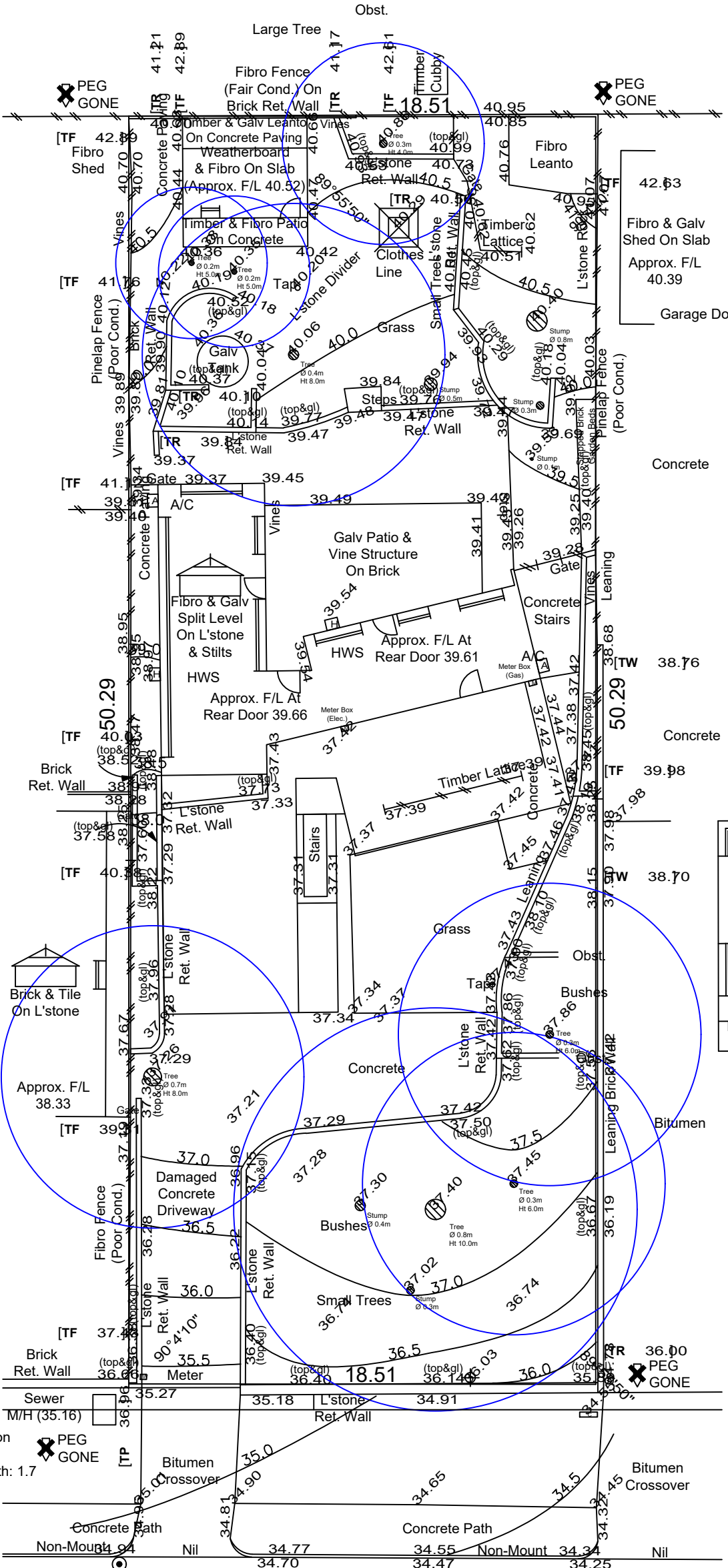
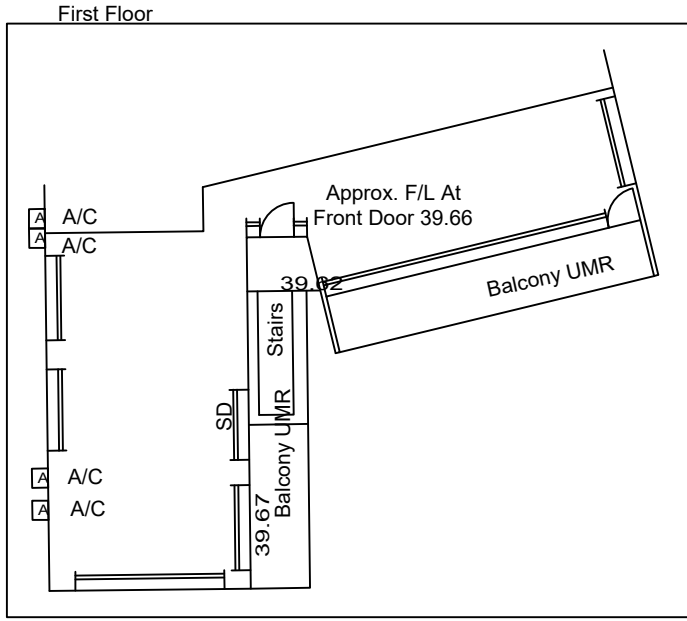


☉	Power Dome
⊙	Power Pole
⊕	Phone Pits
⊖	Water Conn.
TP	10.00 Top Pillar/Post
TW	10.00 Top Wall
TR	10.00 Top Retaining
TF	10.00 Top Fence



**LOT MISCLOSE**  
0.000 m

**DISCLAIMER:**  
Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires approval from designer/architect before any plans are produced and before any work is started on site.

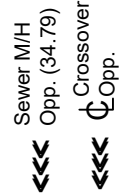
**DISCLAIMER:**  
Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

**DISCLAIMER:**  
Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

**DISCLAIMER:**  
Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

**DISCLAIMER:**  
Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation.

Sewer Junction  
Up: 0.8  
Inv: 32.5 Depth: 1.7  
NOTE: UP



Ref Nail At Base Of Kerb Approx. A.H.D. level 34.87 m  
(Established from S.S.M. MWS 781 using data supplied by the Geodetic Section of Landgate)

**Fraser Street**  
Bitumen



87-89 Guthrie Street  
Osborne Park, WA 6017  
PO Box 1611  
Osborne Park  
Business Centre WA 6917  
P: (08) 9446 7361  
E: perth@cottage.com.au  
W: www.cottage.com.au

**JOB #** 526776  
**CLIENT** Dutry, Martin  
**ADDRESS** #26 Fraser Street  
**SUBURB** East Fremantle  
**LGA** TOWN OF EAST FREMANTLE  
**AREA** 931m<sup>2</sup>  
**DRAWN** B. Smith

**GPS** Lat: -32.035123 Long: 115.76789  
**LOT** Lot 17 (Diag. 19101)  
**AREA** 931m<sup>2</sup>  
**VOL.** 1182  
**FOL.** 92  
**DATE** 07 Jun 22  
**SSA** No

**ROADS** Bitumen  
**KERBS** Non-Mount / Nil  
**FOOTPATH** Concrete  
**SOIL** Sand  
**DRAINAGE** Good  
**VEGETATION** Light Grass Cover

**ELEC.** U/Ground  
**COMMS.** Yes  
**WATER** Yes  
**GAS** Check Alinta  
**SEWER** Yes  
**COASTAL** 500m To River (Approximate Only Confirm With Shire)

# Proposed extension

26 Fraser street  
East Fremantle WA 6158

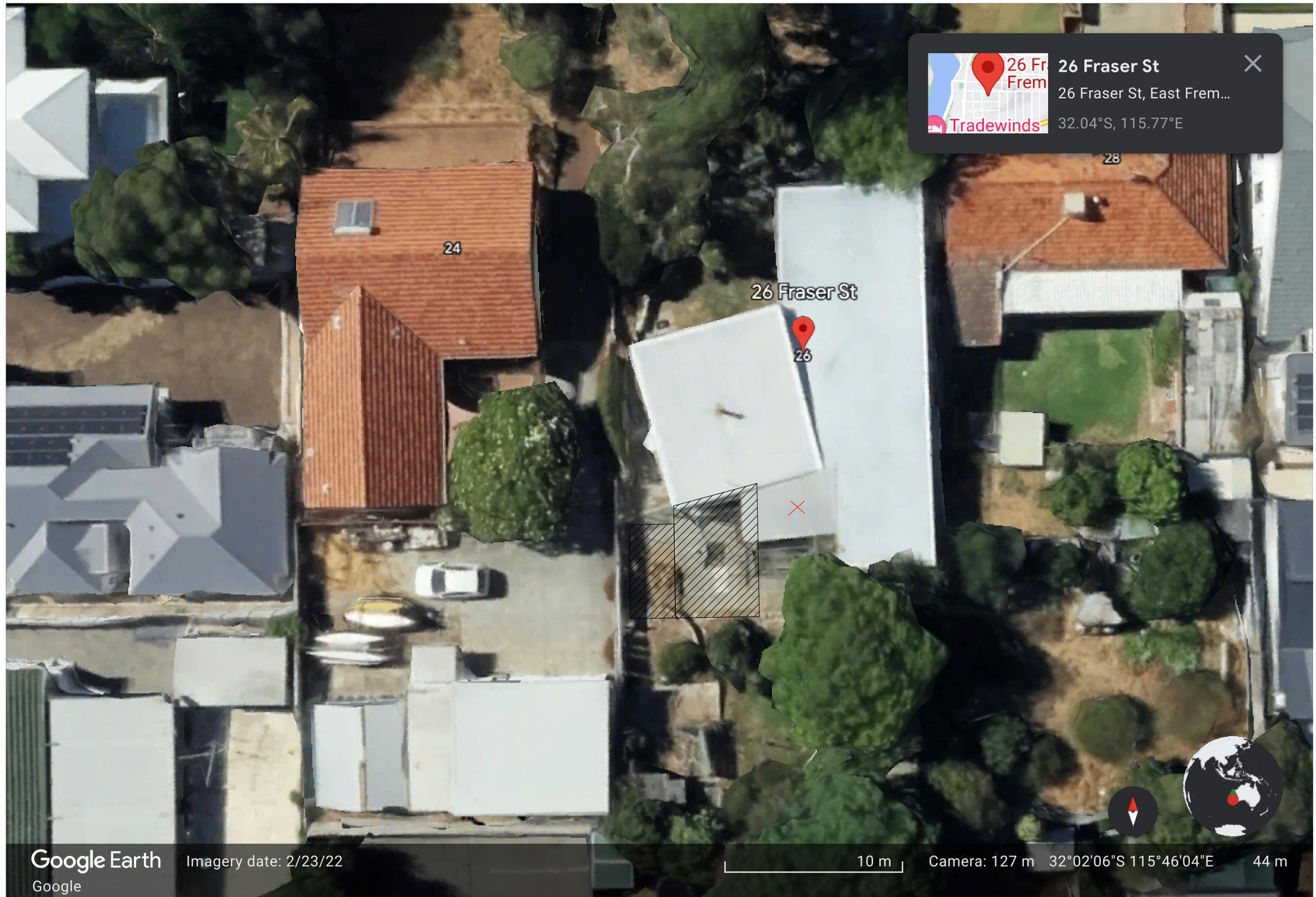
26 Fraser Street  
East Fremantle WA 6158 - Lot 17 on Diagram 19101

Drawing:  
Proposed extension

Date: 24.08.2023

**A.00**

Rev: A



<https://earth.google.com/web/search/26+Fraser+street,+east+fremantle+wa/@-32.03509942,115.76783226,44.11842952a,83.05655067d,35y,1.62817614h,0.36225053t,-0r/data=Co4BGmQsXgolMHgyYTMMyYTNINj...> 1/1

26 Fraser Street  
East Fremantle WA 6158 - Lot 17 on Diagram 19101

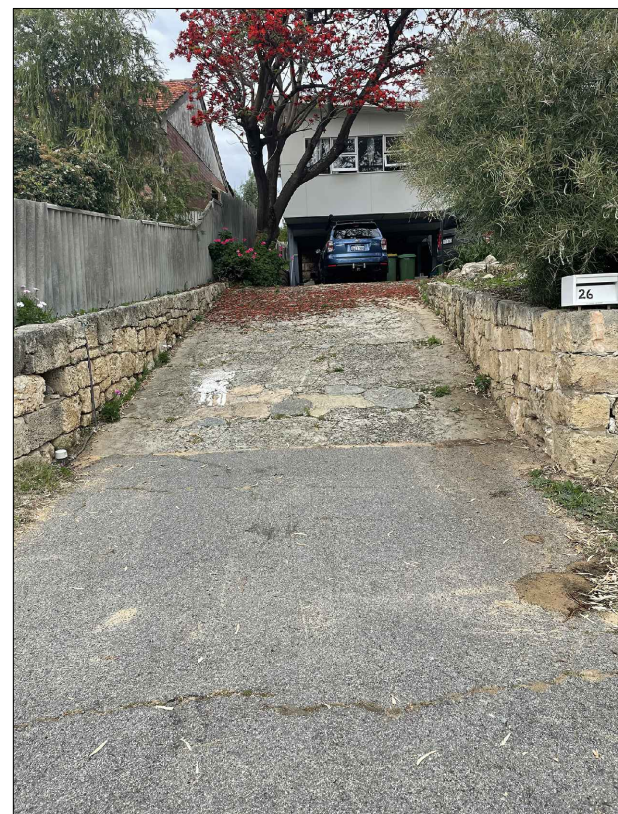
Drawing:  
Proposed extension

# A.01

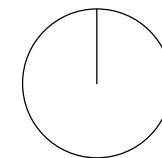
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Date: 24.08.2023

Rev: B



NORTH



26 Fraser Street  
 East Fremantle WA 6158 - Lot 17 on Diagram 19101

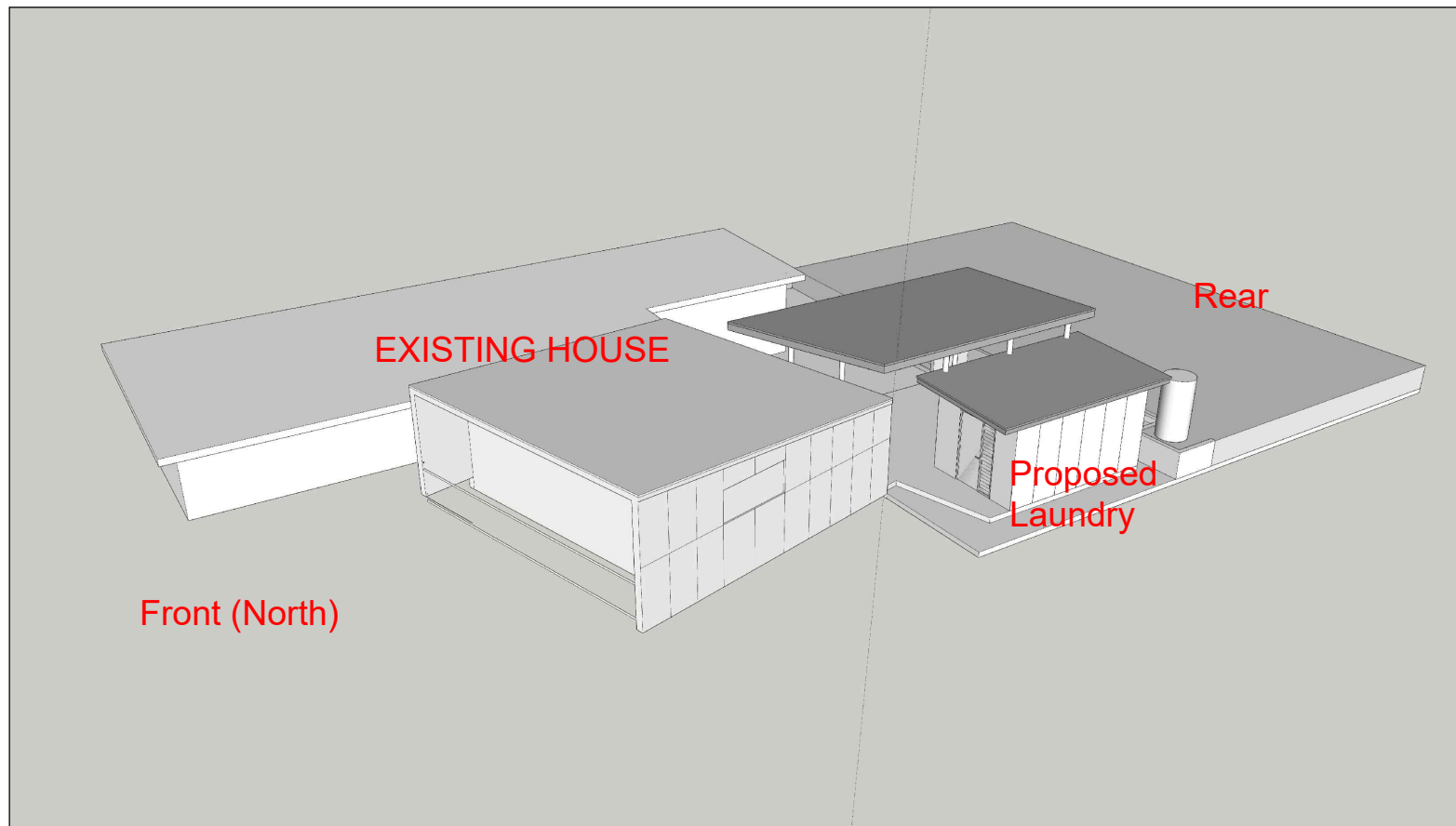
Drawing:  
 Existing photos

**A.02**

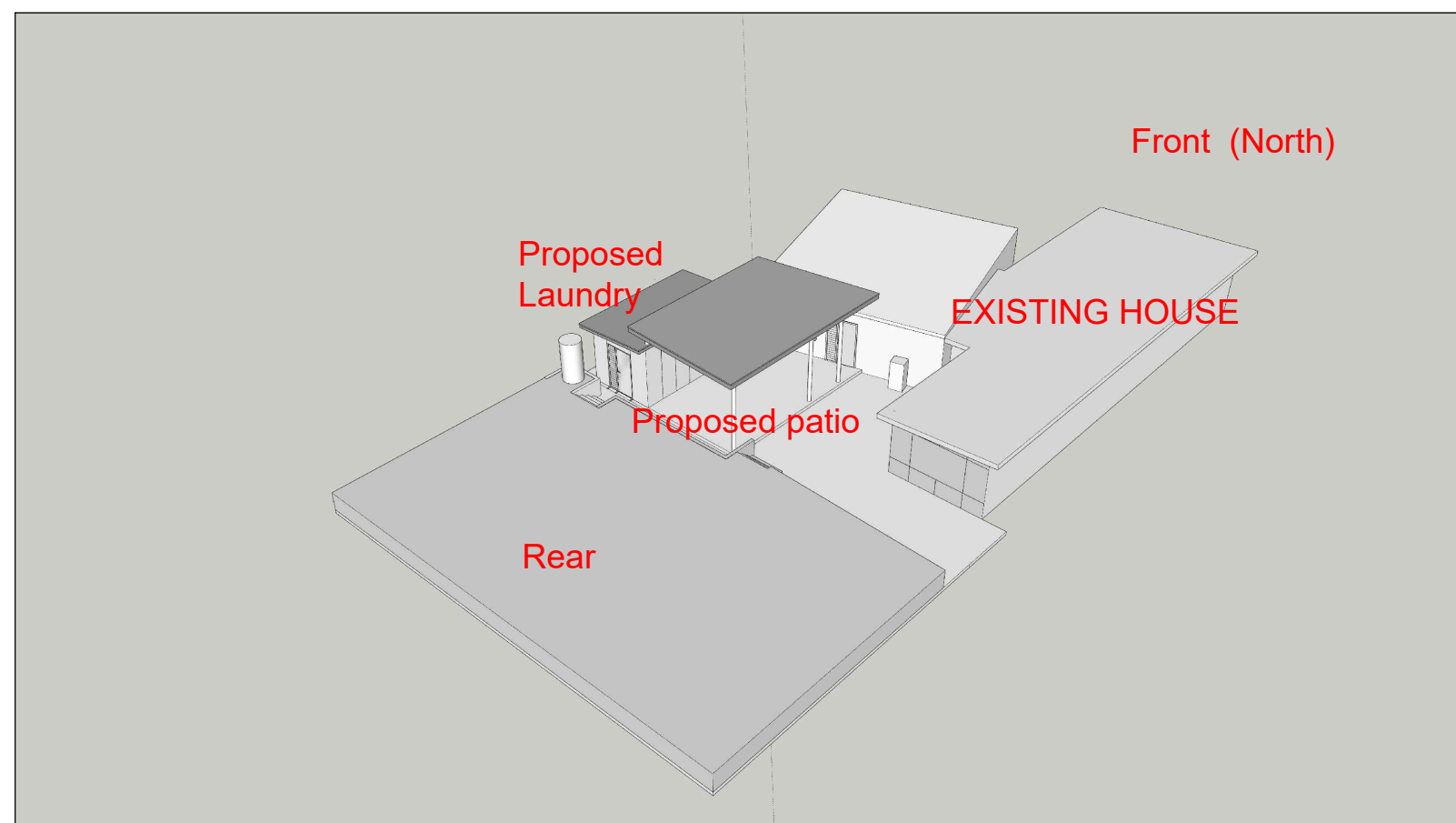
Scale: 1 to 200 @A3

Date: 24.08.2023

Rev: B



ARTIST IMPRESSION - VIEW 1



ARTIST IMPRESSION - VIEW 2

26 Fraser Street  
 East Fremantle WA 6158 - Lot 17 on Diagram 19101

Drawing:  
 3D SKETCHES

**A.03**

Scale:NTS

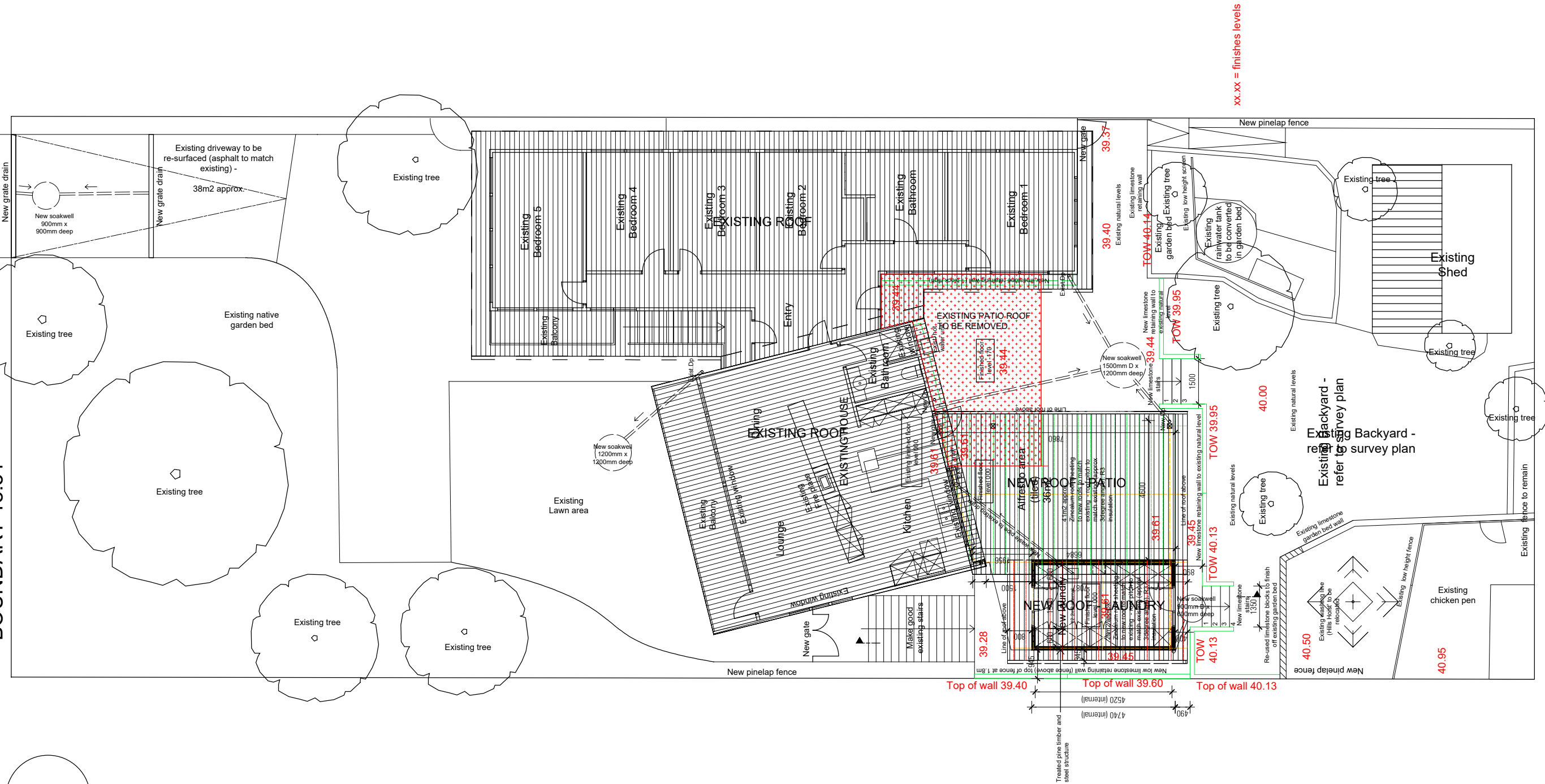
Date: 24.08.2023

Rev: B

FRASER STREET

BOUNDARY 18.51

NORTH



26 Fraser Street  
East Fremantle WA 6158 - Lot 17 on Diagram 19101

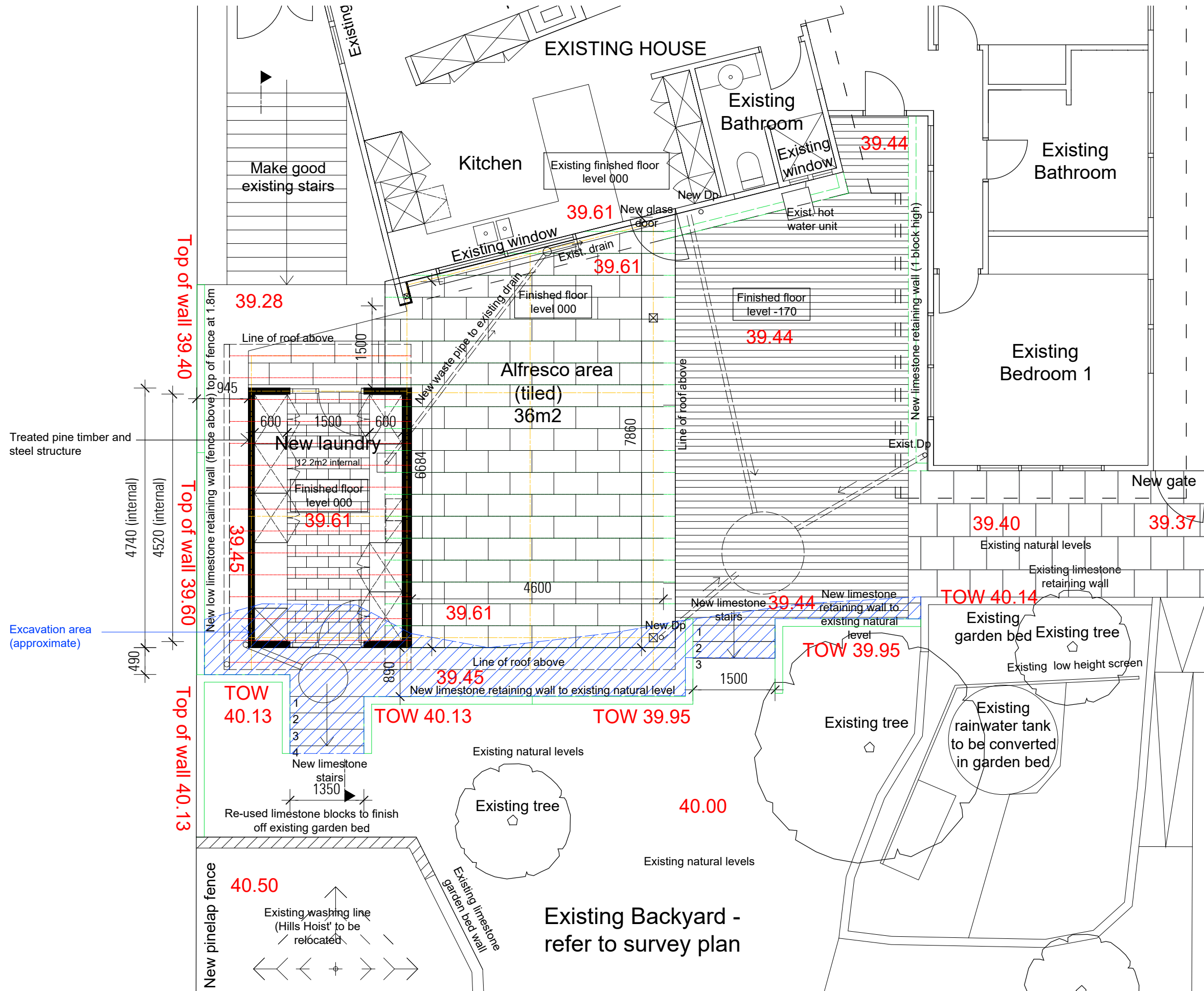
Drawing:  
Site plan

A.04

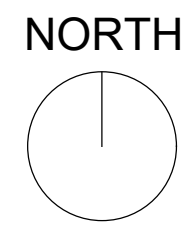
Scale: 1 to 200 @A3

Date: 07.09.2023

Rev: C



xx.xx = finishes levels



26 Fraser Street  
 East Fremantle WA 6158 - Lot 17 on Diagram 19101

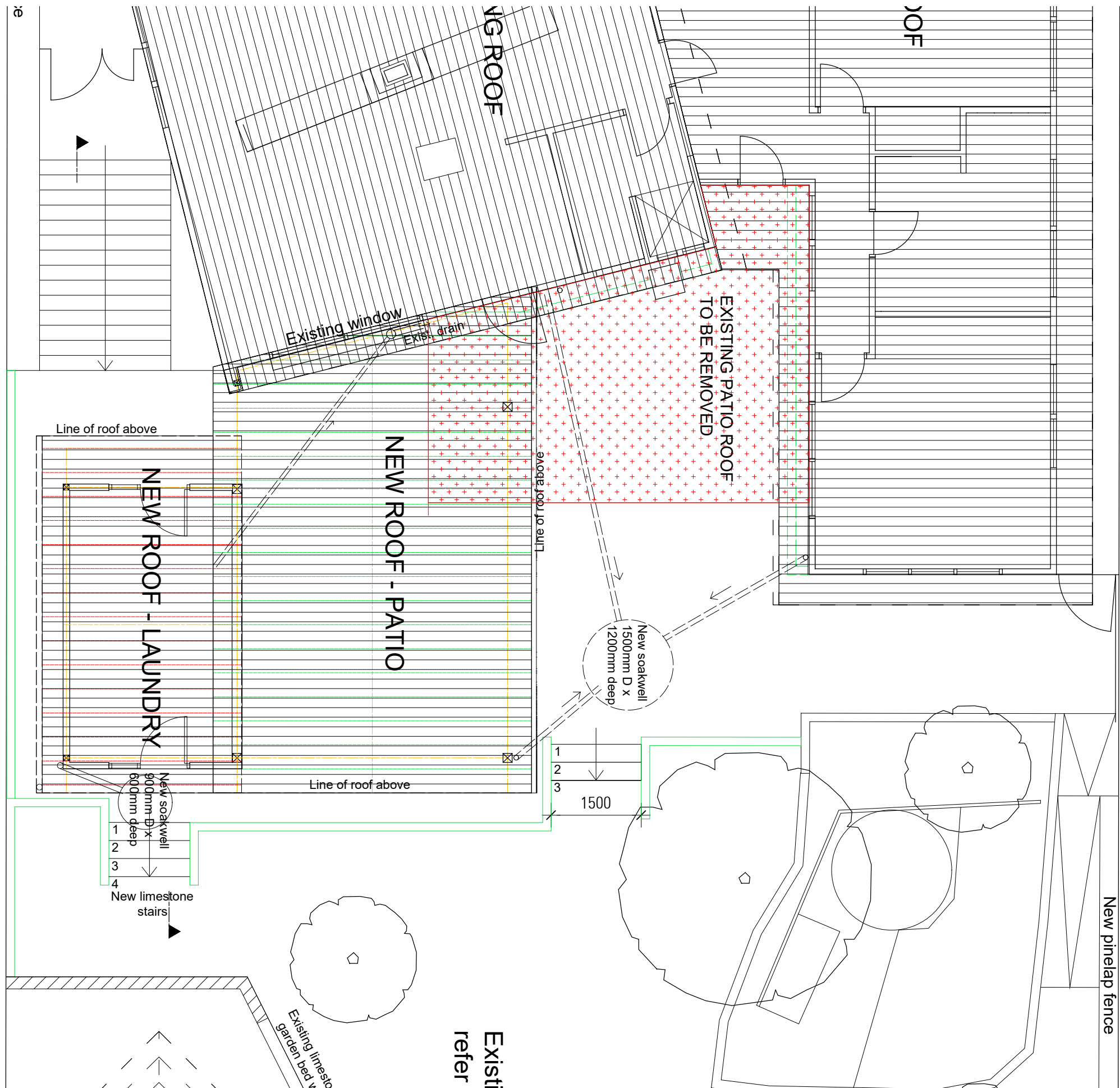
Drawing:  
 Rear patio and laundry

**A.05**

Scale: 1 to 100 @A3

Date: 07.09.2023

Rev: D



26 Fraser Street  
 East Fremantle WA 6158 - Lot 17 on Diagram 19101

Drawing:  
 Roof plan

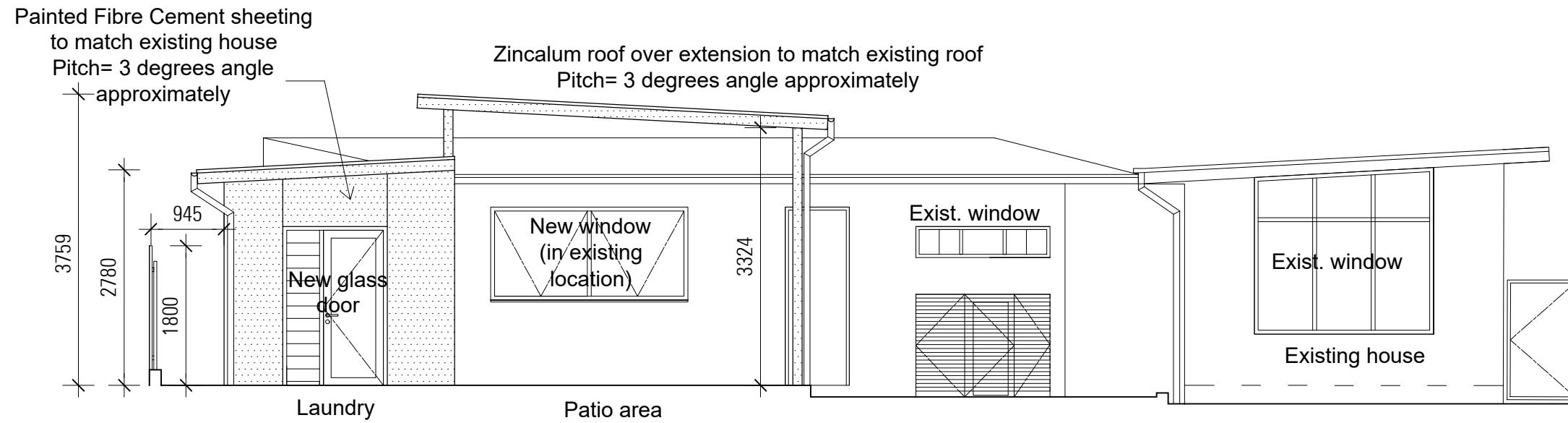
**A.06**

Scale: 1 to 100 @A3

Date: 24.08.2023

Rev: B

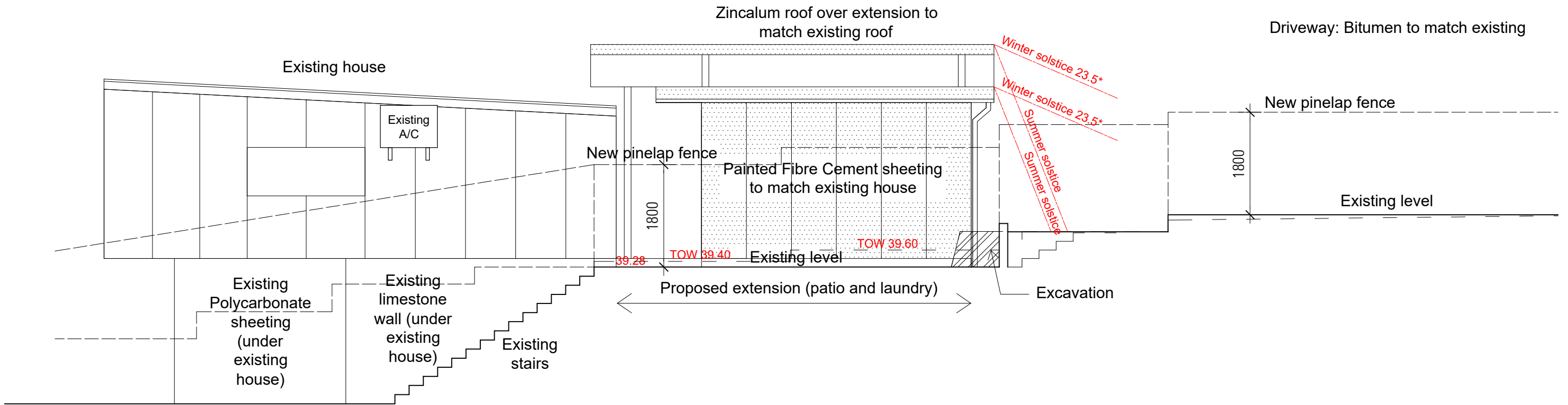




REAR ELEVATION

**FINISHES**

- Zincalum roof over extension to match existing roof
- Wall lining: Fibre cement to match existing. Paint colour: Dulux Virdict
- Window frames to match existing - Dulux: Natural white
- New retaining garden walls - Natural limestone
- New deck - recycled Jarrah to match existing balconies
- Gutters and rain water down pipes. Colourbond Surfmist
- Fence: Pinelap natural finish
- Driveway: Bitumen to match existing



SIDE ELEVATION

26 Fraser Street  
 East Fremantle WA 6158 - Lot 17 on Diagram 19101

Drawing:  
 Elevations / Sections

**A.07**

Scale: 1 to 100 @A3

Date: 07.09.2023

Rev: C