

DRAWING LIST

No.	TITLE
A000	COVER SHEET
A010	EXISTING HOUSE PLANS & EAST ELEVATION PLUS DEMOLITION NOTES
A020	ORTHOGONAL STREET PANORAMA OF VIEW TCE (SOUTH) ELEVATION
A025	ORTHOGONAL STREET PANORAMA GORDON ST (EAST) ELEVATION
A030	PROPOSED SITE & ROOF PLAN, SITE DATA, SCHEDULE OF MATERIALS & FINISHES
A110	PROPOSED NEW LEVEL 2 (VIEW TCE)
A115	EXISTING LEVEL 1
A130	EXISTING LEVEL 0 (GORDON ST)
A140	PROPOSED SHADOW DIAGRAM
A200	PROPOSED NORTH (SIDE) ELEVATION
A210	PROPOSED SOUTH (SIDE) ELEVATION ON VIEW TCE
A220	PROPOSED EAST (FRONT) ELEVATION ON GORDON ST
A230	PROPOSED WEST (REAR) ELEVATION
TOTAL DRAWINGS: 13	






SOUTH WEST VIEW OF EXISTING HOUSE CUT INTO LIMESTONE RIDGE

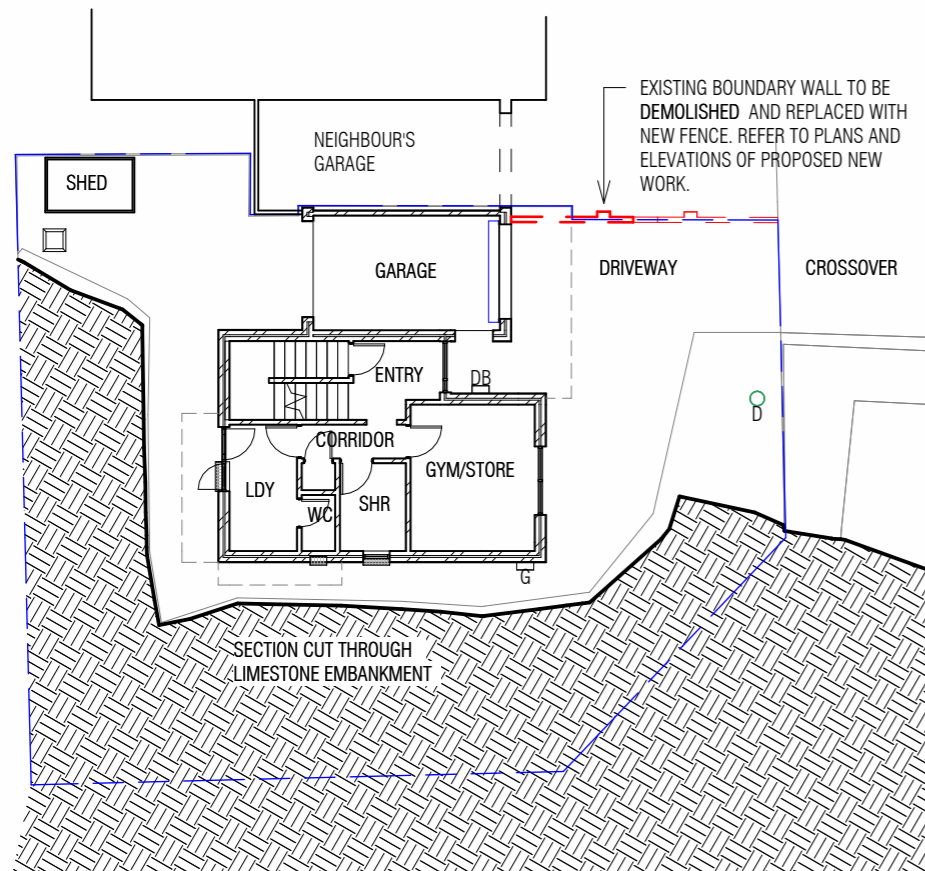


GEN. NOTES

1. ALL LEVELS ARE **AHD**.
2. EXISTING GROUND LEVELS TO REMAIN.
3. **NGL** = NATURAL GROUND LEVEL

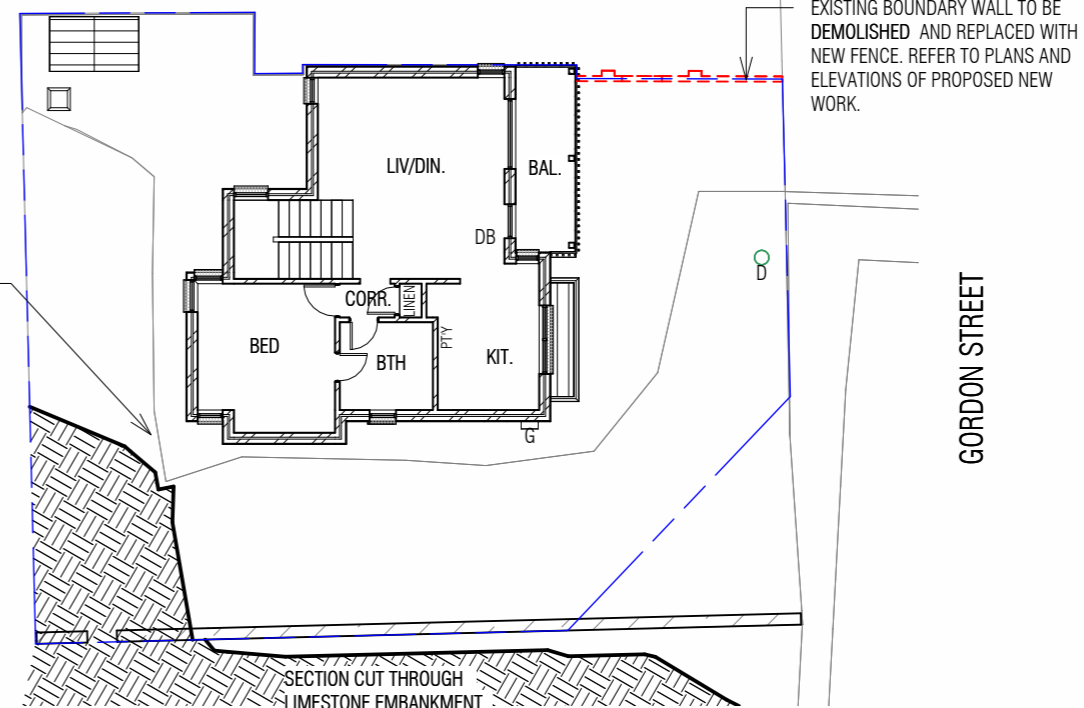
SERVICES LEGEND

-  EXIST. POWERDOME
-  EXIST. ELECTRICAL DISTRIBUTION BOARD & METRE
-  EXIST. GAS METRE



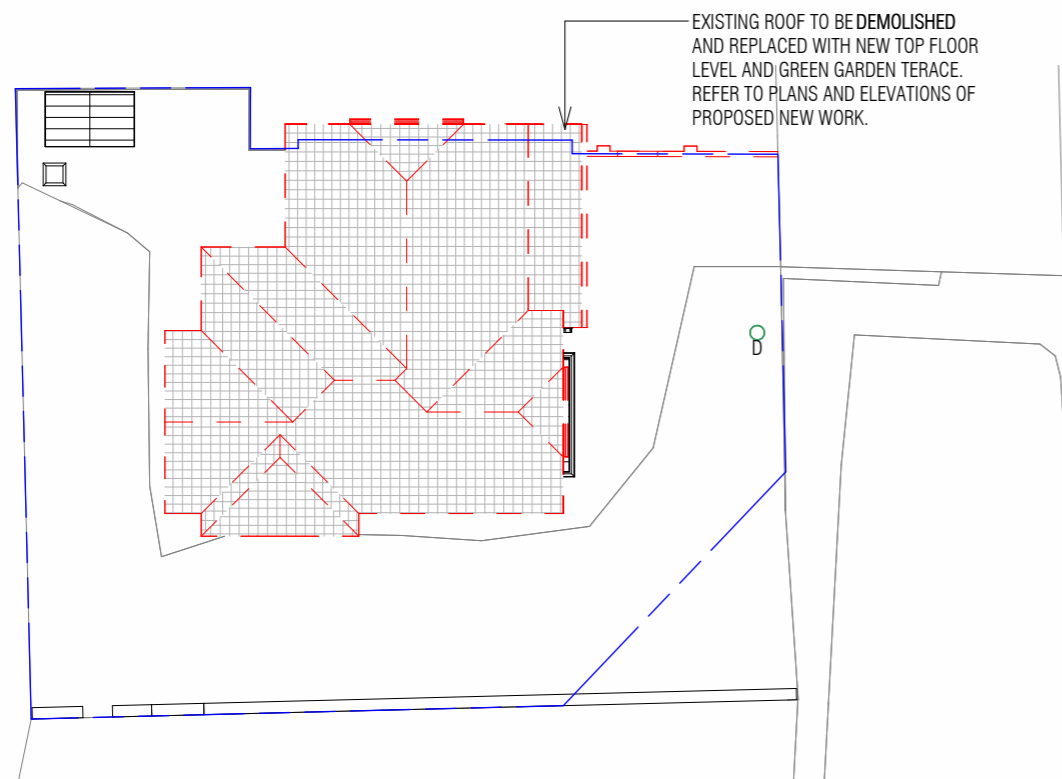
VIEW TCE.

1 EXISTING FLOOR LEVEL ON GORDON ST
A010 1:200

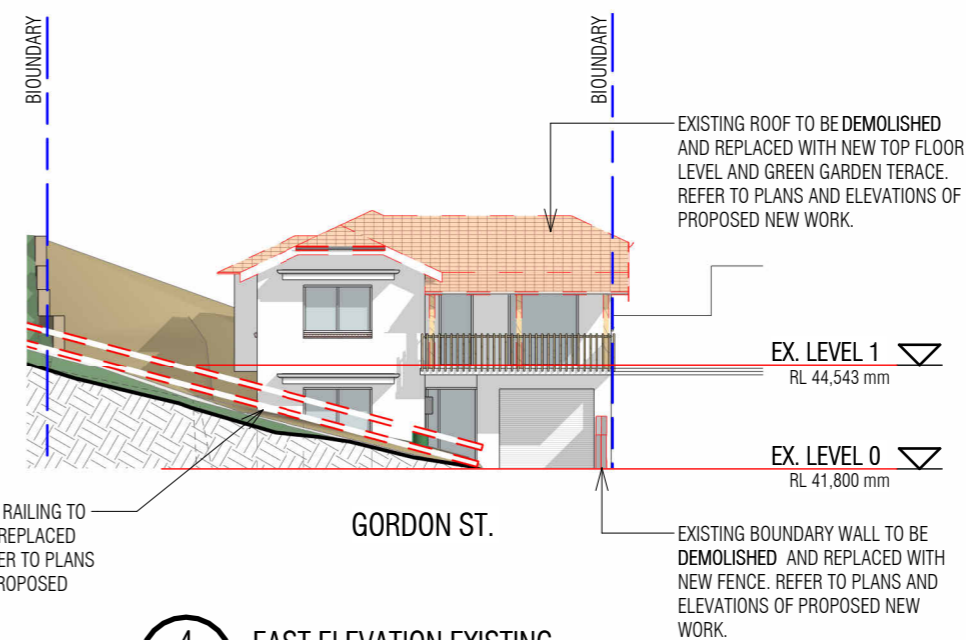


VIEW TCE.

2 EXISTING FLOOR LEVEL ABOVE GORDON ST
A010 1:200



3 EXISTING ROOF PLAN
A010 1:200



4 EAST ELEVATION EXISTING
1:200

28/11/2022 14:05:07

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28/11/2022 14:05:17



STREET MONTAGE OF SIDE (SOUTH) ELEVATION ALONG VIEW TERRACE

A020 A

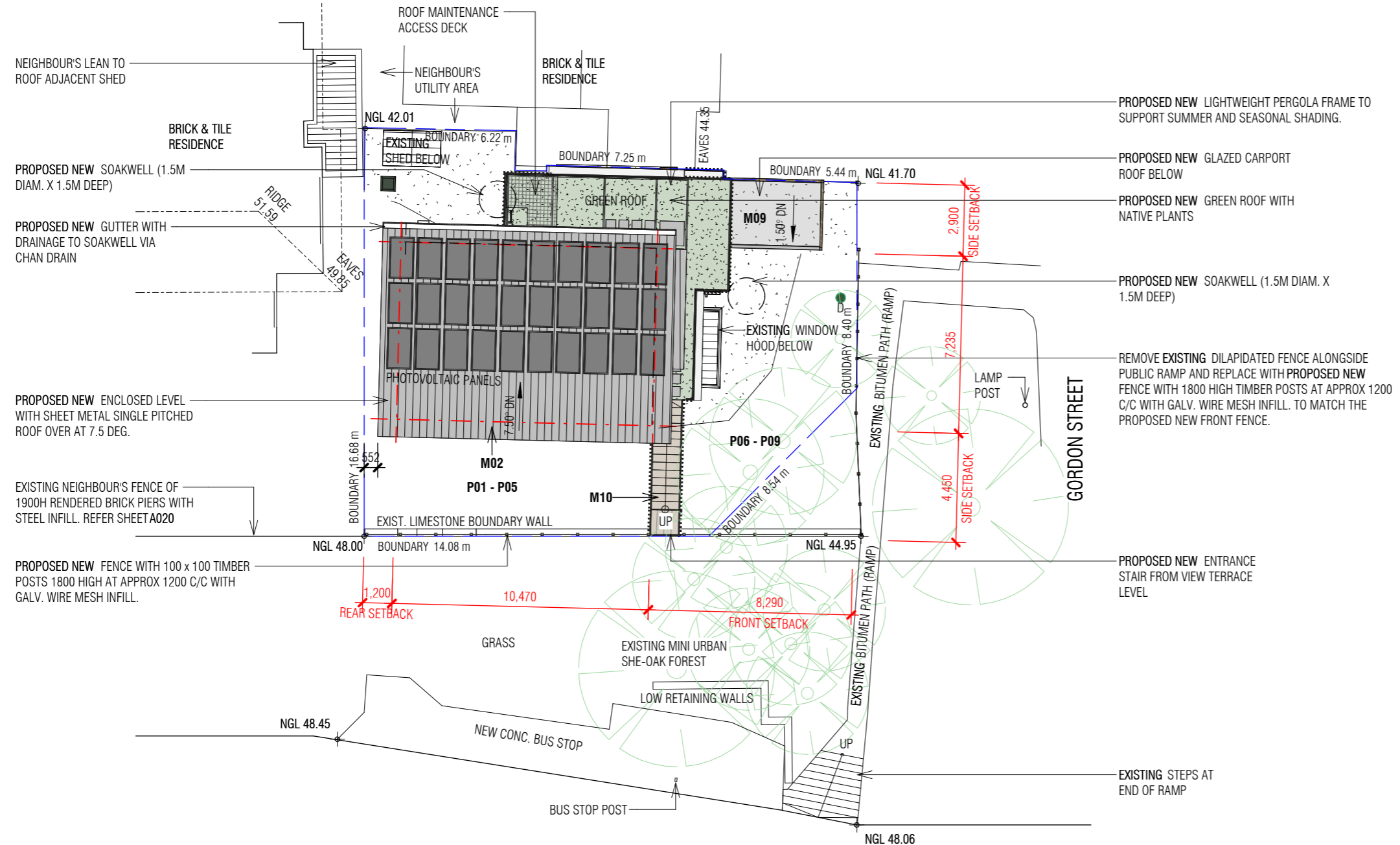
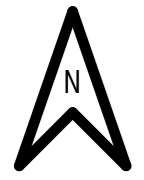
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1 STREET MONTAGE OF EAST (FRONT) ELEVATION ALONG GORDON ST
1 : 200

28/11/2022 14:05:27



LOT 2, 50A VIEW TCE, EAST FREMANTLE

VIEW TCE

1 SITE & ROOF PLAN
1 : 200

FLOOR AREAS

NAME	LEVEL	AREA
EX. LEVEL 0		
CORRIDOR	EX. LEVEL 0	2.45 m ²
ENTRY	EX. LEVEL 0	10.67 m ²
GARAGE	EX. LEVEL 0	14.94 m ²
GYM/STORE	EX. LEVEL 0	12.69 m ²
LDY	EX. LEVEL 0	5.95 m ²
SHED	EX. LEVEL 0	3.05 m ²
SHR	EX. LEVEL 0	4.04 m ²
STORE	EX. LEVEL 0	0.62 m ²
WC	EX. LEVEL 0	1.30 m ²
55.71 m²		
EX. LEVEL 1		
BALC.	EX. LEVEL 1	8.38 m ²
BED 2	EX. LEVEL 1	13.73 m ²
BTH 2	EX. LEVEL 1	5.71 m ²
CORR.	EX. LEVEL 1	1.29 m ²
DINING	EX. LEVEL 1	30.93 m ²
KIT	EX. LEVEL 1	9.49 m ²
69.52 m²		
NEW LEVEL 2		
BED 1	NEW LEVEL 2	16.83 m ²
ENS.	NEW LEVEL 2	4.38 m ²
LIVING RM	NEW LEVEL 2	40.63 m ²
WIR	NEW LEVEL 2	7.08 m ²
68.93 m²		
TOTAL FLOOR AREA		194.16 m²

OPEN SPACE AND RELEVANT SITE DATA

ZONE: RESIDENTIAL R17.5
 LOT: 2
 LOT AREA: 291 sqm

TOTAL PROPOSED OPEN SPACE (SQM) = 209 SQ.M

TOTAL PROPOSED OPEN SPACE (%) = 72%

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SERVICES LEGEND

- EXIST. POWERDOME
- EXIST. ELECTRICAL DISTRIBUTION BOARD & METRE
- EXIST. GAS METRE

NEW MATERIALS & FINISHES

- | No. | MATERIAL / FINISH |
|-----|--|
| M01 | COPPER CLADDING |
| M02 | COLORBOND SURF MIST SHEET METAL ROOF (INSULATION UNDER) |
| M03 | GALVANISED STEEL SHEET CLADDING |
| M04 | TIMBER MULLIONS |
| M05 | RAIL WITH VERTICAL BALUSTERS TO MATCH EXISTING BALCONY BALUSTRADE |
| M06 | GREY POWDERCOATED LIGHT FRAMING TO SUPPORT SUNSHADE CLOTH |
| M07 | 100 X 100 X 1800H TIMBER POSTS AT APPROX. 1200 CENTRES WITH GALVANISED MESH INFILL |
| M08 | DOUBLE GLAZING (TYP.) |
| M09 | GLASS ROOF TO CARPORT |
| M10 | HARD WOOD TIMBER TREADS TO STAIRS |
| M11 | GALVANISED STEEL SHEET CLADDING TO INSULATED STUD REAR WALL |
| M12 | GALVANISED STEEL WINDOW "HOOD" |

NEW PLANT SPECIES - EAST FREMANTLE ENDEMIC GROUND COVERS & SHRUBS FROM APACE, INC. THE BELOW

- | No. | PLANT SPECIES | IMAGE |
|-----|--|-------|
| P01 | Trachymene coerulea (Rottnest Island Daisy) | |
| P02 | Threlkeldia diffusa (Coast Bonefruit) | |
| P03 | Thomasia cognata | |
| P04 | Templetonia retusa (Cockies Tongues) | |
| P05 | Spyridium globulosum (Basket Bush) | |
| P06 | Solanum symonii (Kangaroo Apple) | |
| P07 | Scaevola nitida (Shining Fan Flower) | |
| P08 | Scaevola crassifolia (Thick-leaved fan-flower) | |
| P09 | Rhagodia baccata (Berry Saltbush) | |

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- EXIST. ELECTRICAL DISTRIBUTION BOARD & METRE
- EXIST. GAS METRE
- G

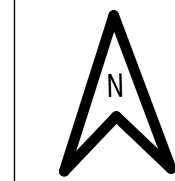
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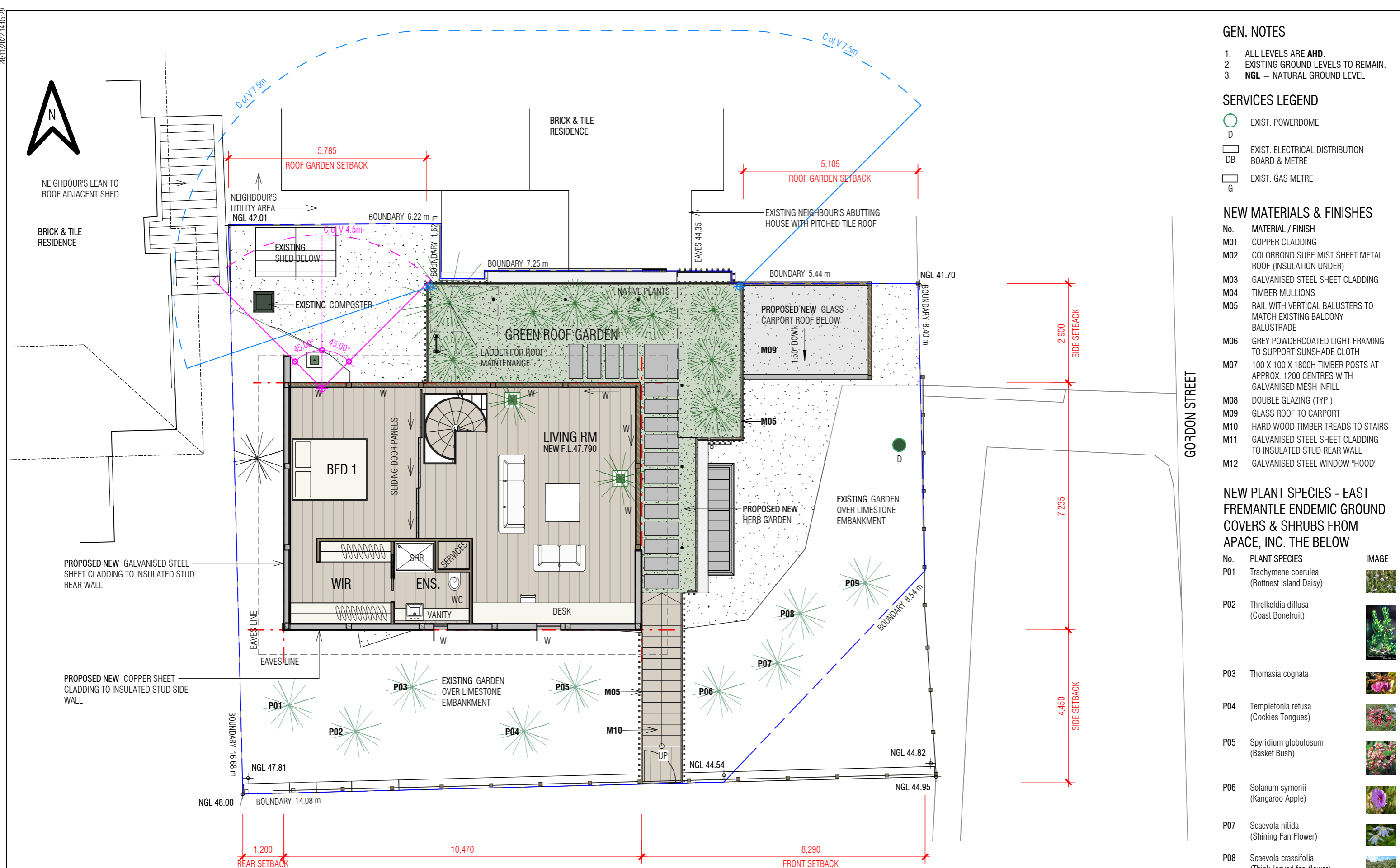
NEIGHBOUR'S LEAN TO ROOF ADJACENT SHED
BRICK & TILE RESIDENCE

BRICK & TILE RESIDENCE

PROPOSED NEW GALVANISED STEEL SHEET CLADDING TO INSULATED STUD REAR WALL

PROPOSED NEW COPPER SHEET CLADDING TO INSULATED STUD SIDE WALL

1 PROPOSED NEW LEVEL 2 (VIEW TCE)
A020 1 : 100



GORDON STREET

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SERVICES LEGEND

- EXIST. POWERDOME
D
- EXIST. ELECTRICAL DISTRIBUTION BOARD & METRE
DB
- EXIST. GAS METRE
G

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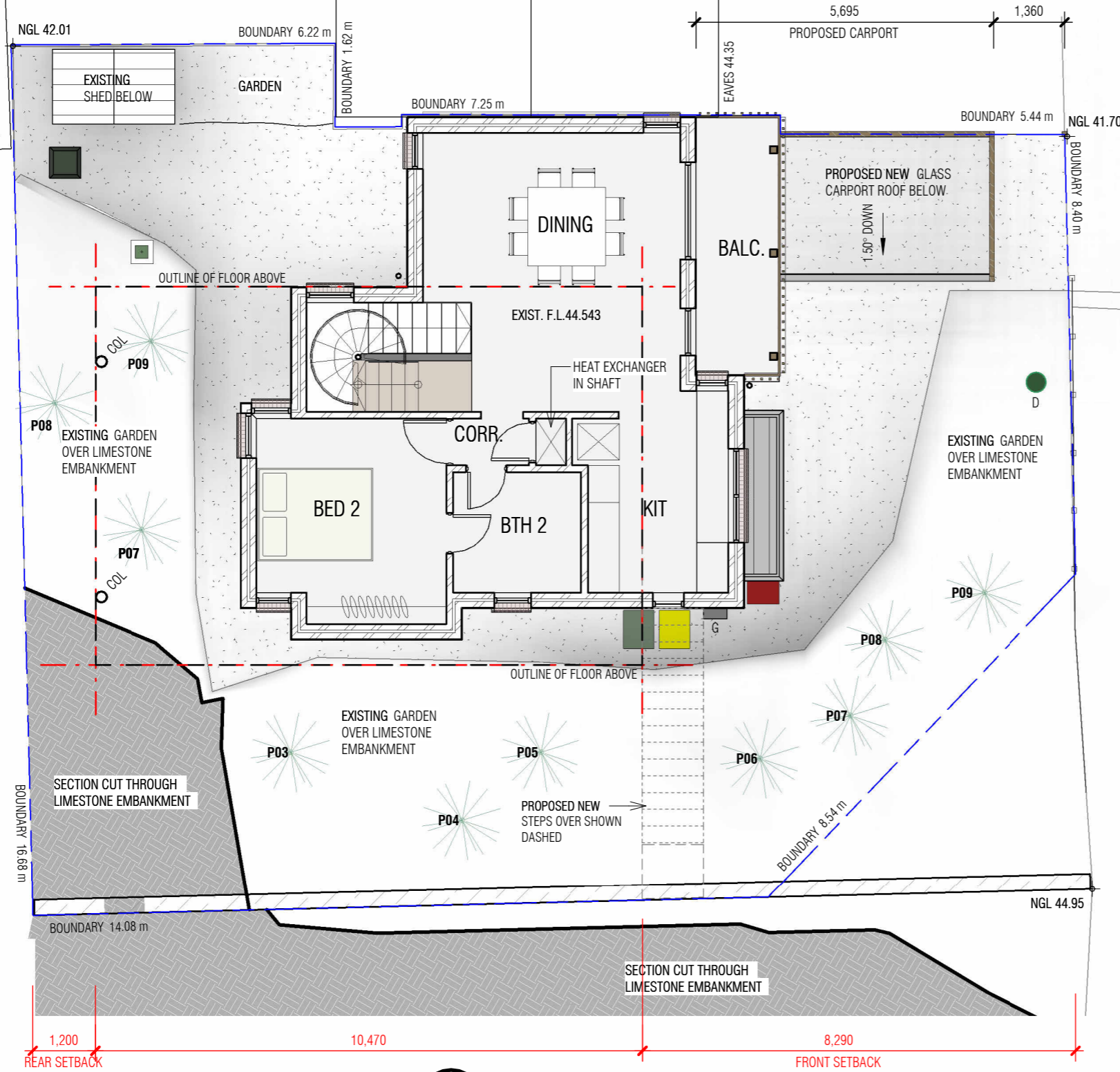
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BRICK & TILE RESIDENCE

BRICK & TILE RESIDENCE



1 EXISTING LEVEL 1
A010 1:100

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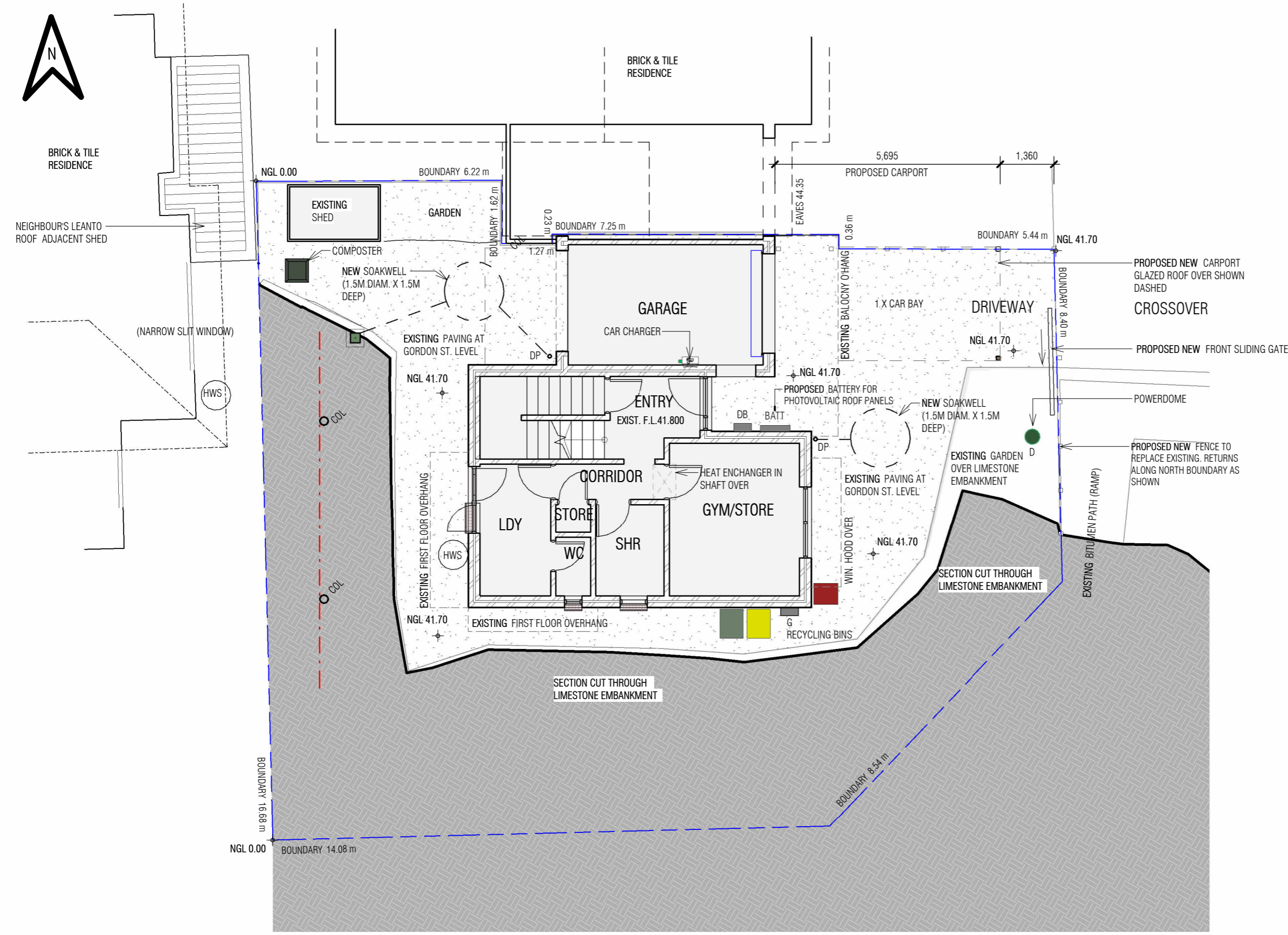
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SERVICES LEGEND

- D EXIST. POWERDOME
- DB EXIST. ELECTRICAL DISTRIBUTION BOARD & METRE
- G EXIST. GAS METRE

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1,200 REAR SETBACK

1 EXISTING LEVEL 0 (GORDON ST)
A010 1:100

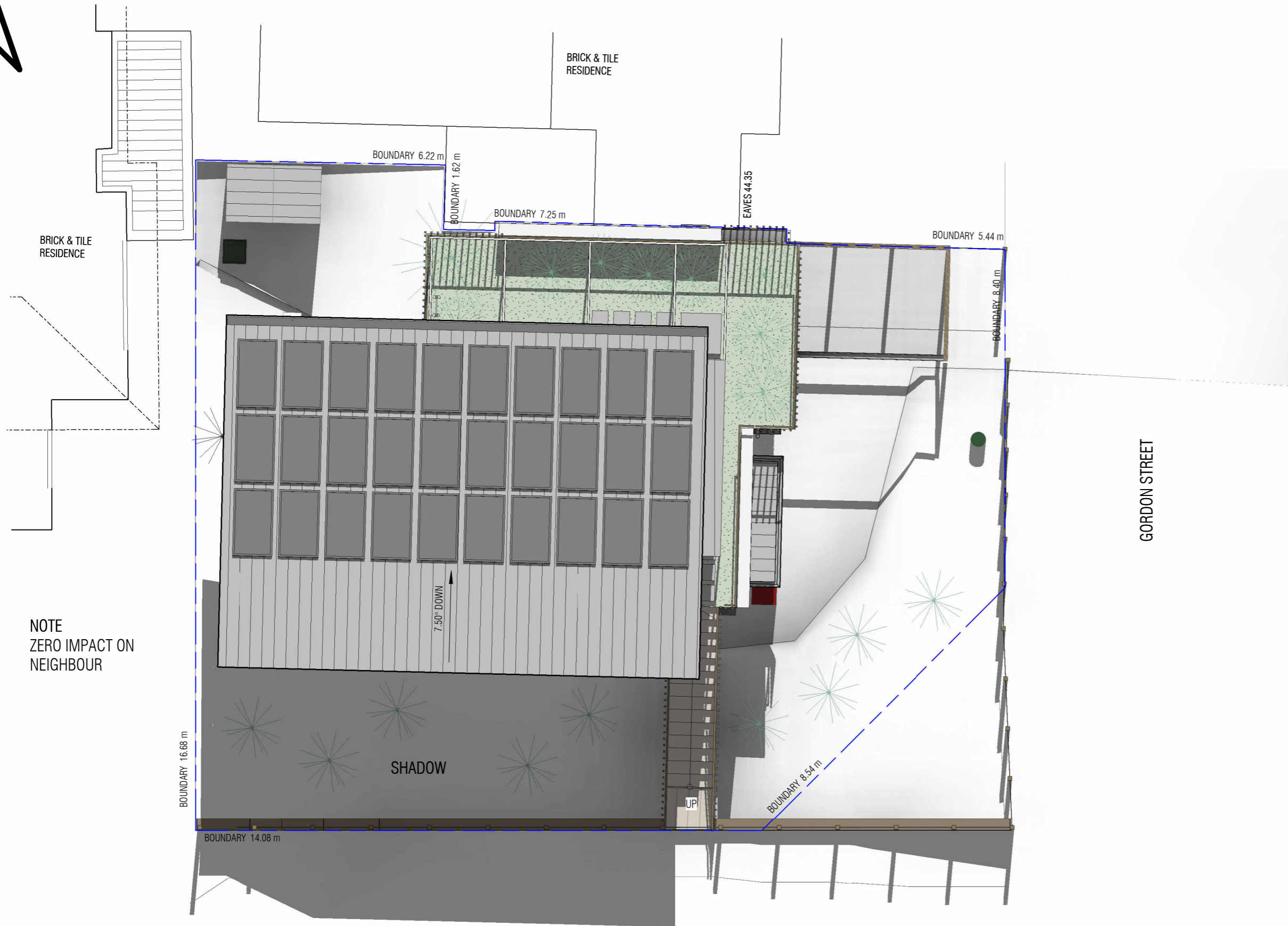


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G



NOTE
ZERO IMPACT ON
NEIGHBOUR

SHADOW

VIEW TCE.

1 PROPOSED SHADOW DIAGRAM
A020 1 : 100

SHADOW STUDY

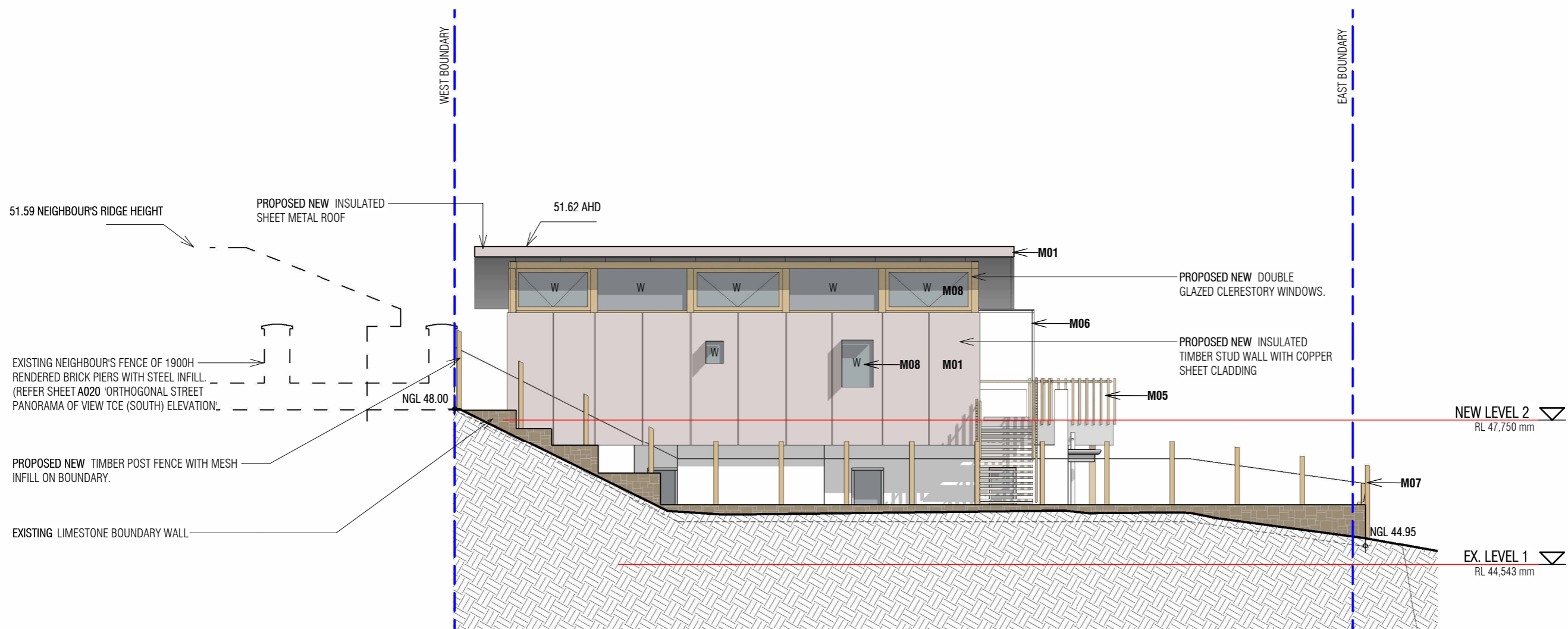
- 1. SHADOW IS CAST ON **21st JUNE AT MIDDAY**.
- 2. RESULTS SHOW SHADOW HAS ZERO IMPACT ON NEIGHBOURING PROPERTIES.

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NEW MATERIALS & FINISHES

- | | |
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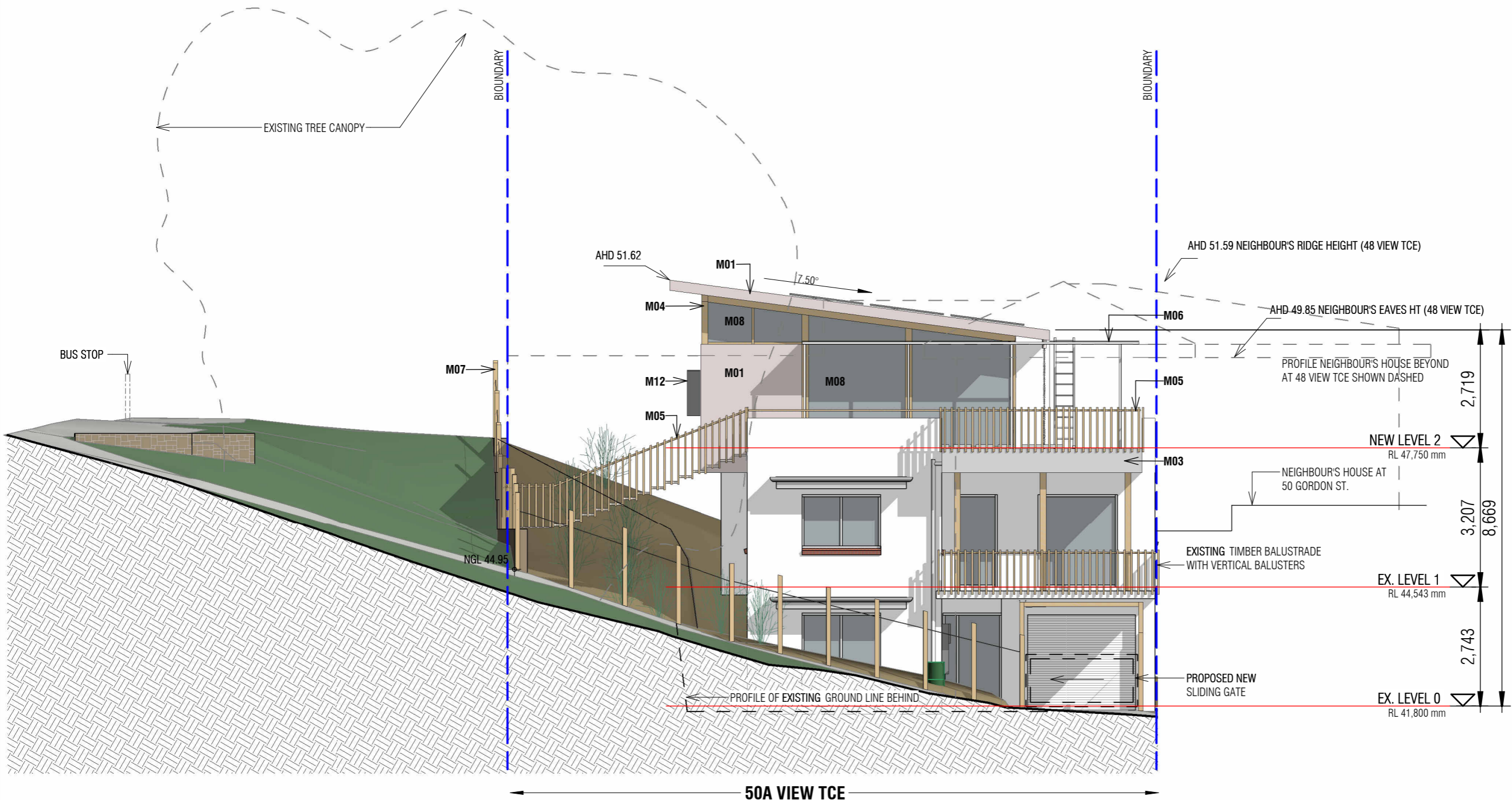
1 PROPOSED SOUTH (SIDE) ELEVATION ON VIEW TCE
1 : 100

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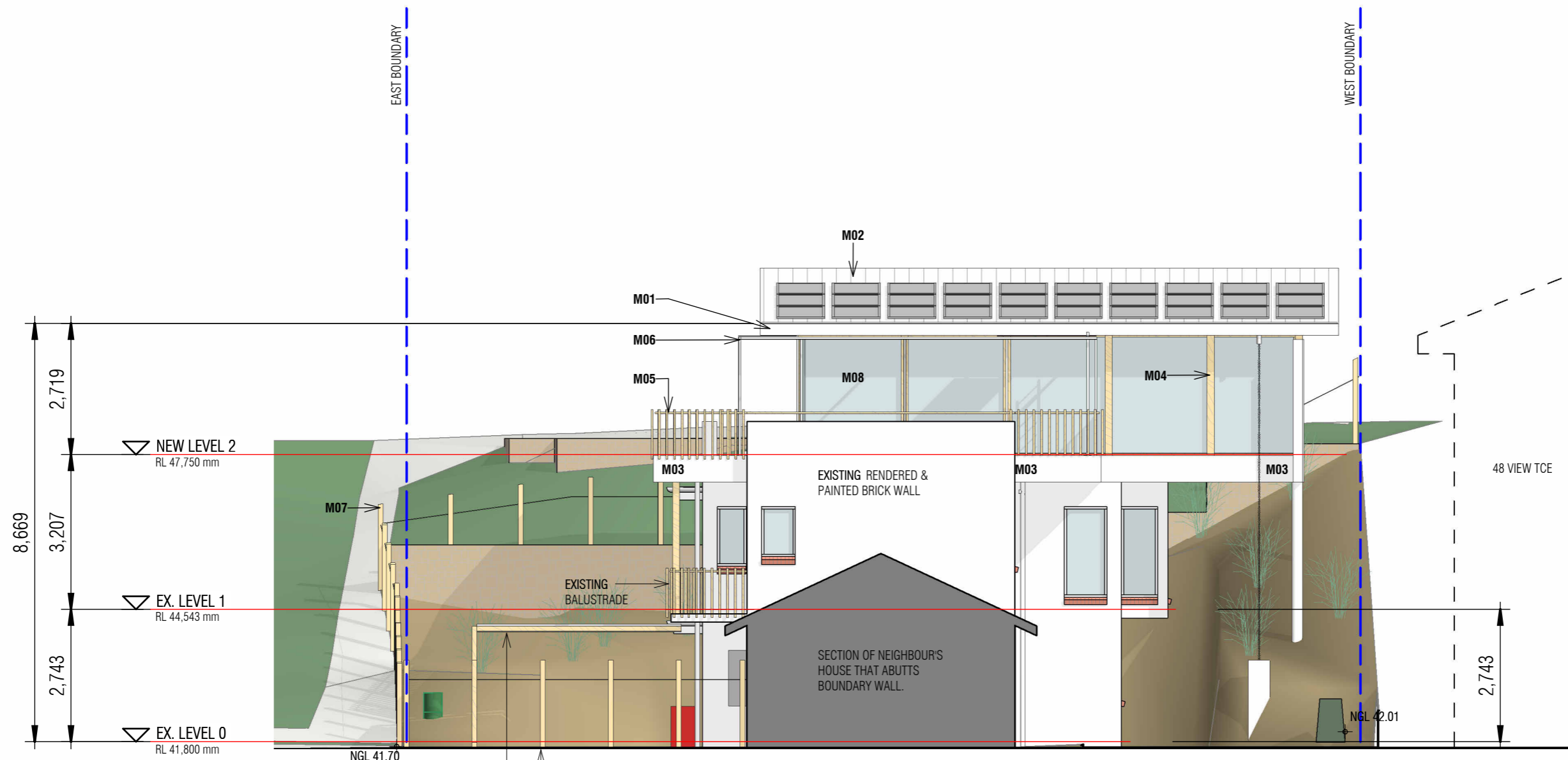
1 PROPOSED EAST (FRONT) ELEVATION ON GORDON ST
1 : 100

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PROPOSED NEW CARPORT WITH GLAZED ROOF
 PROPOSED NEW FENCE TO REPLACE EXISTING DEMOLISHED LOW WALL.

1 PROPOSED NORTH (SIDE) ELEVATION
 1 : 100

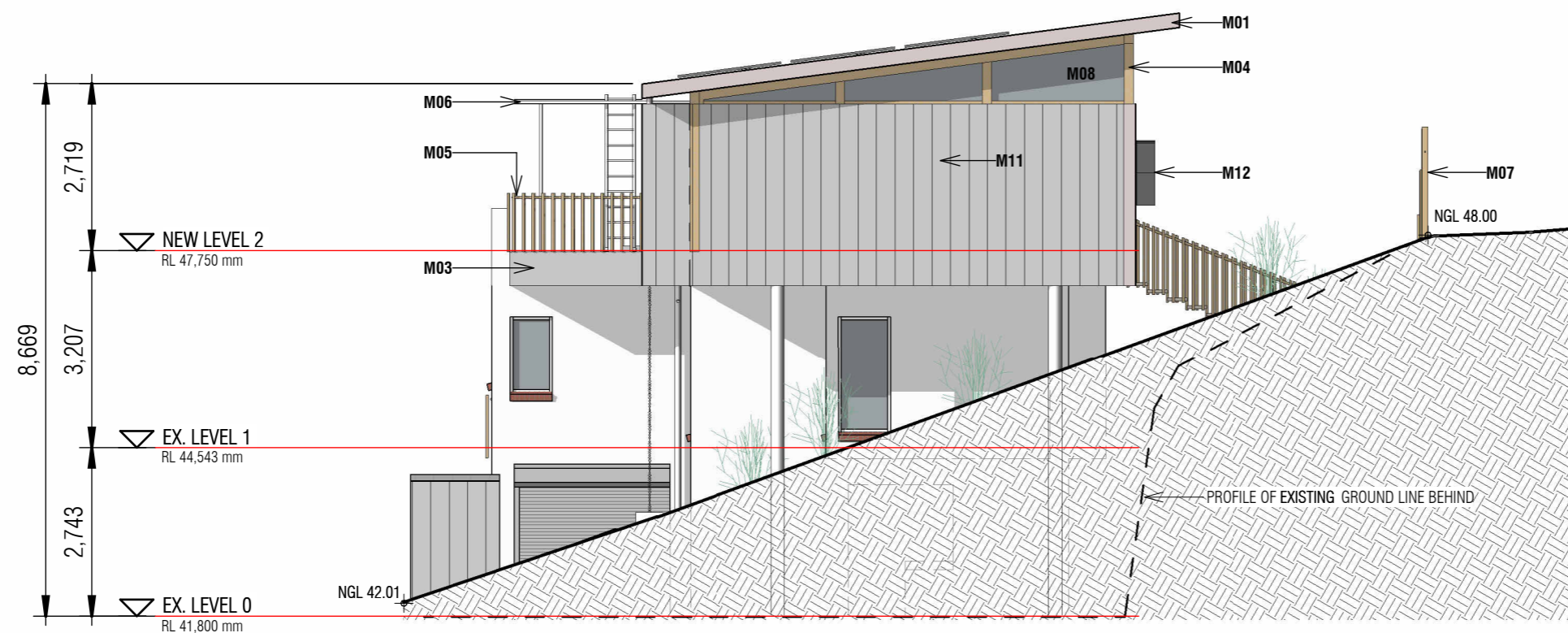
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NEW MATERIALS & FINISHES

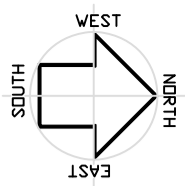
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1 PROPOSED WEST (REAR) ELEVATION
1 : 100

28/11/2022 14:06:07

WARNING!
BOUNDARY RE-ESTABLISHMENT SURVEY
REQUIRED TO CONFIRM LOT BOUNDARY
POSITION AND DIMENSIONS.



LOT 2

291m²

SERVICE INFORMATION

AREA ESTABLISHED
SEWERAGE YES DEPTH
WATER YES PRELAI
ELECTRICAL YES U/G
TELECOM YES
GAS YES
DRAFTED AA SURVEYOR TS

SERVICE LEGEND

SURVEY
* DATUM
oPF PEG FOUND
oPG PEG GONE

SEWERAGE
oSEW SEWER MANHOLE
oIO INSPECTION OPENING
oS INSPECTION SHAFT

WATER
oM WATER METER
oH HYDRANT
oF FLUSH POINT
oV STOP VALVE

ELECTRICAL
oDD POWER DOME/PILLAR
oP POWER POLE
oL LAMP POST
oC CONSUMER POLE
oA STAY WIRE ANCHOR

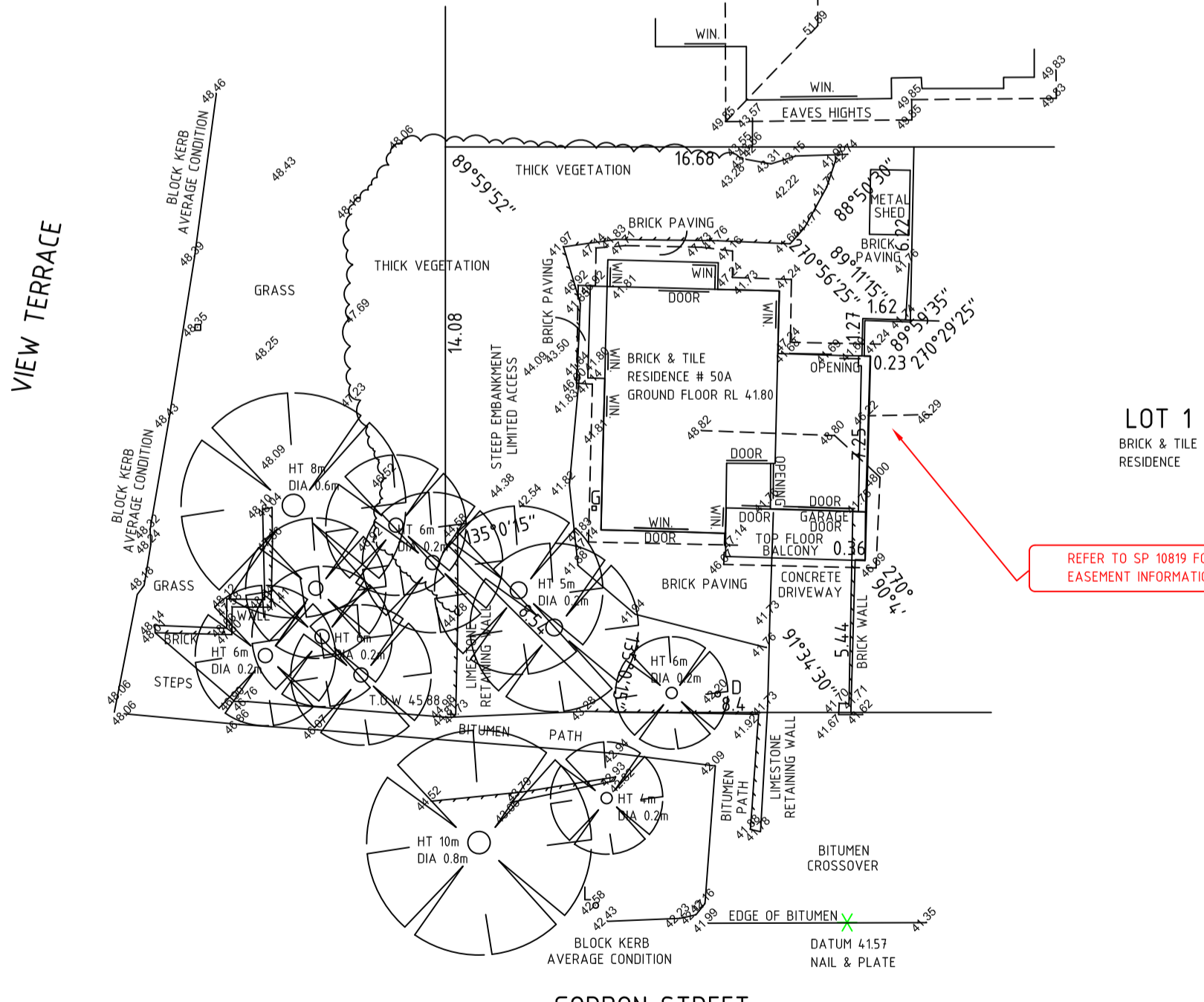
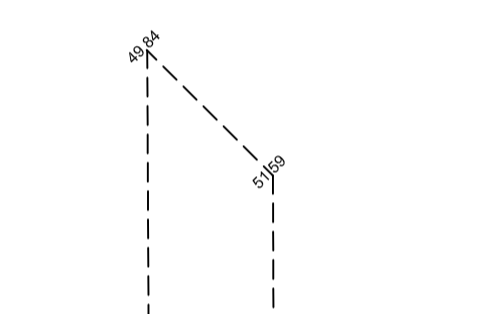
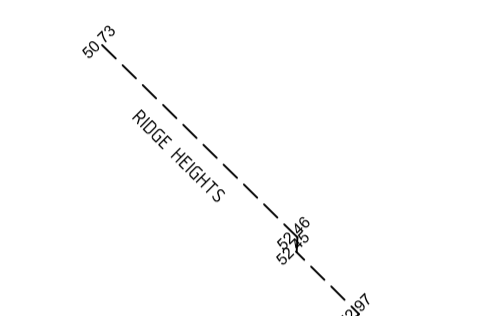
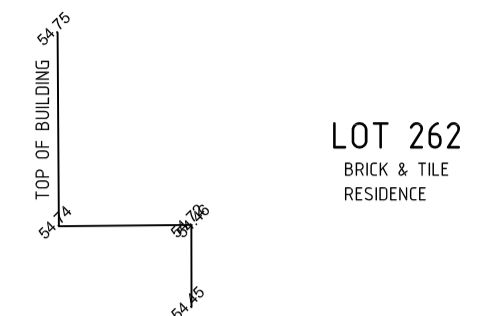
STORMWATER
oSM STORMWATER MANHOLE
oGR GRATE
oSEP SIDE ENTRY PIT

GAS
oG GAS METER
oS SERVICE VALVE

TELECOM
oT COMMUNICATION PIT

SEWER CONNECTION POSITION

UNABLE TO CALCULATE
SEWER CONNECTION DEPTH
AT TIME OF SURVEY



— GROUND FLOOR DOOR/WIN.
— FIRST FLOOR DOOR/WIN.

CLIENT: ROBERT DE BONI	
ADDRESS: LOT 2 (#50A) VIEW TERRACE, EAST FREMANTLE	
PLAN: SP10819	CITY OF FREMANTLE
DATE: 24/05/2022	JOB REFERENCE: View Tce 50a
H. Grid : LOCAL V. Datum : AHD	Local level : A.H.D. level : 38.35
A.H.D. value SEWER M/H Distance derived from : 2344 from Datum : 39.39m	
VERSION	DATE
	DESCRIPTION
	APPROVED BY

DEVELOPED

TOWN PLANNING | SURVEYING | PROPERTY
A| 315 ROKEBY ROAD, SUBIACO WA 6008
P| (08) 6119 9175
E| projects@dvlpd.com.au
W| www.developedproperty.com.au

IMPORTANT NOTES:

- The information on this drawing is current at the date of survey.
- All services are to be confirmed with relevant authorities.
- This includes without limitation: Sewerage / Water / Drainage / Electrical / Gas & Communications
- Further Limitations / Interests / Encumbrances / Notifications may be listed on the Certificate of Title.
- Original lot dimensions taken from Landgate Survey Plans.
- Boundary Re-establishment Survey required to confirm lot boundary position and dimensions.
- The sole purpose of this plan is for presentation to WAPC for process of application for subdivision to produce a conditional approval.
- Developed Surveys does not accept liability for loss or damage to any person or corporation who may rely on this plan for any purpose.
- Permission is required from Developed Surveys for the reproduction or copying of this plan.

Scale: 1:200 at A2