - UPPER FLOOR
PA04	ELEVATIONS - South / East
PA05	ELEVATIONS - West / North

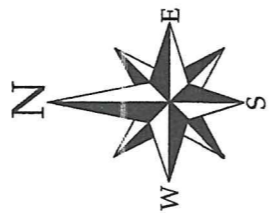
Job No. 21 735

GERARD McCANN ARCHITECT

301/21 FREEMAN LOOP NORTH FREMANTLE WA 6159 M : 0419 947 890 E : gmccann@inet.net.au



NOTE:
 Approx. Sewer Clearance Line
 (This line is NOT an easement)
 Setbacks **MUST** be confirmed
 by Water Corp. before any
 design work is undertaken.
 This line is **NOT** definitive.



Fraser Street
 Bitumen

TOWN OF EAST FREMANTLE
 PLANNING APPLICATION
 DATE: 20 APR 2021 No: P 030-26
RECEIVED

Ref Nail At Base Of Kerb A.H.D. level 29.95m
 (Established from B.M. MWS 781 using data supplied
 by the Geodetic Section of Landgate)

GERARD McCANN ARCHITECT

301/21 FREEMAN LOOP NORTH FREMANTLE WA 6159 M: 0419 947 890 E: gmccann@inet.net.au

CELEDIN

ADDITIONS & ALTERATIONS
 TO EXISTING RESIDENCE

7 FRASER STREET
 EAST FREMANTLE

FEATURE SURVEY
 J/N 491139

SCALE 1:200 @A3

DATE 3 FEBRUARY 2021

DRAWN COTTAGE &
 ENGINEERING

21-735 FS-01

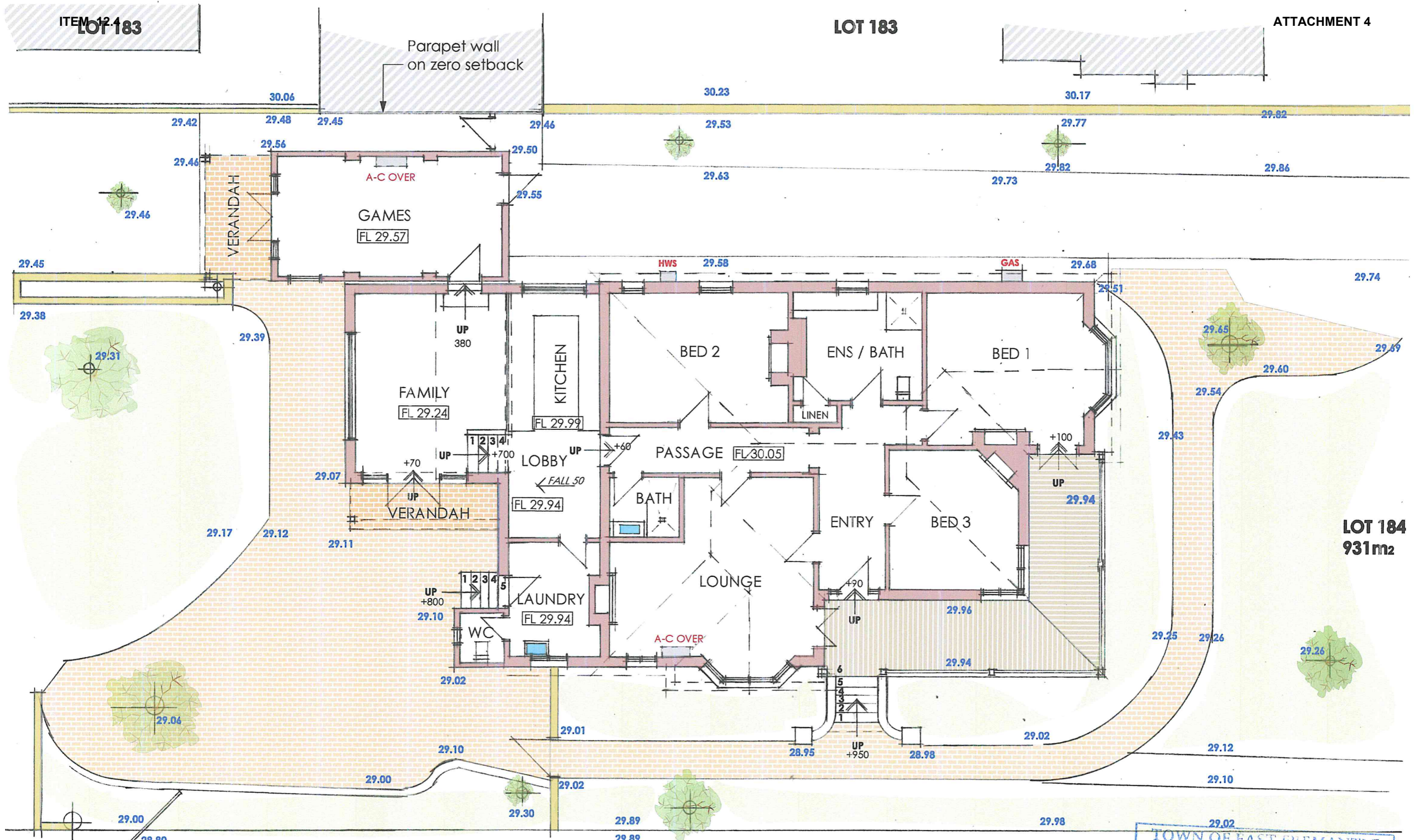
CLIENT

PROJECT

LOCATION

DRAWING

Parapet wall on zero setback



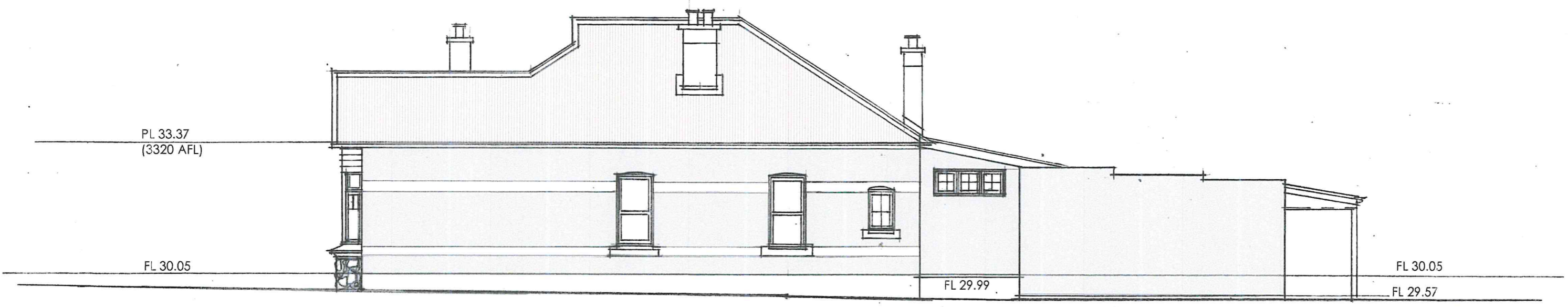
LOT 184
931m²

MEASURED DRAWING PLAN - Part Site Plan 1:100

TOWN OF EAST FREMANTLE
PLANNING APPLICATION
DATE 20 APR 2021 No P 0 3 0 - 2 6
RECEIVED



MEASURED DRAWING 1:100
South Elevation

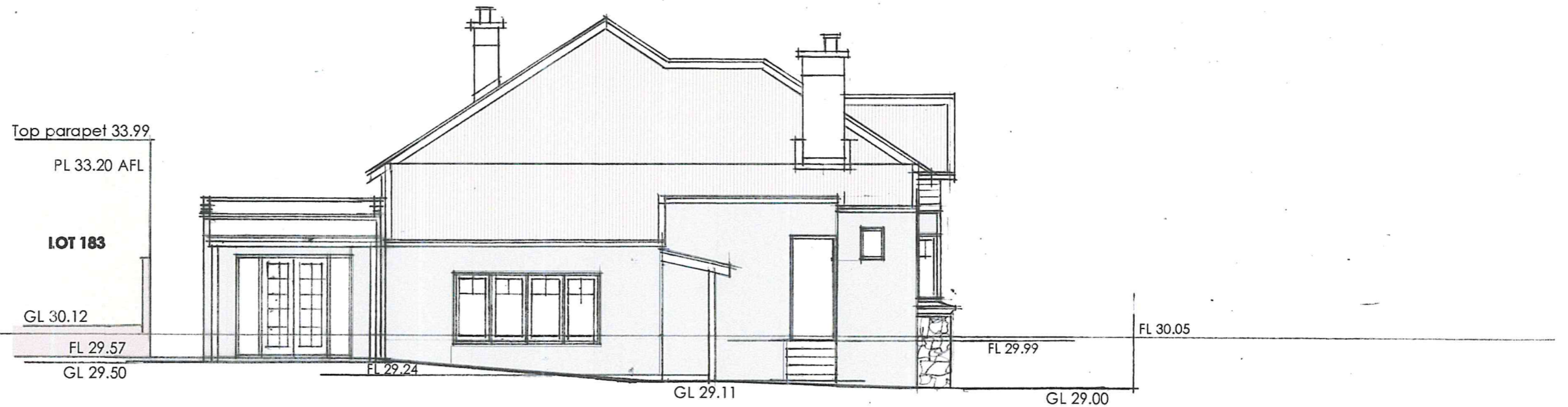


MEASURED DRAWING 1:100
East Elevation

TOWN OF EAST FREMANTLE
 PLANNING APPLICATION
 DATE No
 20 APR 2021 P 030 - 2 G
 RECEIVED

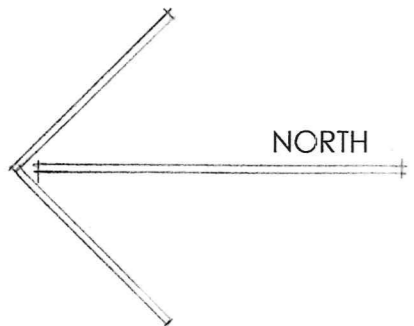
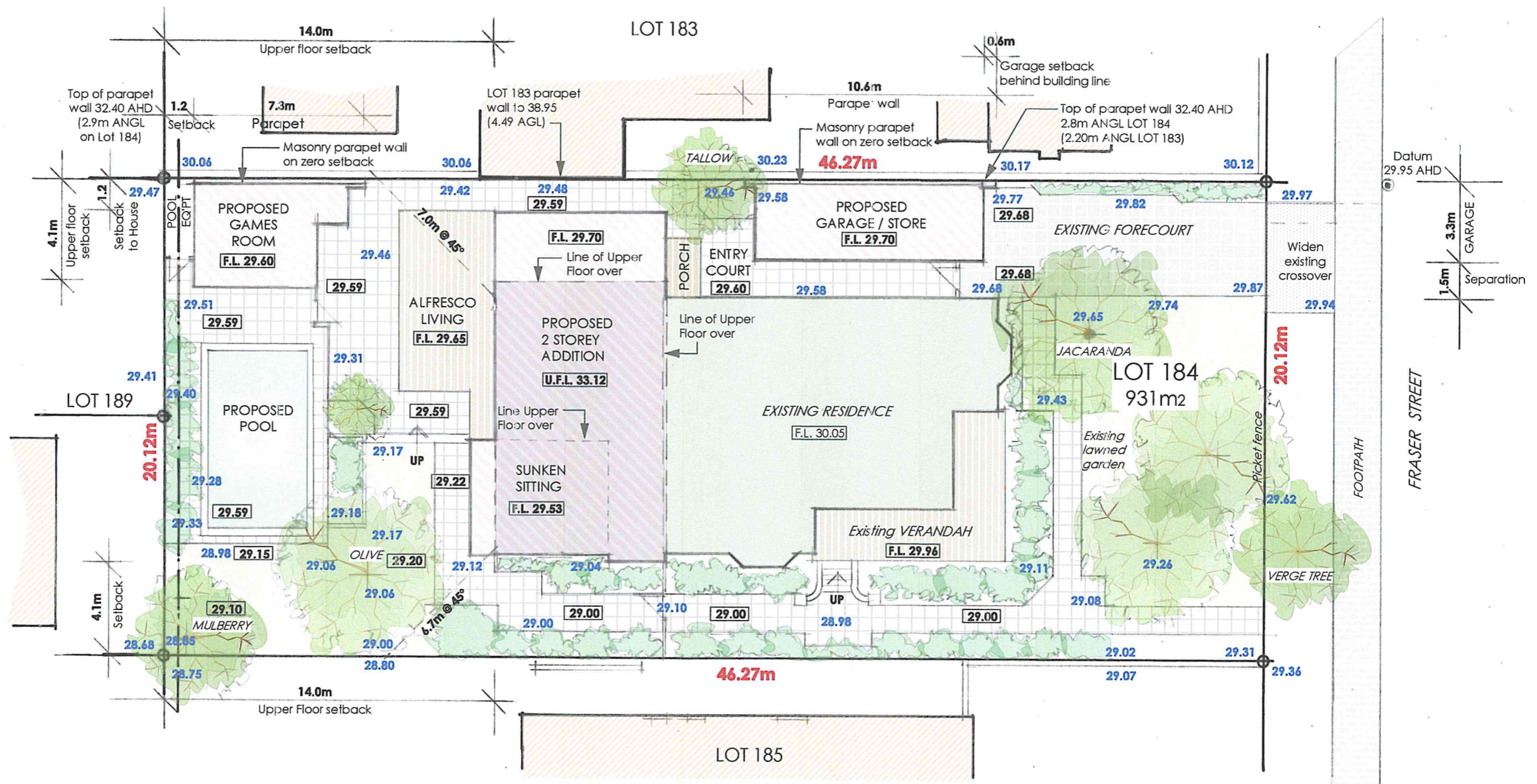


MEASURED DRAWING 1:100
West Elevation



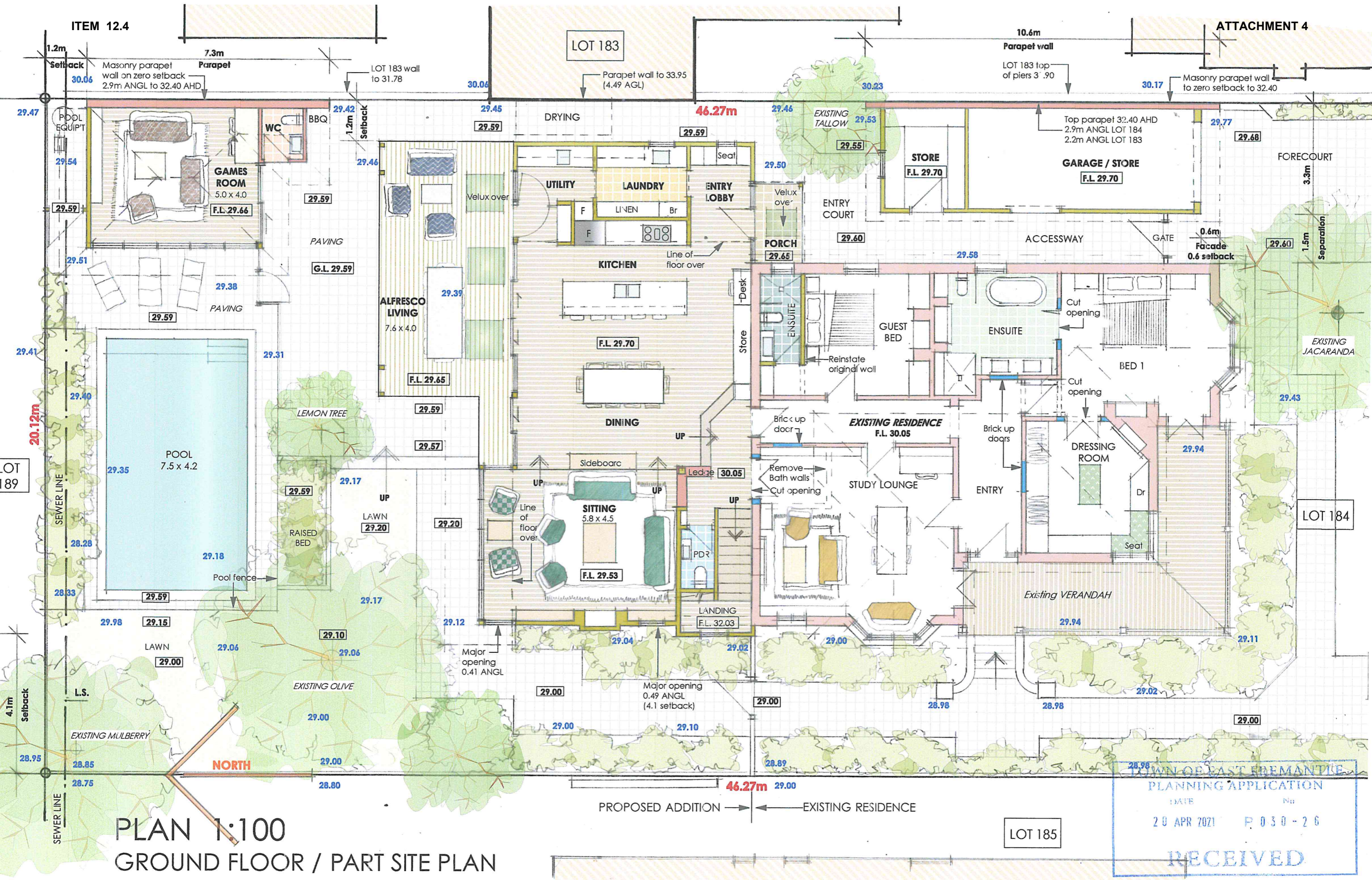
MEASURED DRAWING 1:100
North Elevation

TOWN OF EAST FREMANTLE
 PLANNING APPLICATION
 ATTACHMENT 4
 DATE No
 20 APR 2021 P 030-26
 RECEIVED



SITE PLAN 1:200

LOT 184	931m ²	%
Existing Site Coverage	248	27%
Proposed Site Coverage	358	38%
Existing Open Space	683	73%
Proposed Open Space (Includes Verandah & Alfresco Living)	631	68%



TOWN OF EAST FREMANTLE
 PLANNING APPLICATION
 DATE 20 APR 2021 No P 030-26
RECEIVED

ITEM 12.4

ATTACHMENT 4

LOT 183

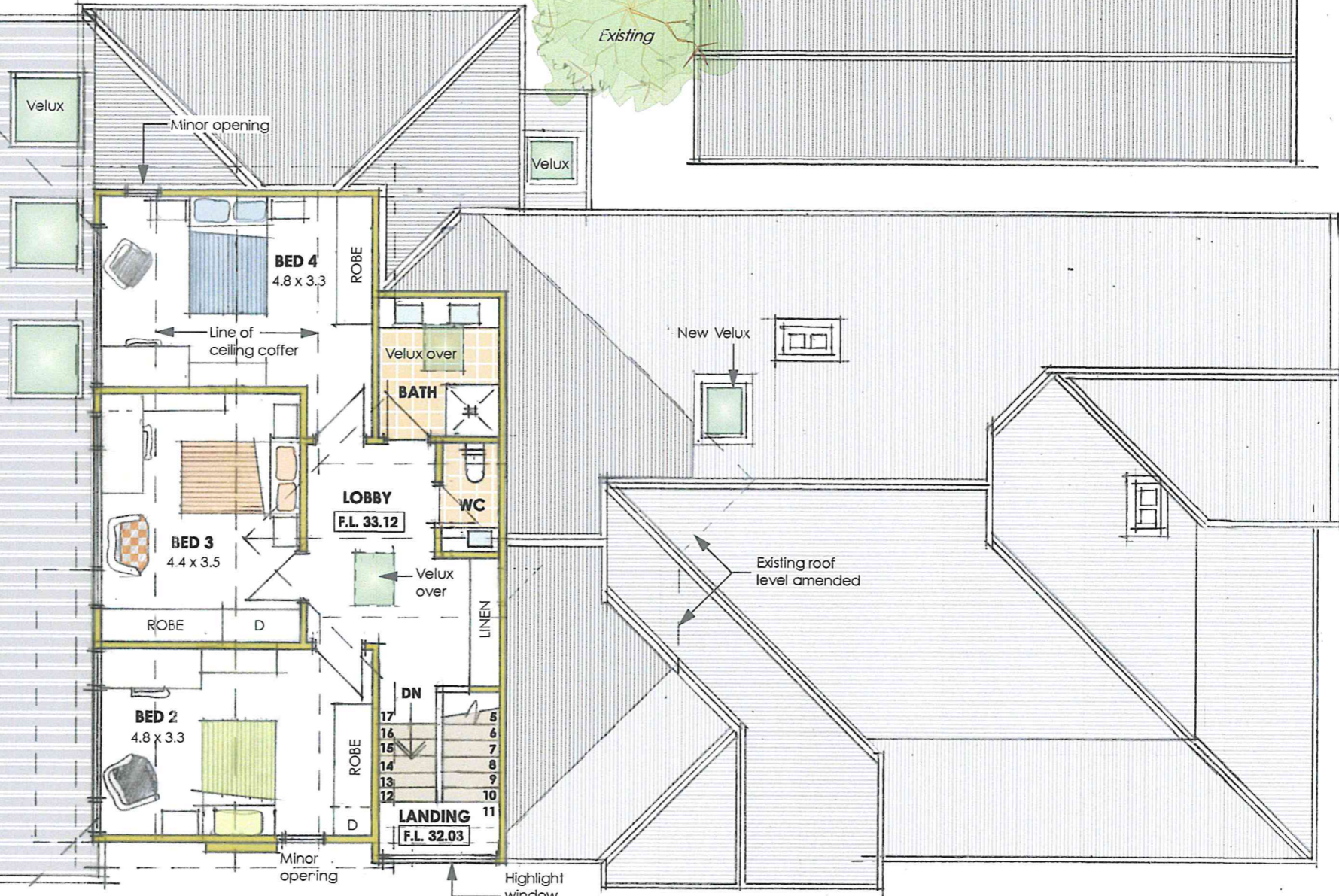
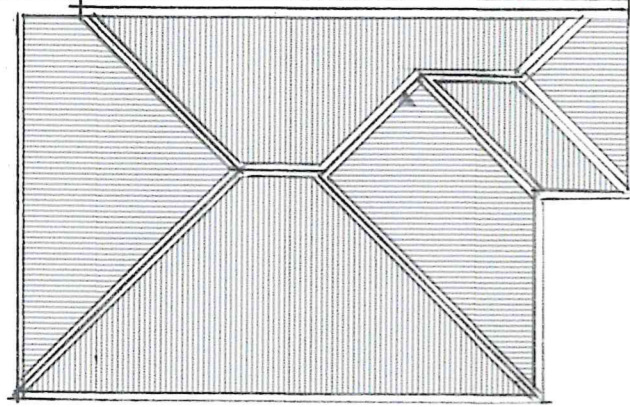
10.6m
Parapet wall

4.49m parapet wall
on zero setback

7.3m
Parapet

4.1m
Setback

7.0m at 45° cone of vision



Existing

Existing

Existing roof
level amended

LOT 184

4.1m
Setback

6.7m at 45° cone of vision

NORTH

14.0m
Setback

LOT 185

Existing screen planting

28.98

29.00

28.98

TOWN OF EAST FREMANTLE
PLANNING APPLICATION
DATE 20 APR 2021 No P 030-26
RECEIVED

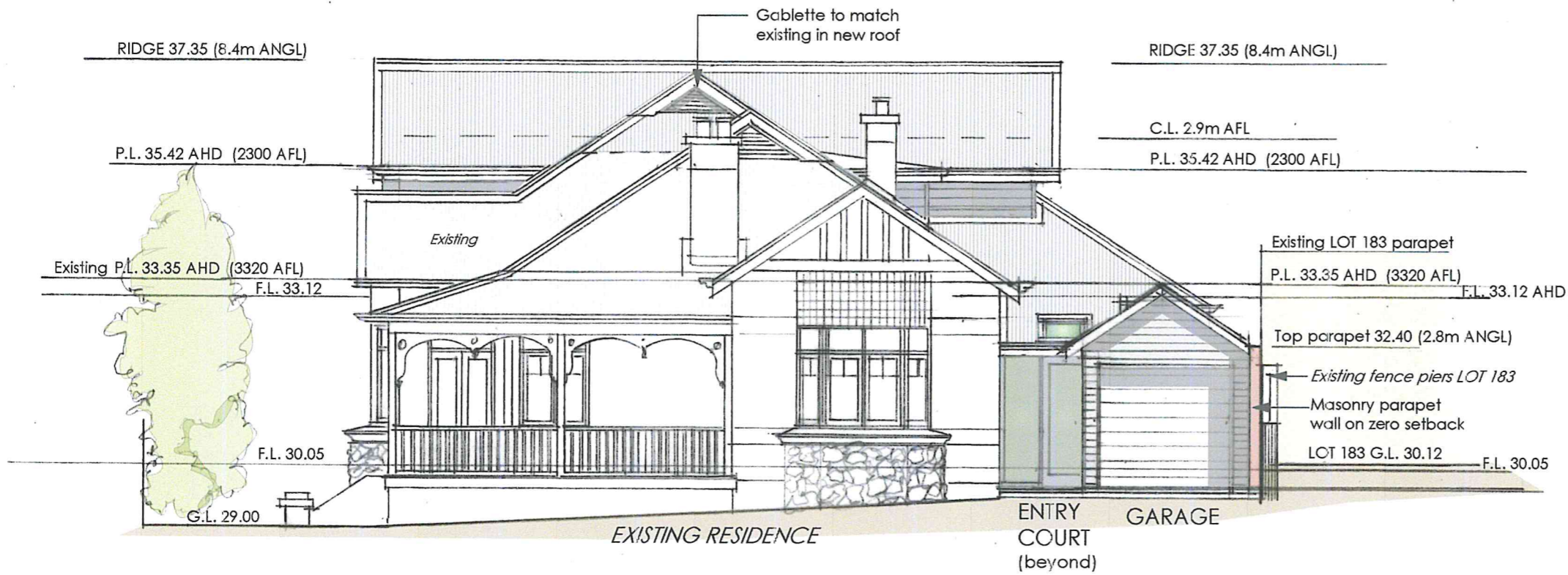
PLAN 1:100
UPPER FLOOR

GERARD McCANN ARCHITECT

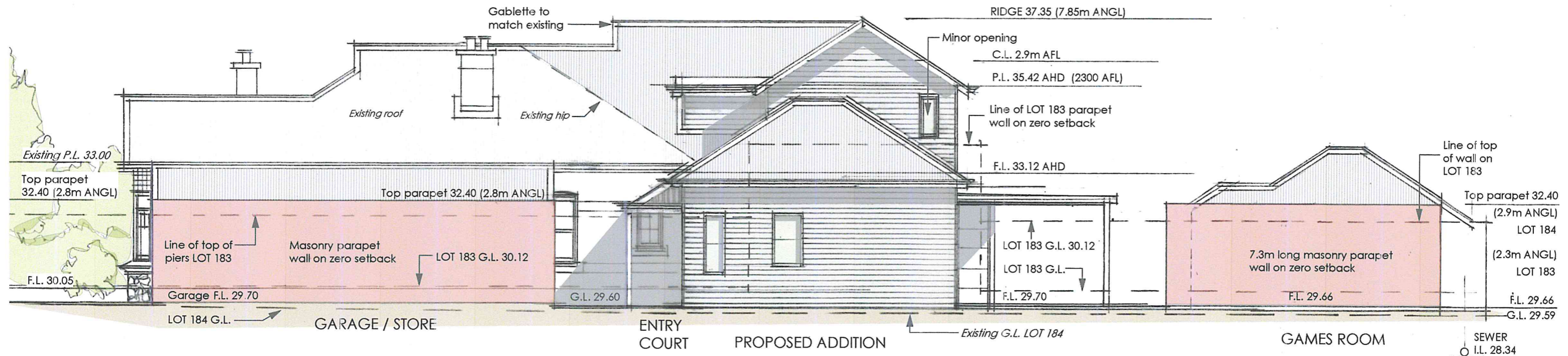
301/21 FREEMAN LOOP NORTH FREMANTLE WA 6159 M: 0419 947 890 E: gmccann@inet.net.au

CELEDIN ADDITIONS & ALTERATIONS TO EXISTING RESIDENCE 7 FRASER STREET EAST FREMANTLE
CLIENT PROJECT LOCATION

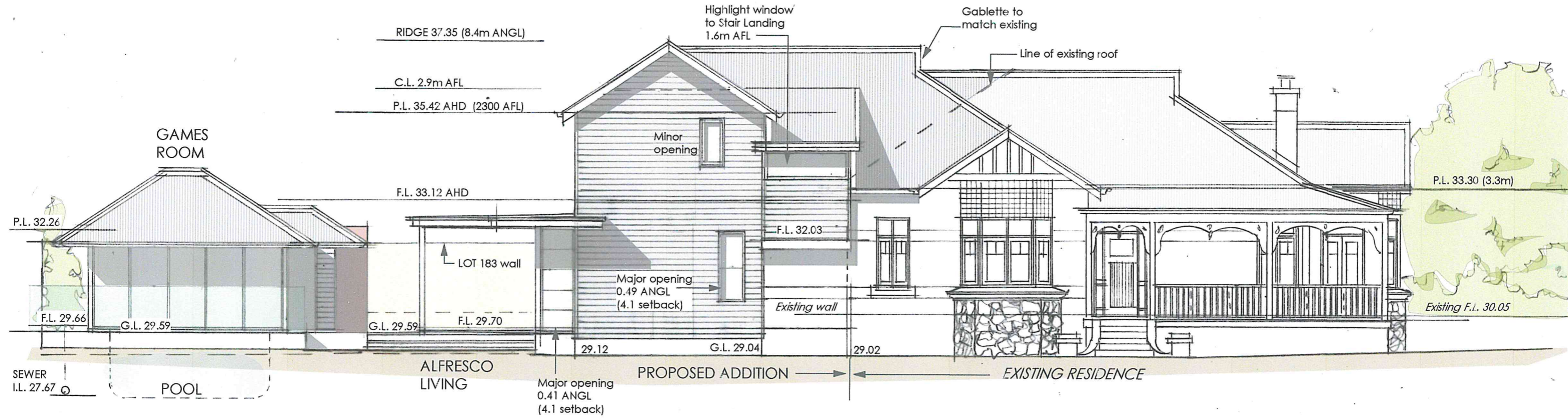
PLAN - UPPER FLOOR SCALE 1:100 @A3
DATE 19 APRIL 2021 DRAWN GMCC
21-735 PA-03



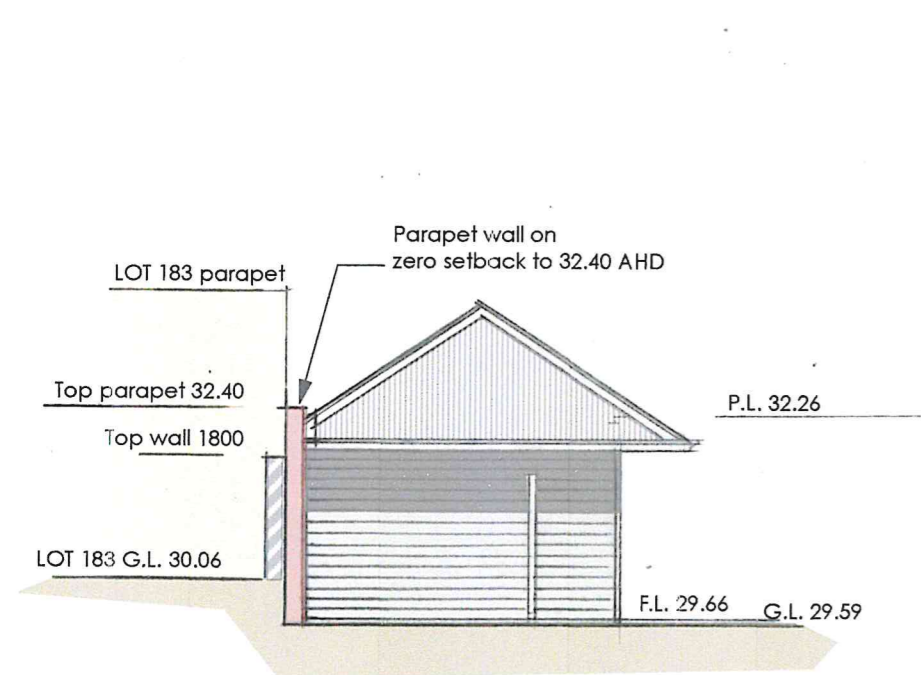
SOUTH 1:100
FRASER ST ELEVATION



EAST 1:100



WEST 1:100



NORTH 1:100
GAMES ROOM



NORTH 1:100
MAIN HOUSE

TOWN OF EAST FREMANTLE
PLANNING APPLICATION
DATE 20 APR 2021 P 0.30 - 26
RECEIVED



Community Engagement Checklist

Development Application P30/21 - 7 Fraser Street

Project Name

Objective of Engagement:	Neighbour Consultation		
Lead Officer:	Regulatory Services		
Timeline:	Start Date:	29/04/2021	Outcomes By: 14/5/2021
Stakeholders			
Stakeholders to be considered. <i>Please highlight those to be targeted during engagement.</i>	Aged	<input type="checkbox"/>	Ratepayers (all / targeted) <input type="checkbox"/>
	Businesses	<input type="checkbox"/>	Residents (all / targeted) <input checked="" type="checkbox"/>
	Children (School / Playgroup)	<input type="checkbox"/>	Service Providers <input type="checkbox"/>
	Community Groups	<input type="checkbox"/>	Unemployed <input type="checkbox"/>
	Disabled People	<input type="checkbox"/>	Visitors <input type="checkbox"/>
	Environmental	<input type="checkbox"/>	Volunteers <input type="checkbox"/>
	Families	<input type="checkbox"/>	Workers <input type="checkbox"/>
	Govt. Bodies	<input type="checkbox"/>	Youth <input type="checkbox"/>
	Indigenous	<input type="checkbox"/>	<input type="checkbox"/>
	Neighbouring LGs	<input type="checkbox"/>	<input type="checkbox"/>
Staff to be notified:	Office of the CEO	<input type="checkbox"/>	Councillors <input type="checkbox"/>
	Corporate Services	<input type="checkbox"/>	Consultant/s <input type="checkbox"/>
	Development Services	<input type="checkbox"/>	<input type="checkbox"/>
	Operations (Parks/Works)	<input type="checkbox"/>	<input type="checkbox"/>
Community Engagement Plan			
Methods	Responsible	Date Due	Reference / Notes
1.1 E News	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.2 Email Notification ~	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
1.3 Website	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.4 Facebook	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.5 Advert - Newspaper	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.6 Fact Sheet	<input type="checkbox"/> Communications		<input type="checkbox"/>
1.7 Media Rel./Interview	<input type="checkbox"/> Communications		<input type="checkbox"/>
2.1 Information Stalls	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
2.2 Public Meeting/Forum	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
2.3 Survey/Questionnaire	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
3.1 Focus Group	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
3.2 Referendum/Ballot	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
3.3 Workshop	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
4.1 Council Committee	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
4.2 Working Group	<input type="checkbox"/> Executive Direction		<input type="checkbox"/>
* Statutory Consultation	<input checked="" type="checkbox"/> Relevant Officer		<input checked="" type="checkbox"/> Advertised to 7 surrounding properties.
# Heritage Consultation	<input type="checkbox"/> Regulatory Services		<input type="checkbox"/>
^ Mail out (note: timeliness)	<input type="checkbox"/> Communications		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>

Evaluation			
Summary of...		Date Due	Complete / Attached
Feedback / Results / Outcomes / Recommendations		14/5/2021	
Outcomes Shared			
Methods	Responsible	Date Due	Complete / Attached
E-Newsletter	<input type="checkbox"/> Communications		<input type="checkbox"/>
Email Notification	<input type="checkbox"/> Relevant Officer		<input type="checkbox"/>
Website	<input type="checkbox"/> Communications		<input type="checkbox"/>
Facebook	<input type="checkbox"/> Communications		<input type="checkbox"/>
Media Release	<input type="checkbox"/> Communications		<input type="checkbox"/>
Advert - Newspaper	<input type="checkbox"/> Communications		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>
	<input type="checkbox"/>		<input type="checkbox"/>
Notes			