

DRAWING REGISTER:

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 <p>1300 923 369 info@k3studio.net www.k3studio.net</p>	PROJECT TITLE/CLIENT 31 DUKE STREET EAST FREMANTLE WA AUSTRALIA		DRAWING TITLE COVER PAGE	CHECKED	DRAWN	SCALE
	REV	DATE		DESCRIPTION	DWN	NUMBER
				A0.00	20/04/2023	0
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HYDRAULIC NOTE

Plumber to provide separate cock for dishwasher supply below kitchen sink and taps for washing machine below trough.

Acoustic - pipework above habitable rooms

a. If the pipes used are PP-SK type pipe (e.g. Gerberit Silent Pipe or Silenta Pipe) and there are no penetrations in the bulkheads for exhaust fans, down lights etc. and 50mm thick insulation is laid over the ceiling then only single wrapping of pipes using a minimum 12mm foam backed 4kg/m² loaded vinyl wrap is required. If the ceiling contains penetrations but 50mm thick insulation laid over the ceiling, then pipes require to be wrapped with a minimum 25mm foam backed 5kg/m² loaded vinyl.

b. If PVC pipe is to be used, the above measures are required with the addition of an additional wrapping of 25mm foam backed 5kg/m² loaded vinyl.

Acoustic - pipework above wet areas

a. If the pipes used are PP-SK type pipe (e.g. Gerberit Silent Pipe) and there are no penetrations in the bulkheads for exhaust fans, down lights etc. and 50mm thick insulation is laid over the ceiling then no further treatment is required. If the ceiling contains penetrations, pipes require minimum 12mm foam backed 4kg/m² loaded vinyl wrap.

b. If PVC pipe is to be used, the above measures are required with the addition of an additional wrapping of 25mm foam backed 5kg/m² loaded vinyl.

STORMWATER NOTE

Comply with the following Standards:

AS 3500.3 - Stormwater drainage
Products in accordance with:
AS 3879 - Solvents cements and priming fluids
AS 4139 - Fibre reinforced concrete pipes and fittings
AS 3571.1 - Pressure and non-pressure drainage and sewage
AS 1830 - Grey cast iron
AS 1831 - Ductile cast iron
AS 1254 - PVC pipes/fittings for storm/surface water apps
AS 1260 - PVC pipes/fittings for drain waste & vent application
AS 1273 - Unplasticized PVC downpipes & fittings for rainwater
AS 4129 - Polyethylene pipes fittings for pressure applications
AS4130 - Polyethylene pipes for pressure applications
ASA 2033 - install of polyethylene pipe systems
AS 4058 - Precast concrete pipes- pressure and non-pressure
AS 1646 - Elastomeric seals for waterworks purposes
AS 2439.1 - Perforated drainage pipe & associated pipe fittings
AS 1741 - Vitrified clay pipes and flexible fittings - sewer quality
AS 1141 - Methods for sampling and testing aggregates
Execute works in accordance with:
AS 3725 - Design for installation of buried concrete pipes
AS3500.3 - Stormwater
AS 3996 Metal Covers and Grates
Execute works in accordance to AS 3500.3
Water tank are to be set back from all buildings on the site.

BUILDING SEALING

The chimney or flue of an open solid-fuel burning appliance must be provided with a damper or flap that can be closed to seal the chimney or flue.

Roofs, ceilings, walls, floors and any opening such as a window frame, door frame, roof light frame or the like must be constructed to minimize air leakage.

Access must be provided to all plant, equipment and components that require maintenance in accordance with Part I2 of the BCA Volume 2 (Residential).

NOTES

Areas are in square metre. Do not scale from this drawing.

Builders responsibility to check existing structure is as assumed existing structure.

All works in accordance with structural engineer drawings, comply with current building code of Australia and Australian standard.

The contractor has to ensure that this drawing is read in conjunction with all relevant architectural, structural, hydraulic, mechanical and electrical documentation and to coordinate between trades prior to commencement of work. Any discrepancies shall be brought to the attention of the designer for clarification.

All Sub-contractors to check dimensions & notes prior to initiating works, any discrepancies to be notified to the Site Supervisor without delay.

All dimensions have to allow of 10-15mm for float and set plaster internally to each wall.

The contractor shall mark "superseded" on all drawings for which a revision has been issued. Contractor shall manage and be responsible for all coordination with required sub trades.

METALWORKER

ALUMINIUM WINDOWS AND DOORS - Selected aluminium windows or doors as shown on the drawings shall be supplied, installed and glazed in accordance with manufacturer's details.
METAL DOOR FRAMES - Build in metal door frames internally in accordance with manufacturer's details.

GUTTERS & FASCIAS

Eaves Gutters/Fascias to be 0.42mm nominal zincalume/Colorbond, to be lapped 20mm and double riveted together at junctions. Corners are to be mitred and sealed. Complete gutters with all necessary stop ends and pops to receive downpipes. Gutters to conform to the Building Code of Australia. All guttering falling to eastern end of house and pipe to water tanks.

VALLEYS

To be lined with 0.5mm zincalume/Colorbond, to match roof covering, turned up under roofing and for full width of valley board and lapped 150mm at junction to conform to the Building Code of Australia.

ROOFER

ROOF COVER

(a) Cover the whole roof with selected clay or alternatively, with selected concrete, roof tiles as specified in addenda. Fix to conform to the requirements of Building Code of Australia and manufacturers details; o
(b) Cover the whole roof with selected metal roof sheeting. Fix to conform to the requirements of the Building Code of Australia and manufacturers details.

SANITARY PLUMBER

All fixtures required to be connected to the drainage system complete with all necessary traps, waste pipes, etc., in accordance with regulations.

GLAZIER

All glass shall be of good quality, fixed and in sizes according to manufacturer's recommendations.
OBSCURE GLAZING - Windows shall be glazed with standard obscured glass as supplied by window manufacturers as shown on the drawings.
MIRROR - Provide and install selected framed mirror over vanity units.
GLASS SHOWER SCREEN - Provide and fix glass shower screen as indicated on the plans or as stated in addenda

PAINTER

All surfaces to be painted shall be properly prepared by the painter by scraping, filling and sanding to ensure a uniform surface as specified by manufacturer
Metal work to be properly rubbed down, scraped and wire brushed where required as specified by manufacturer
EXTERNAL WOODWORK - After preparation, prime, paint one coat of exterior undercoat and one coat full gloss enamel as specified by manufacturer.
EXTERNAL METALWORK - Apply suitable primer as recommended by manufacturers to all metal surfaces not shop primed before applying finishing coats. Apply one finish coat of full gloss enamel as specified by manufacturer.
HARDIFLEX LININGS - Dust down and paint two coats of approved acrylic paint.
COLOURS - All downpipes, stand pipes and other ancillary metal work fixed to walls to be painted to match those walls.
Barges and gables to be painted to match roof covering.

INTERNAL PAINTING

INTERNAL WOODWORK - All doors to be pre-primed and to have one coat interior undercoat and two finishing coat of external finish as stated in addenda.
INTERNAL WOODWORK - CLEAR FINISH
Skirting and window nosing to have surfaces prepared as previously specified and to be finished with two coats polyurethane satin finish.
METAL DOOR FRAMES - To be primed and to receive two finishing coats as stated in addenda.

PARTITIONS/DRY LINING

Dry lining with recessed edge, min 10mm plasterboard.
Flush joints, screw heads, and other blemishes in the sheets using approved systems to provide flush smooth continuous surface.
Provide and fix all flush stop beads & casing beads to all corners & edges.
Provide all selected moldings and cornices to all ceilings as stated in arch. documents.
Provide movement joints with filler as per manufacturers recommendation.

CARPENTER

Carry out all carpentry work as shown on drawings, specified herein or as required to effectively complete the Works in accordance with good trade practice. All materials shall be of size and spacings (within normal trade tolerances) required by the Building Code of Australia.

JOINERY

To be selected from Builders Standard range. Pattern to be as shown in addenda.

TERMITE CONTROL

Termite protection of all primary building elements used for construction of this building will consist entirely of, or a combination of, materials considered not subject to termite attack. Specifically, all timbers used in this dwelling will be preservative treated in accordance with AS 3660.1 and will comply with latest revision of the BCA.
Proposed work/the building must comply with AS3959-2018 and required BAL.

BRICKWORK

(a) See addenda for colour and type of bricks for external face work. The whole of the walls, piers, fireplaces, etc. indicated on drawings to be of brickwork shall be built in good, sound brickwork in approved bond to the dimensions figured or shown and complete with all necessary finishing details.
(b) Window sills to be brick set back 15mm from face of walls unless noted otherwise.
(c) All bricks to be well wetted before being laid or as recommended by manufacturers.
(d) All face brickwork must be kept clean during progress of the Works. Internal walls to be clay "Fast Wall" brick or similar.
(e) Masonry to comply with AS 3700

JOINTS

(a) Joints in face work to be as shown in addenda.
(b) Joints shall be 10mm subject to acceptable tolerances.

MORTAR MIXES

To comply with B.C.A. requirements
LAYING

(a) The following to be laid in cement mortar:
Brickwork below D.P.C., piers, arches and reinforced brickwork, retaining walls, sumps, soak wells, sills and steps.
(b) The following to be laid in compo mortar:
General brickwork and work not otherwise specified.
(c) The following may be laid in masonry mortar:
General brickwork up to a maximum of two storeys in height, but not below D.P.C.
(d) Blocks and calcium silicate bricks shall be laid using mortar mixes and reinforcement manufacturer's details.

DAMPCOURSE

Masonry work shall have a continuous damp course of a durable impervious material in accordance with the Building Code of Australia.
BUILDING IN FRAMES

(a) All frames are to be built in as the work proceeds. In hollow walls, frames are to be sat hard against the back of the external leaf and the cavity is not to be closed with brickwork unless noted otherwise.

(b) All frames shall be secured with galvanised hoop iron straps every seven courses in height.

CAVITY WALLS

All cavity walls shall have approved galvanised wire ties as specified in the Building Code of Australia, breaking bond and set not more than 150mm from any opening. Vertical joints at bottom course of wall shall be kept open to form weep holes to comply with the Building Code of Australia requirements.

EXTERNAL OPENINGS

All arches and openings not otherwise specified shall have steel lintels (galvanised where required) as specified in the Building Code of Australia

INTERNAL OPENINGS

All internal walling, partition walling and internal leaf of external wall (except where specified above) shall have brick lintels over openings for spans up to 2400mm:

FLASHINGS

Provide all cross cavity flashings as to conform to the requirements of the Building Code of Australia.

CONCRETOR

FOOTINGS AND CONCRETE SLAB

(a) Footings and concrete slab to be in accordance with details shown on plans, appended thereto or to the Building Code of Australia.

(b) Finish to concrete slab to be monolithic. Slab to be reinforced with mesh fabric as per details and to be laid on 0.2mm polythene membrane underlay.

PATH, DRIVE, GARAGE OR CARPORT FLOORS

(a) Where shown on drawings, path shall be 900mm wide and 75mm in thickness and trowelled to an approved non-slip surface. Waterproof membrane or reinforcement as noted on the drawings.

(b) Where shown on drawings, a driveway shall be 100mm in thickness poured monolithically and trowelled to an approved non-slip surface. Whereas the Builder will make every effort to see that paths, driveways, garage or carport floors are laid correctly and construction joints are placed in the right position, he shall not be responsible for cracking of such paths and drives.

CEILINGS

Ceilings with recessed edge, min 10mm plasterboard.

Flush joints, screw heads, and other blemishes in the sheets using approved systems to provide flush smooth continuous surface.
Provide and fix all flush stop beads & casing beads to all corners & edges.

Provide all selected moldings and cornices to all ceilings as stated in arch. documents

PLASTERING

Internal wall finishes including cupboard, bin, & fridge recesses, etc. shall be (other than face finishes or where covered by feature materials) float and set in hardwall plaster u.n.o.
Plastered walls shall be nominal 12mm thick consisting of 1:1:9, cement:lime:sand render, and finished with nominally 3mm hardwall plaster.

Supply and fix external corner beads to all external corners and provide stop beads where plaster work abuts timber frames, or facework.

External render when applicable shall be 2 coat sand finish. (for painting).

Nibs in internal corners adjacent to door frames greater than 40mm shall not be flushed up with frames and provide v-joints in render & finishing plaster where brick work abuts or joins onto concrete work.

FLOORING FINISHES

Carpet floor coverings to nominated areas with selected underlay smooth edge & diminishing strips.

Tiled floor coverings to nominated areas complete with all materials.

Provide timber floor finishes to nominated areas complete with all materials, diminishing boards etc.

Floor boards to be sanded & polished to high standard with premium quality sealer (2 coats).

PLANNING PERMIT

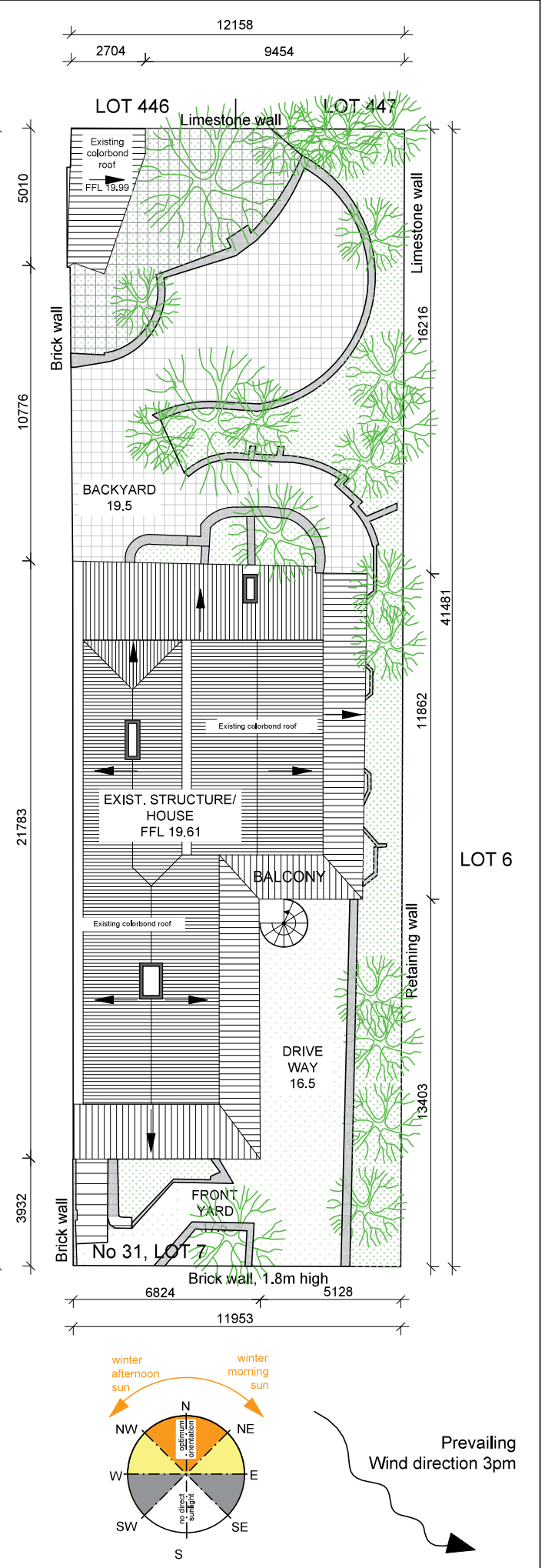
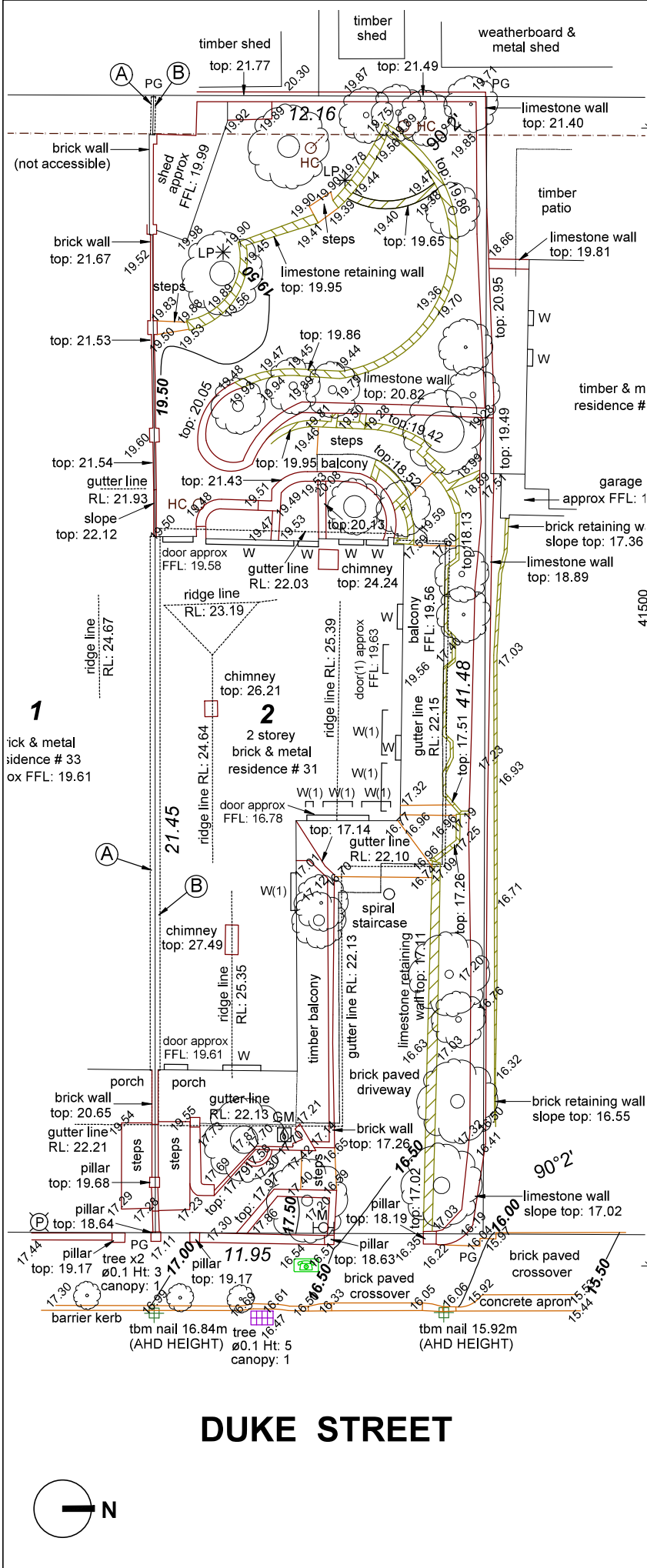
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REV	DATE	DESCRIPTION	DWN

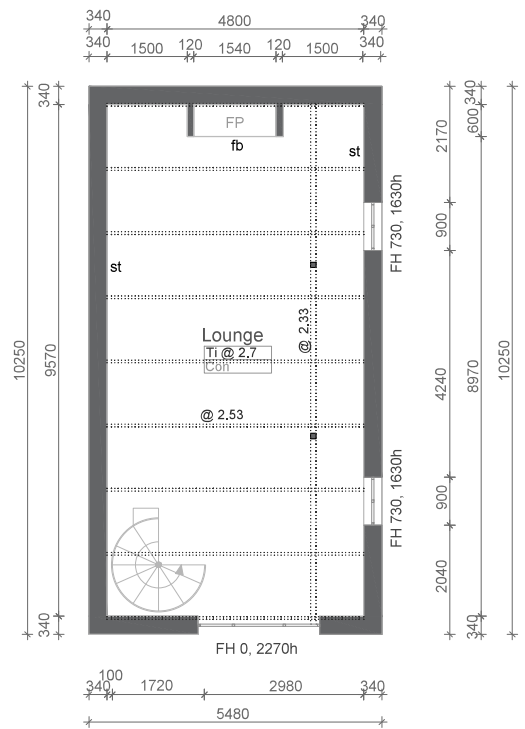
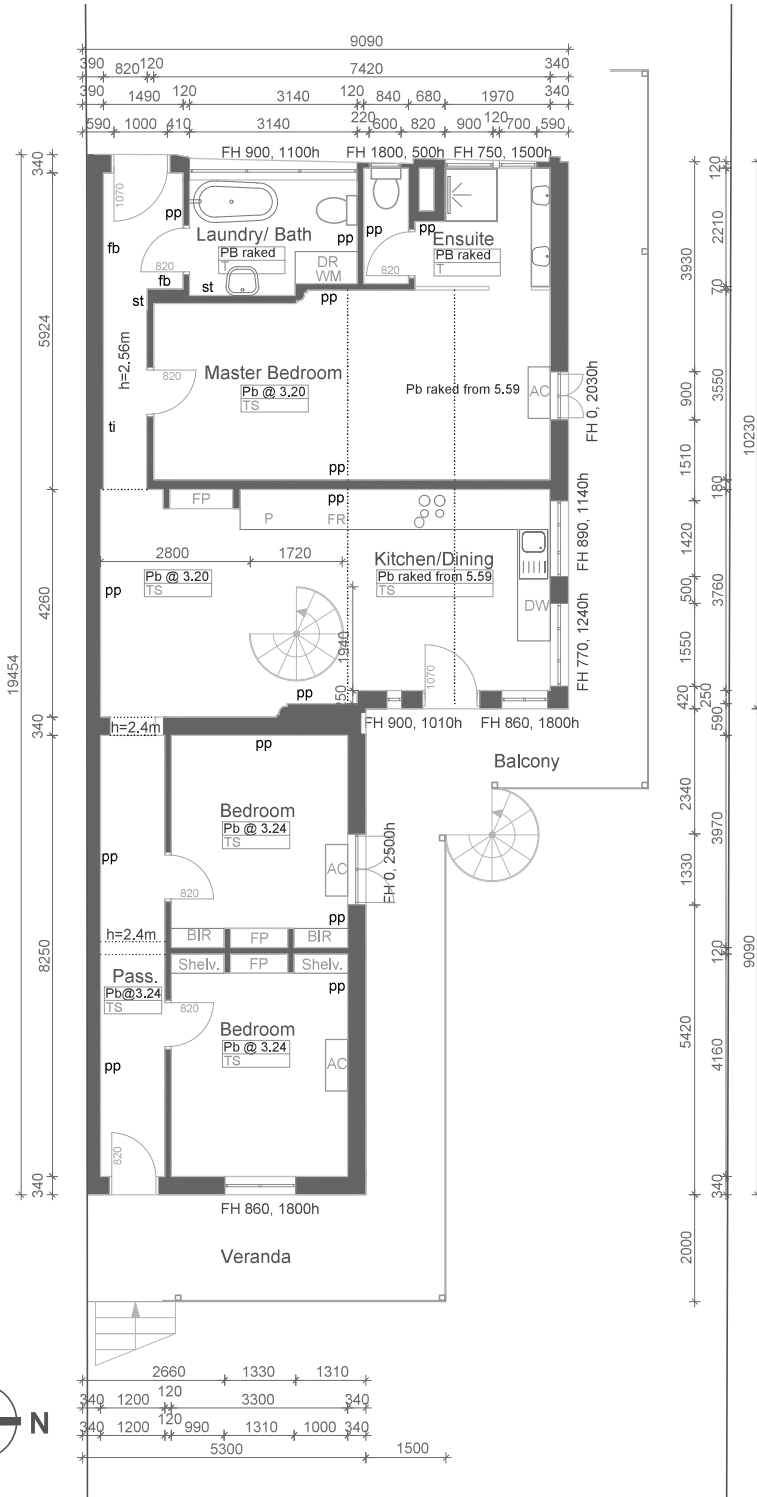
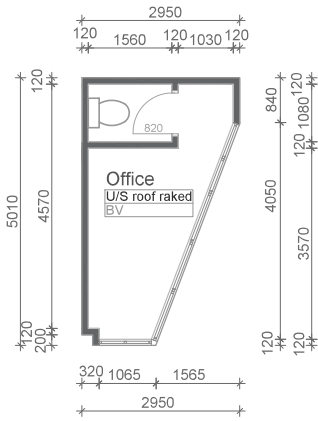
PROJECT TITLE/CLIENT
**31 DUKE STREET
EAST FREMANTLE
WA AUSTRALIA**

DRAWING TITLE
SPECIFICATION

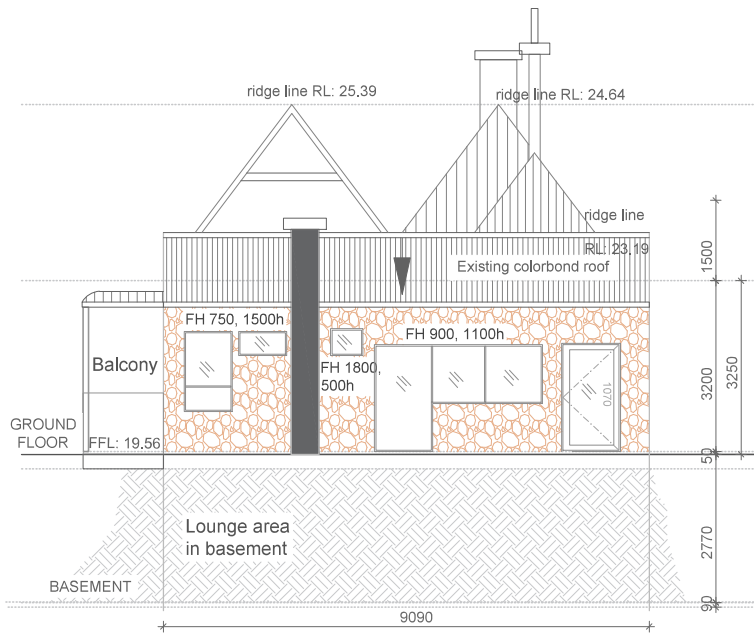
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NUMBER	DATE	REVISION
A1.00	20/04/2023	0
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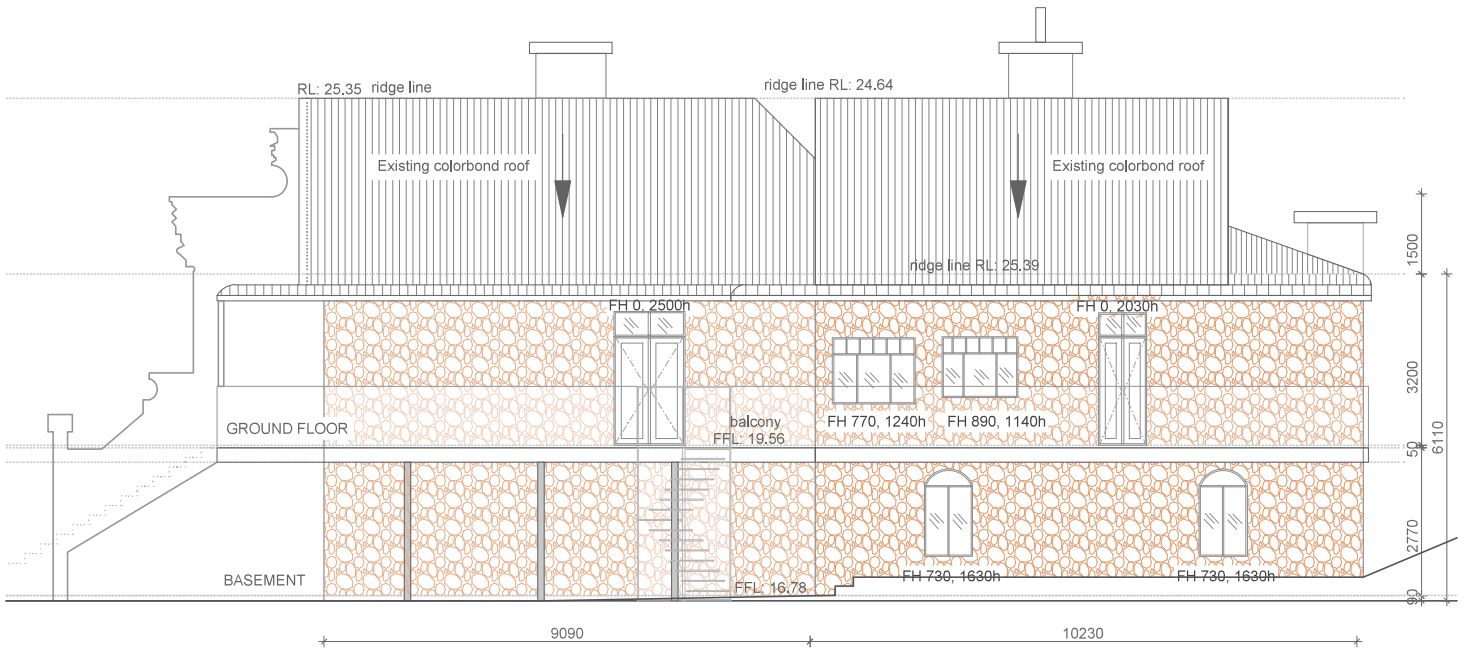
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	REV DATE DESCRIPTION DWN	NUMBER A1.01	DATE 20/04/2023	REVISION 0	This drawing is the copyright of K3studio Pty Ltd and shall not be retained, copied, used or transmitted without prior written permission of the copyright owner.



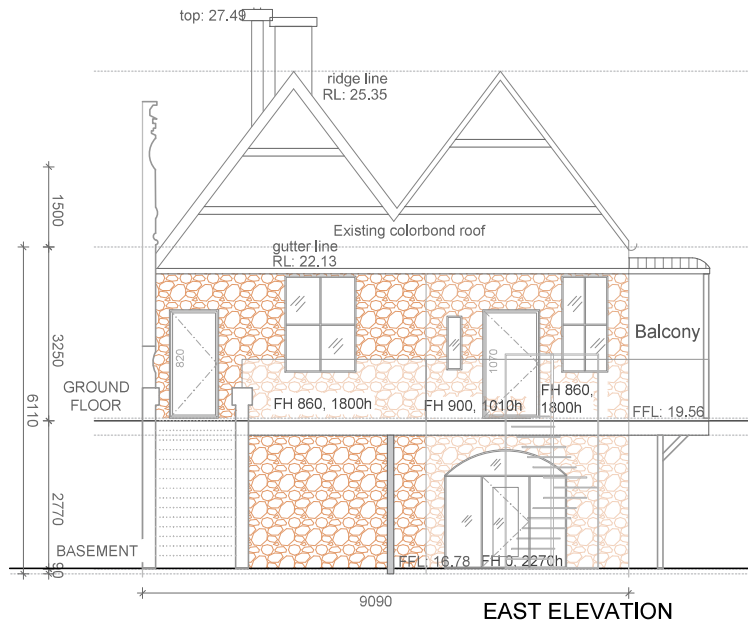
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	REV DATE DESCRIPTION DWN				NUMBER A1.02	DATE 20/04/2023	REVISION 0
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WEST ELEVATION

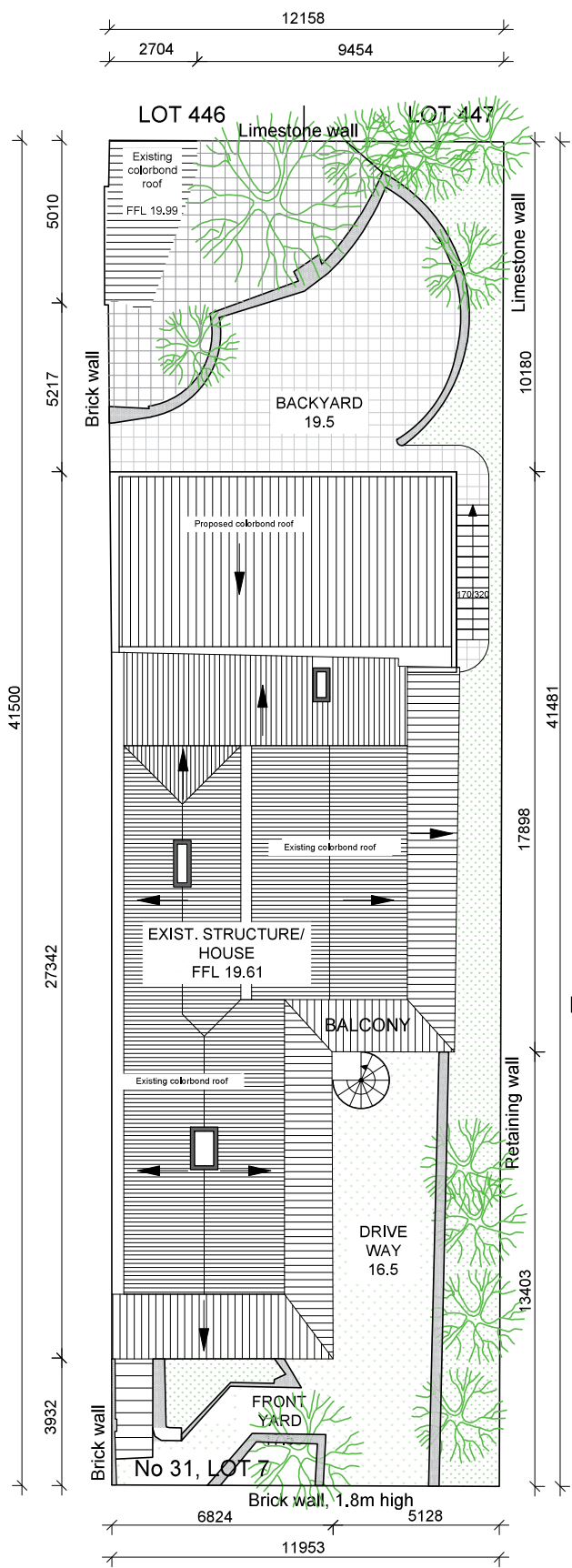


NORTH ELEVATION



EAST ELEVATION

PLANNING PERMIT			PROJECT TITLE/CLIENT	DRAWING TITLE	CHECKED	DRAWN	SCALE
			31 DUKE STREET EAST FREMANTLE WA AUSTRALIA	EXISTING ELEVATIONS	KW	KB	1:100 / A3
 1300 923 369 info@k3studio.net www.k3studio.net	REV DATE	DESCRIPTION	DWN		NUMBER	DATE	REVISION
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Notes:

1. Areas are in square meter
2. Volumes to be stored based on requirements for on site storage to contain 1 in 20 years storm with 5 minute duration
3. Down pipes to be located so that each soak well fills at the same rate
4. All soak wells are to be setback from all buildings on the site including any structure located on the boundary by a minimum distance equal to the depth of the soak well
5. All wet areas and balcony are set-down as per AS
6. Soak well size & connections as per details by plumber & requirements of council
7. Please install 5 star taps and timers

Drainage Calculation

Roof Area:

Roof Area Extension	54m ²
Roof Area House	133m ²
Roof Area Balcony	50m ²
Total:	237m²

Pavement:

Frontyard	10m ²
Backyard	89m ²
North side	48m ²
Total:	147m²

Total area of lot
505m²

Area of paving
147m²

Area of roofing
237m²

Area of landscaping
121m²

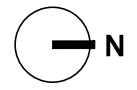
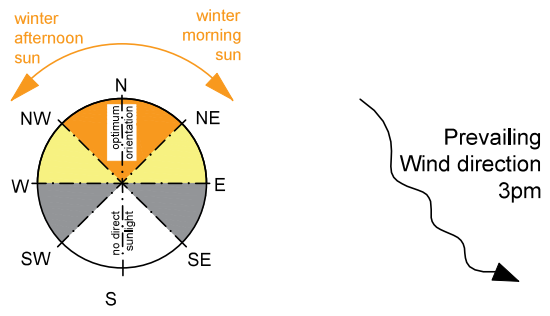
$$V_i = 505 - 237 = 268$$

$$V_t = 268 * 0.95 * 0.013 = 3.31$$

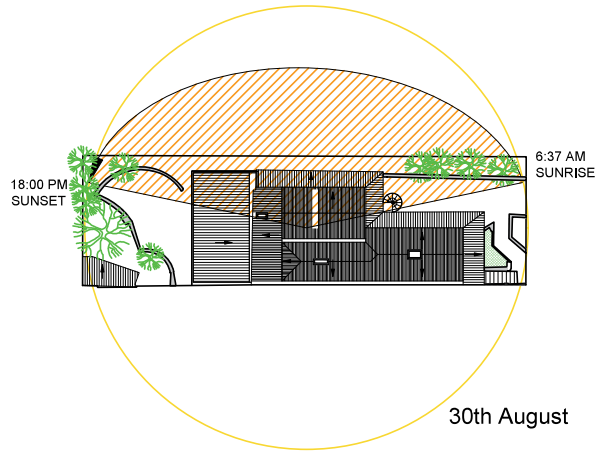
$$1 * 1.8 \text{ dia} * 0.9 \text{ soakwells} = 2.28\text{m}^3$$

$$3.31 / 2.28 = 1.45$$

1.8m * 0.9m deep soakwells



PLANNING PERMIT  1300 923 369 info@k3studio.net www.k3studio.net	PROJECT TITLE/CLIENT 31 DUKE STREET EAST FREMANTLE WA AUSTRALIA	DRAWING TITLE PROPOSED SITE PLAN	CHECKED KW	DRAWN KB	SCALE 1:150 / A3
	REV DATE DESCRIPTION DWN	NUMBER A2.00	DATE 20/04/2023	REVISION 0	This drawing is the copyright of K3studio Pty Ltd and shall not be retained, copied, used or transmitted without prior written permission of the copyright owner.



PERTH
 Fremantle
 Latitude 31.9505° S
 Longitude 115.8605° E

21th June - noon

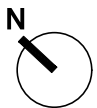
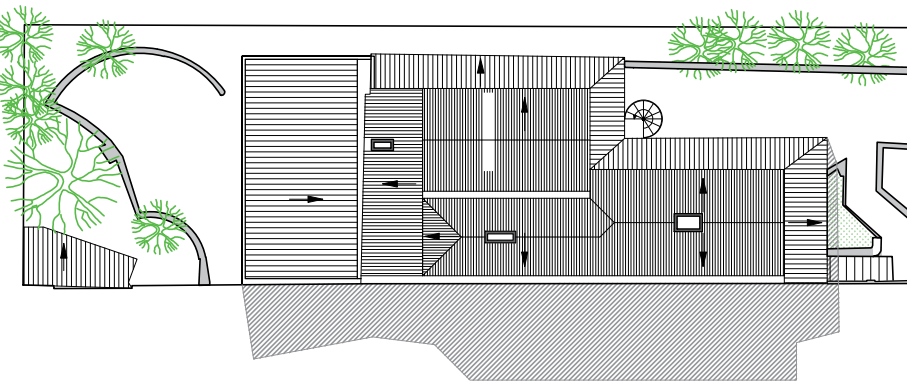
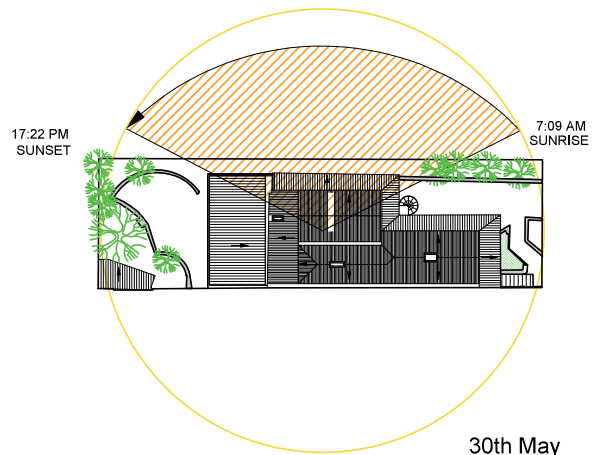
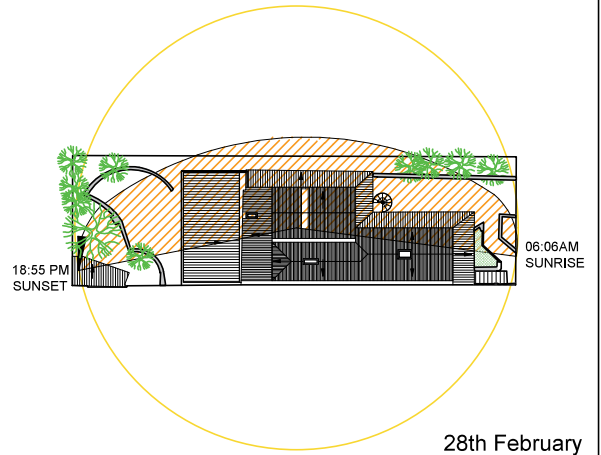
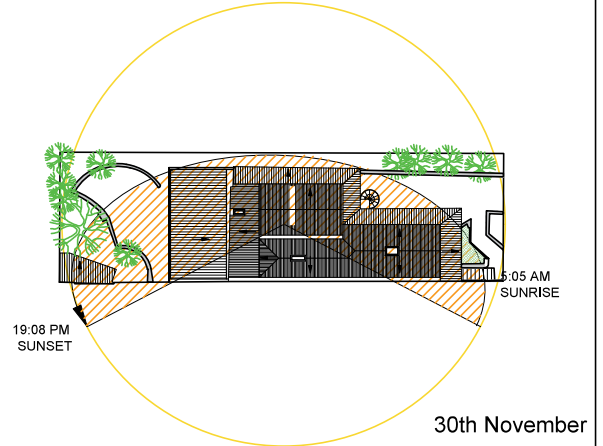
7:18 sunrise
 17:21 sunset

Angle of sun from true north:

4° 32' 54"

Angle of sun from horizon:

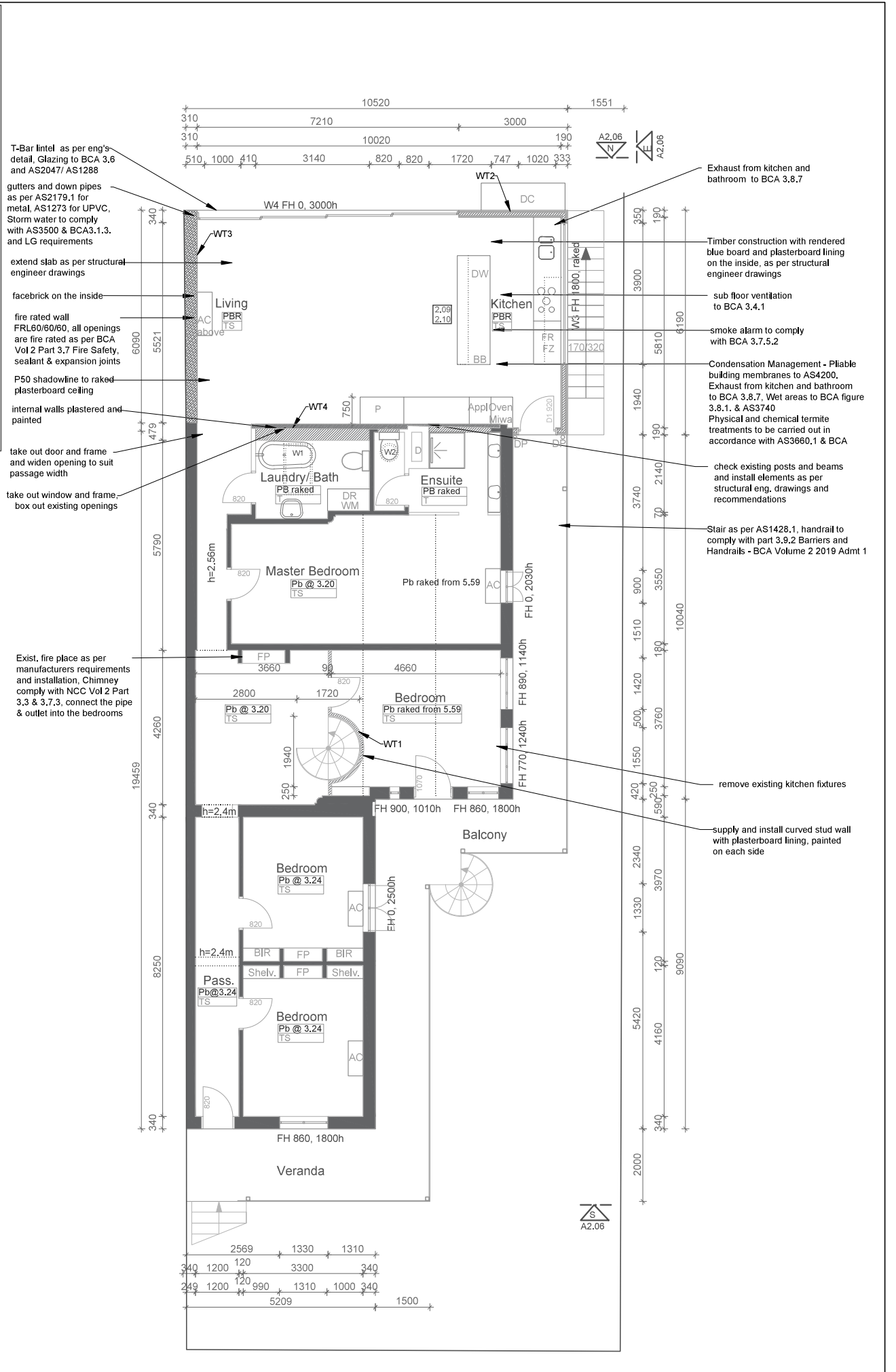
31° 37' 51"



PLANNING PERMIT  1300 923 369 info@k3studio.net www.k3studio.net			PROJECT TITLE/CLIENT 31 DUKE STREET EAST FREMANTLE WA AUSTRALIA	DRAWING TITLE PROPOSED SUN DIAGRAM	CHECKED KW	DRAWN KB	SCALE 1:500 / A3
	REV DATE 	DESCRIPTION 	DWN 	NUMBER A2.01	DATE 20/04/2023	REVISION 0	This drawing is the copyright of K3studio Pty Ltd and shall not be retained, copied, used or transmitted without prior written permission of the copyright owner.

LEGEND:

PB	Plasterboard lining fixed to battens/rafters
PBR	Raked plasterboard lining fixed to battens/rafters
T	Tiles
TS	Timber slats
█	Existing external wall 340mm
▨	New external & internal stud wall 240 & 90mm
■	External wall with existing limestone/bricks
AC	Air condition
APP	Appliance shelf
BB	Breakfast bar
BIR	Built in robe
BR	Broome cabinet
D	Duct
DC	Drying Court
DW	Dish washer
DP	Down pipe
HW	Hot water unit
FR	Fridge
FZ	Freezer
O	Oven
P	Pantry



PLANNING PERMIT

PROJECT TITLE/CLIENT

DRAWING TITLE

CHECKED

DRAWN

SCALE

31 DUKE STREET
EAST FREMANTLE
WA AUSTRALIA

PROPOSED
FLOOR PLAN

KW

KB

1:100 / A3

REV DATE DESCRIPTION DWN

NUMBER

DATE

REVISION

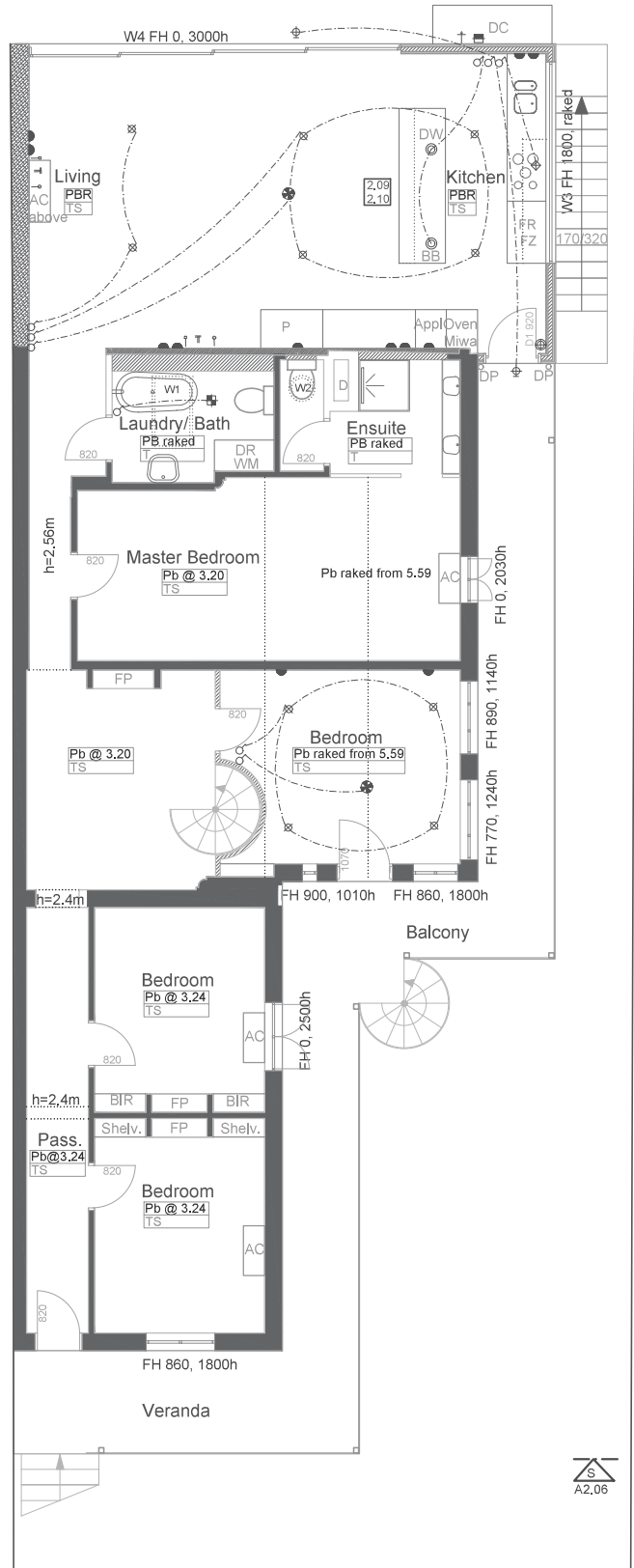


A2.02 20/04/2023 0

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ELECTRICAL NOTE

- Generally: electrical/data outlets at 300AFL unless otherwise noted.
- All external fittings to be waterproof.
- Units to be NBN, and satellite ready. Registration for NBN to be completed by builder. Builders electrician to ensure NBN ready. Prewired for Pay TV, provided to living with Foxtel backbone wiring through building Lighting must not exceed 5W/m² internally and 4W/m² externally.
- Recessed lights to be non-vented/sealed.
- Contractor to check all dimensions on architectural drawings before commencing construction.
- Not all symbols or variants on this drawing may apply.
- Liaise with mechanical/hydraulic contractor prior to tender for exact location and power requirements for the mechanical/hydraulic equipment.
- Allow for local isolator and final terminations to equipment in accordance with equipment specifications.
- All works shall be undertaken to comply with the following:-
 - Building Code of Australia, All relevant Australian Standards & codes
 - Supply authority regulations
 - AS/ ANZ3000
 - AS/ ANZ2293
- Perform a Pre-Tender site inspection to determine exact extent of all works to be undertaken, Allow for all costs.
- Review all ceiling details as ceiling space restrictions and omission of ceiling occur in areas. Check all dimension prior to installation.
- Final locations of all equipment shall be confirmed on site with the client prior to installation.
- Contractor to undertake electronic scanning to detect structural steel in the concrete slab and obtain structural engineers certification before commencing any penetration for electrical services.
- Liaise closely with the builder for cable access provisions. All works and materials necessary for cable access to lighting, power, communications, MATV, fire and security services shall be allowed for within the tender submission. Surface mounted ducts and conduits will not be accepted.
- Liaise with mechanical and hydraulic contractors to determine the exact location and power requirements for mechanical and hydraulic equipment. Allow for local isolator and final connection to equipment in accordance with equipment specifications.
- All circuits may not be indicated. Where this occurs, circuits shall be in accordance with AS/ANZ 3000.
- Provide draw wires in all conduits with detailed labeling.
- Ensure all cable pits are complete with drainage holes at the bottom. Following trenching and backfill, re-instate the area to the same condition as before. Make good all damage to landscaping, pathways, grassed areas, bitumen and concrete work.
- Telecommunications conduits and pits must be installed to meet Telstra requirements. The electrical contractor shall liaise with Telstra and ensure all services requirements are achieved.
- Allow for the provision of comprehensive CAD "As Built" documentation and maintenance operation manuals.
- Conduit size and quantity are not shown, it is assumed that information can be determined from the detail provided in the drawing.



LEGEND

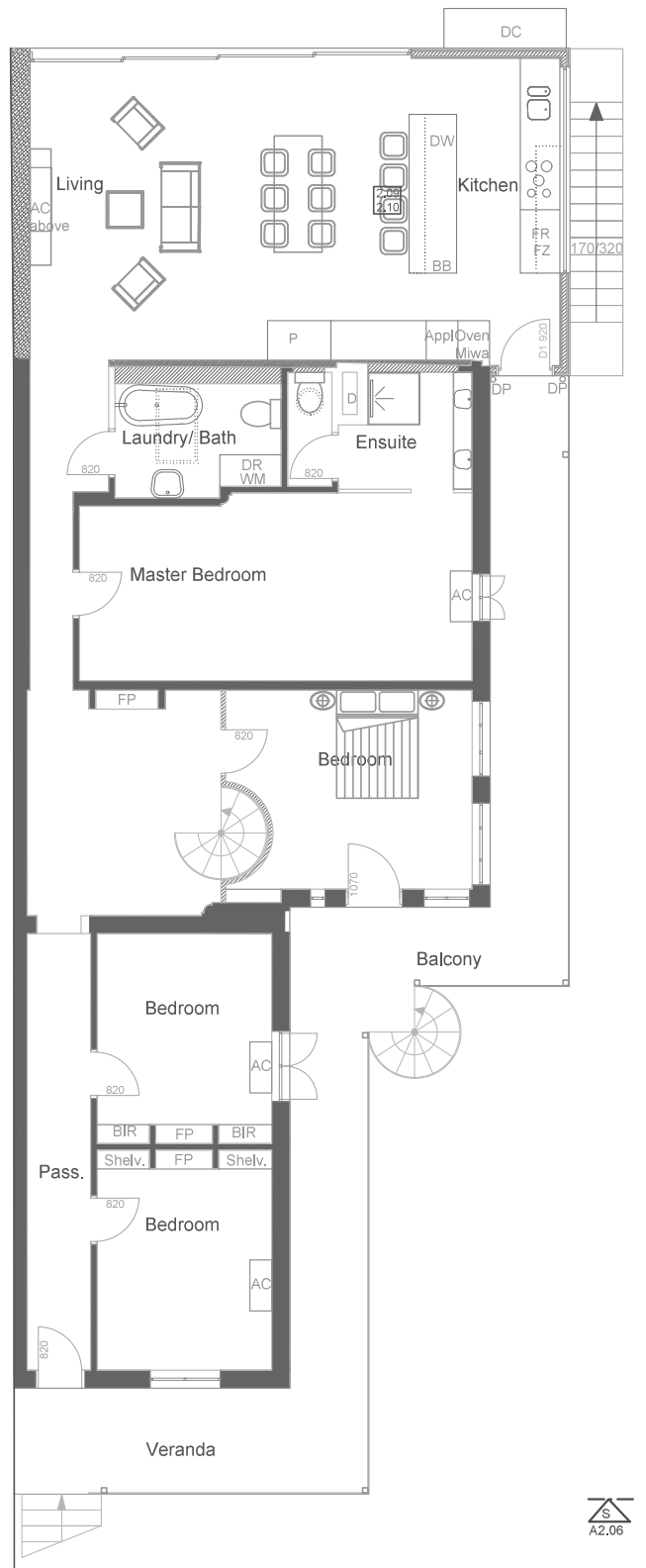
- Double Power Outlet at 0.3m or 1m above Floor Level
- ▲ Single Power Outlet at 0.3m or 1m above Floor Level
- Double Waterproof Power Outlet at 0.3m above Floor Level
- ⊕ Smoke Alarm - Hardwired
- ☒ Combination Fan, Light & Heater
- ⊕ Ceiling Mounted Exhaust Fan
- ⊗ LED Light/ Lamp as per owners preference
- ◆ Speaker
- Light Switch
- Pendant
- ⊕ Ceiling Fan
- ⊕ Range Hood
- Internet
- Telephone Outlet
- Satellite TV Outlet
- † Tap



PLANNING PERMIT			PROJECT TITLE/CLIENT	DRAWING TITLE	CHECKED	DRAWN	SCALE
			31 DUKE STREET EAST FREMANTLE WA AUSTRALIA	PROPOSED ELECTRICAL FLOOR PLAN	KW	KB	1:100 / A3
 1300 923 369 info@k3studio.net www.k3studio.net	REV	DATE	DESCRIPTION	DWN	NUMBER	DATE	REVISION
					A2.03	20/04/2023	0

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- LEGEND:**
- AC Air condition
 - APP Appliance shelf
 - BB Breakfast bar
 - BIR Built in robe
 - BR Broome cabinet
 - D Duct
 - DC Drying Court
 - DW Dish washer
 - DP Down pipe
 - HW Hot water unit
 - FR Fridge
 - FZ Freezer
 - Lin Linen cabinet
 - LS Launry shute
 - O Oven
 - P Pantry
 - W Wardrobe



PLANNING PERMIT

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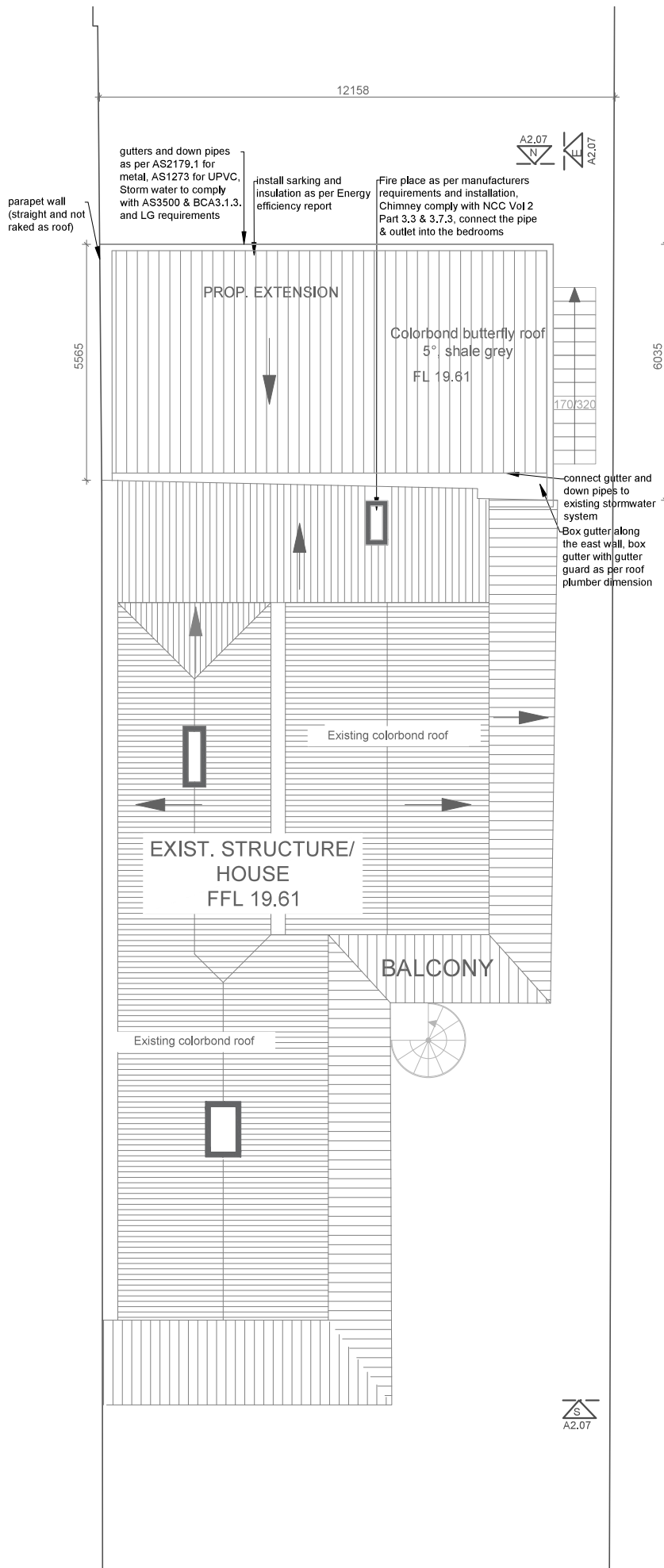
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PROJECT TITLE/CLIENT
 31 DUKE STREET
 EAST FREMANTLE
 WA AUSTRALIA

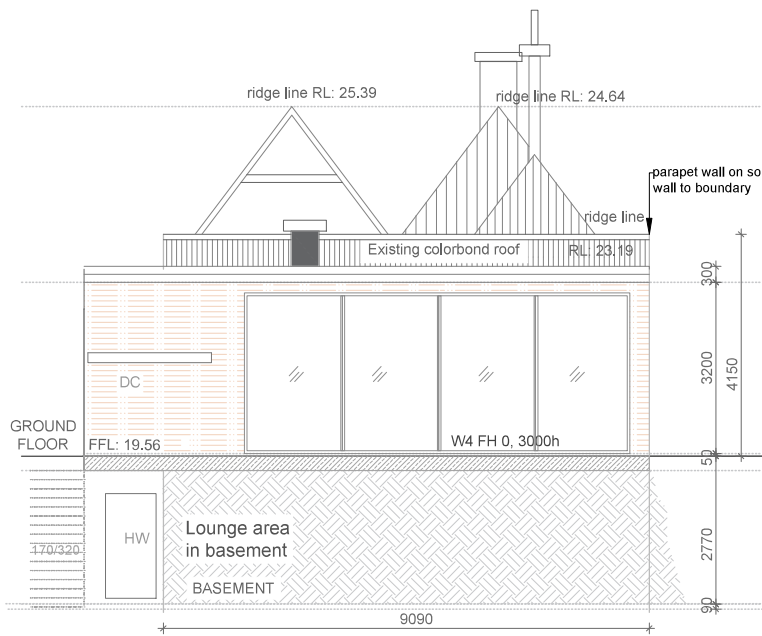
DRAWING TITLE
 PROPOSED
 FLOOR PLAN,
 FITOUT

CHECKED	DRAWN	SCALE
KW	KB	1:100 / A3
NUMBER	DATE	REVISION
A2.04	20/04/2023	0

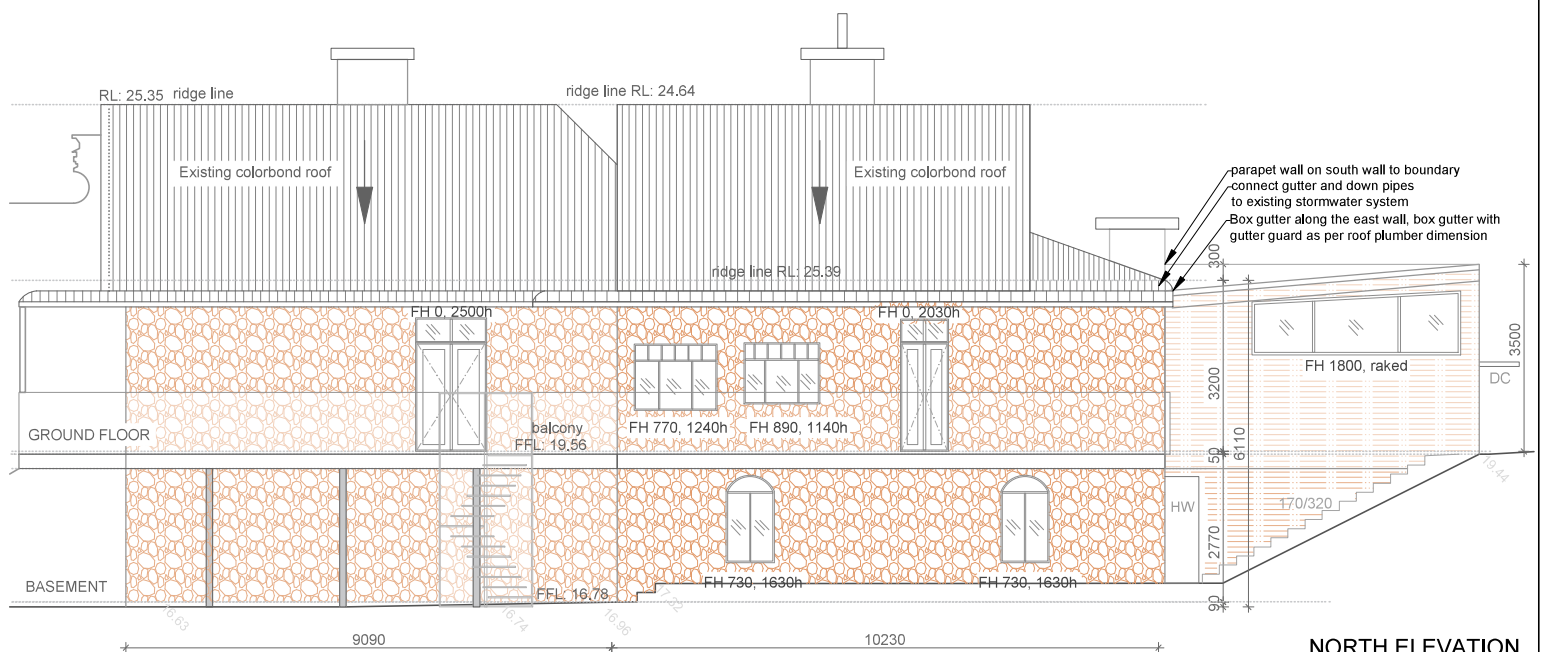
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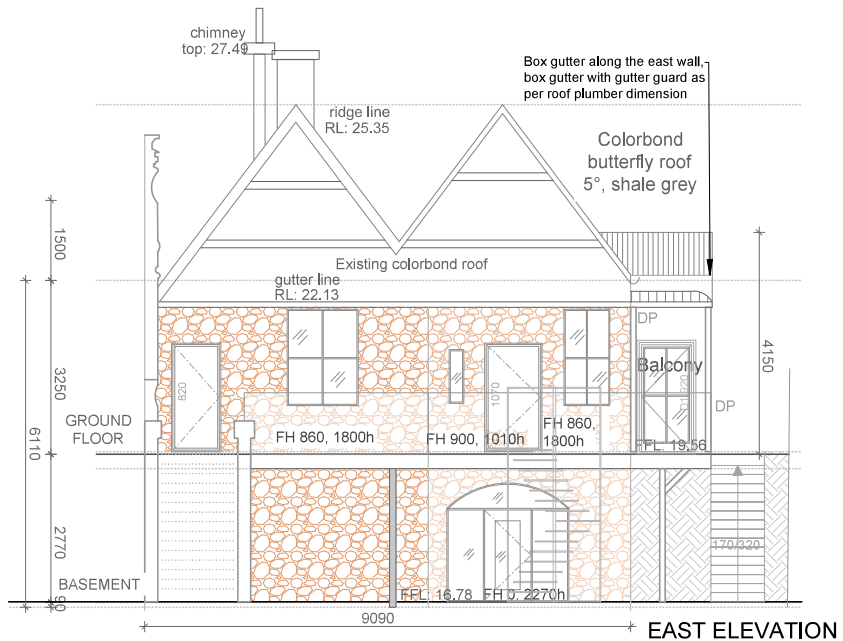
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 1300 923 369 info@k3studio.net www.k3studio.net	REV	DATE	DESCRIPTION	DWN	NUMBER	DATE	REVISION
					A2.05	20/04/2023	0
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WEST ELEVATION

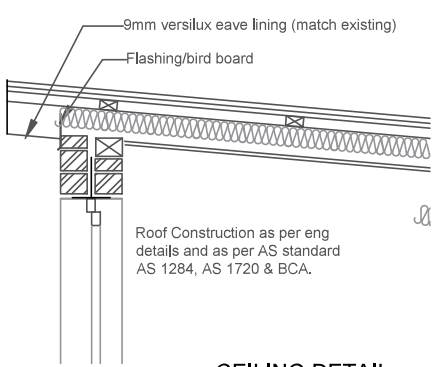
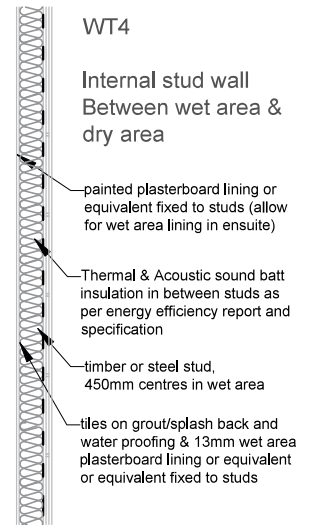
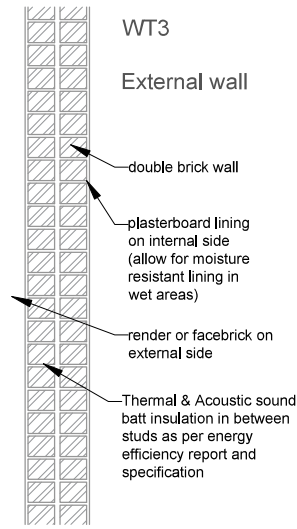
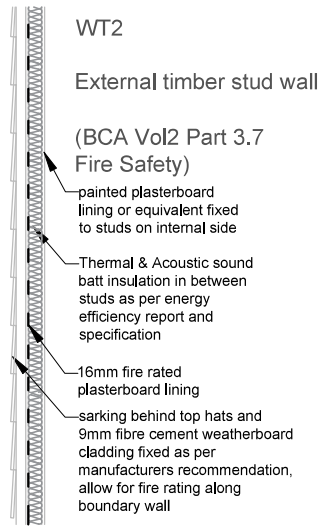
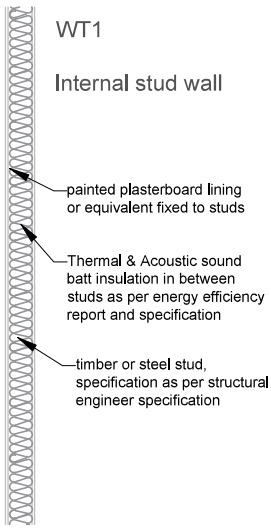


NORTH ELEVATION

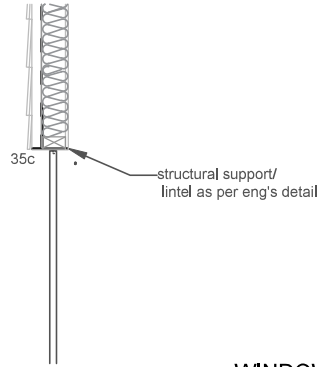


EAST ELEVATION

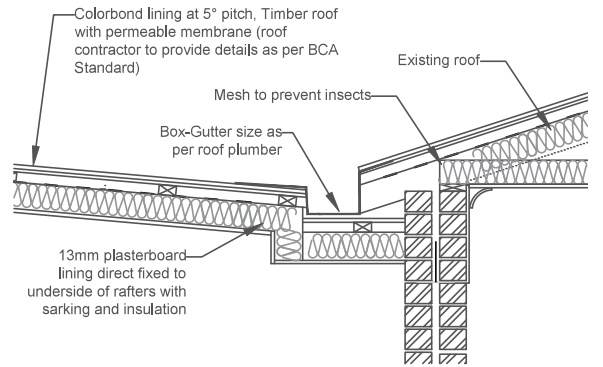
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 1300 923 369 info@k3studio.net www.k3studio.net	REV DATE	DESCRIPTION	DWN		NUMBER	DATE	REVISION
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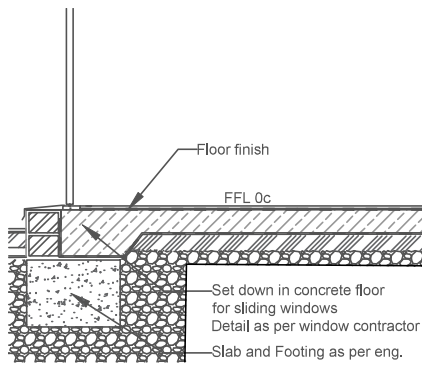
CEILING DETAIL



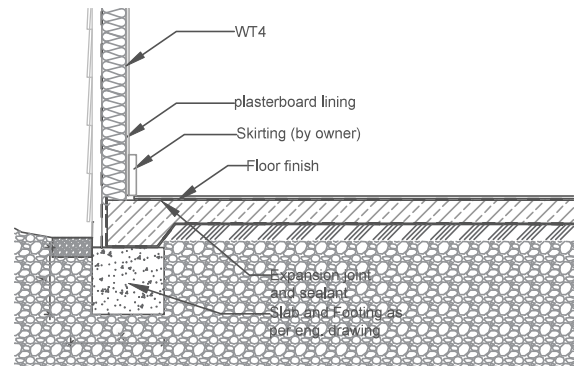
WINDOW DETAIL



CEILING/WALL DETAIL

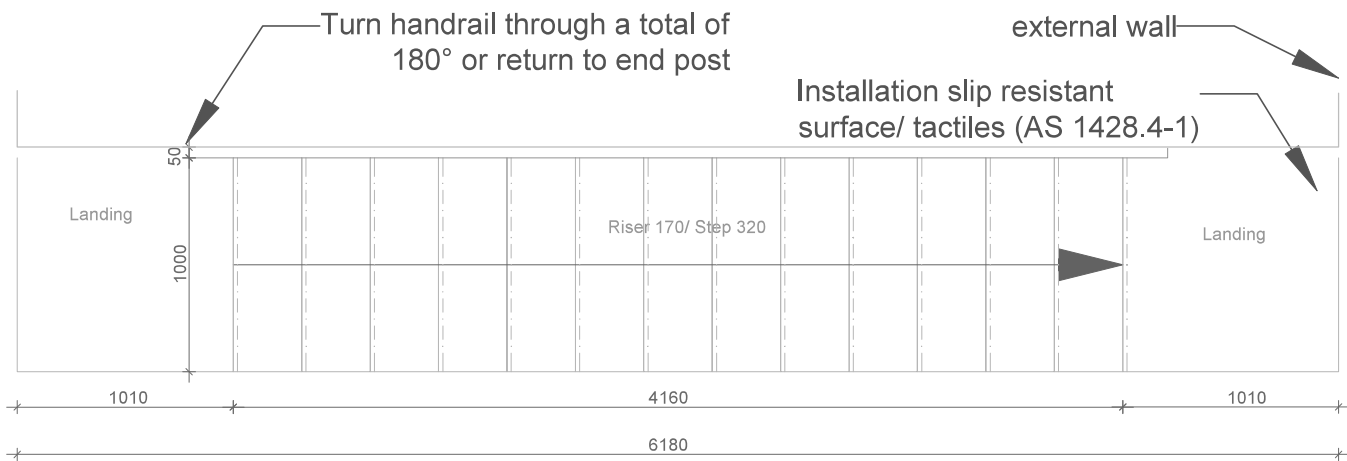
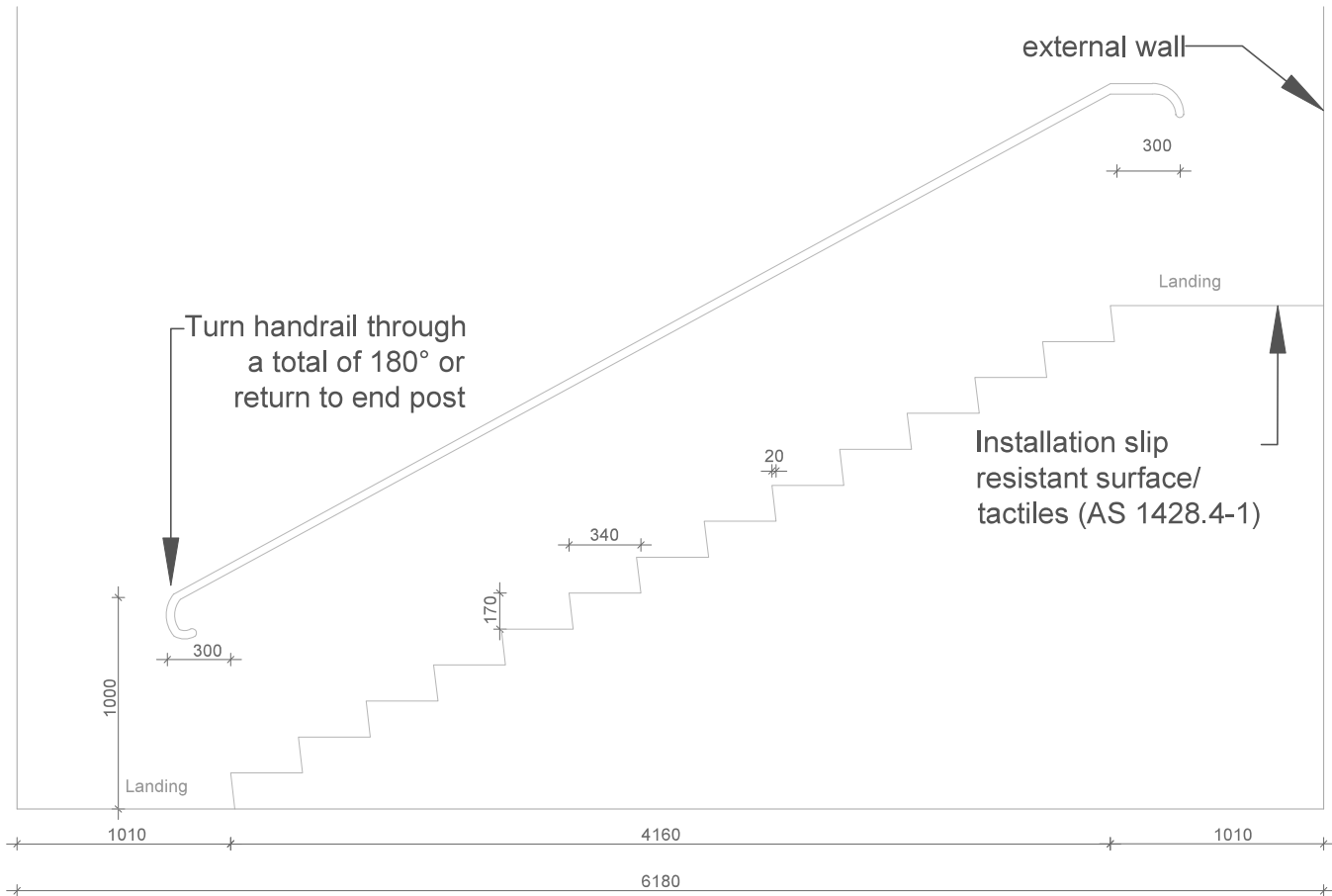


FLOOR/WINDOW DETAIL



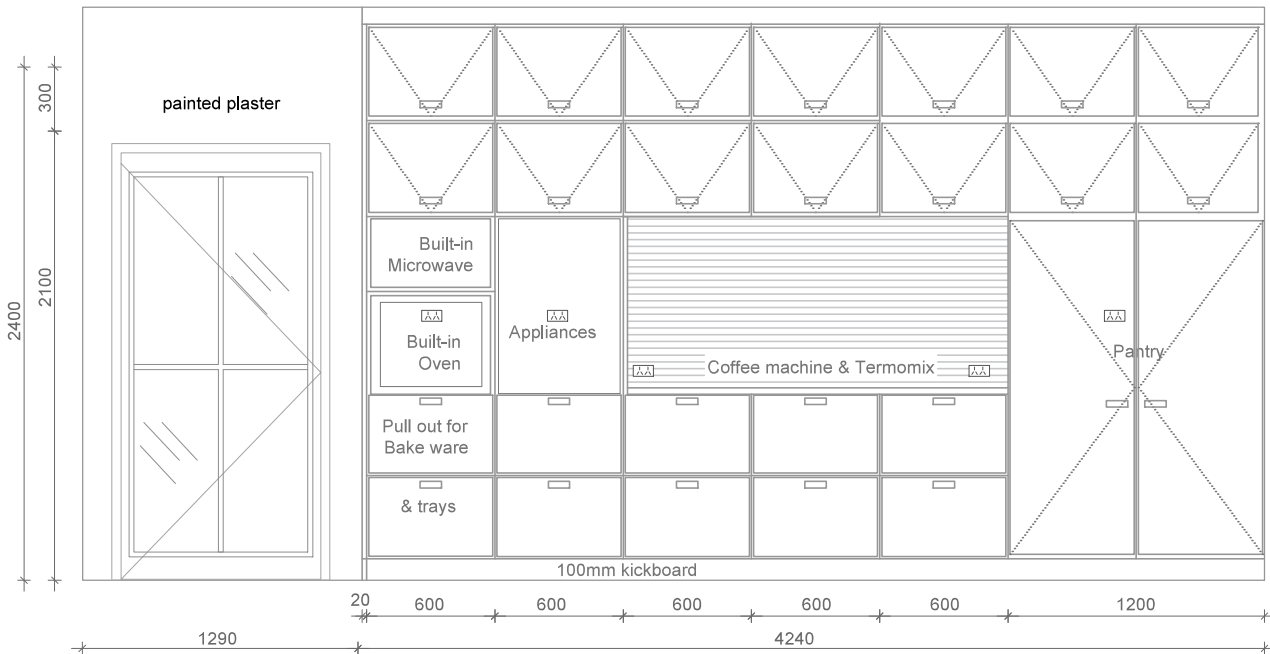
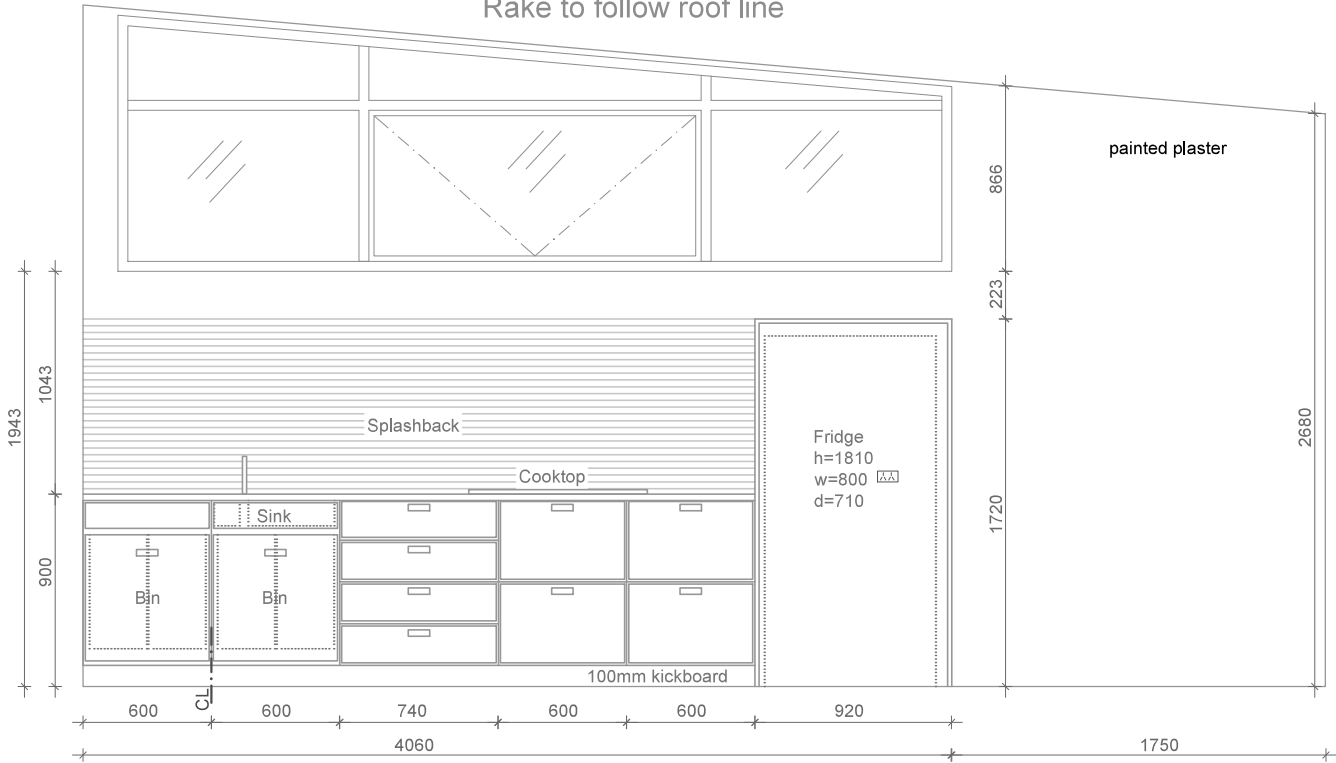
FLOOR/WALL DETAIL

PLANNING PERMIT			PROJECT TITLE/CLIENT	DRAWING TITLE	CHECKED	DRAWN	SCALE
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 1300 923 369 info@k3studio.net www.k3studio.net	REV	DATE	DESCRIPTION	DWN	NUMBER	DATE	REVISION
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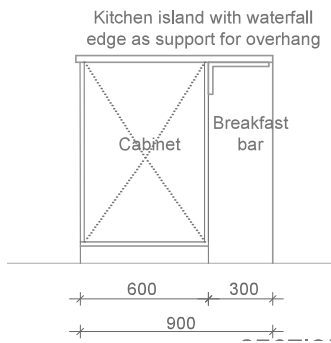
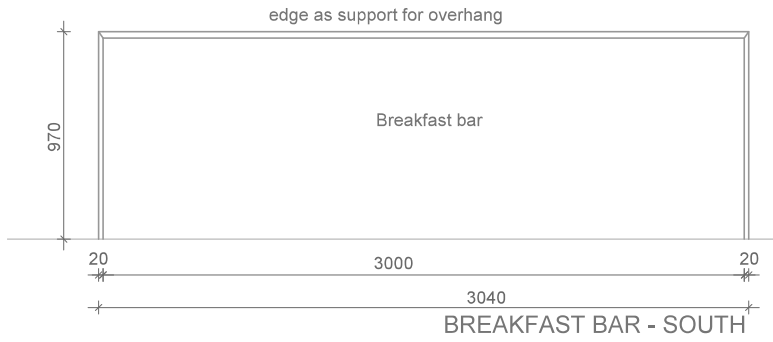
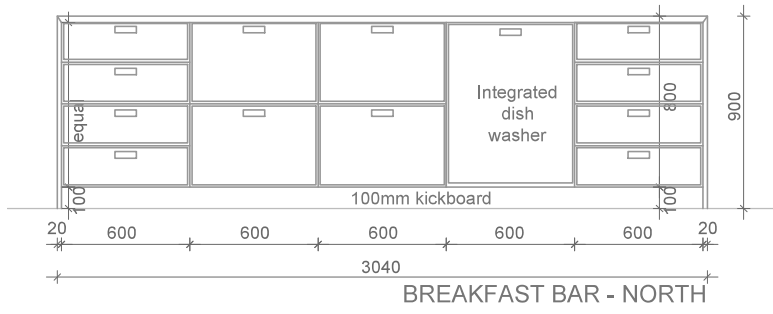


PLANNING PERMIT			PROJECT TITLE/CLIENT	DRAWING TITLE	CHECKED	DRAWN	SCALE
			31 DUKE STREET EAST FREMANTLE WA AUSTRALIA	PROPOSED STAIR	KW	KB	1:25 / A3
 1300 923 369 info@k3studio.net www.k3studio.net	REV	DATE	DESCRIPTION	DWN	NUMBER	DATE	REVISION
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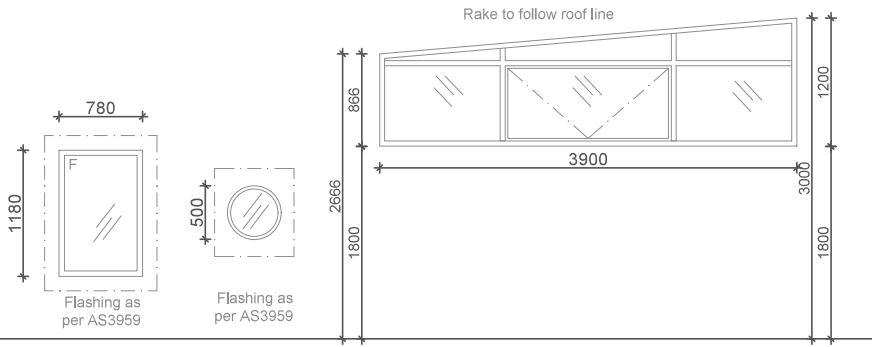
Rake to follow roof line



PLANNING PERMIT			PROJECT TITLE/CLIENT	DRAWING TITLE	CHECKED	DRAWN	SCALE
			31 DUKE STREET EAST FREMANTLE WA AUSTRALIA	WALL LAYOUT KITCHEN	KW	KB	1:25 / A3
 1300 923 369 info@k3studio.net www.k3studio.net	REV	DATE	DESCRIPTION	DWN	NUMBER	DATE	REVISION
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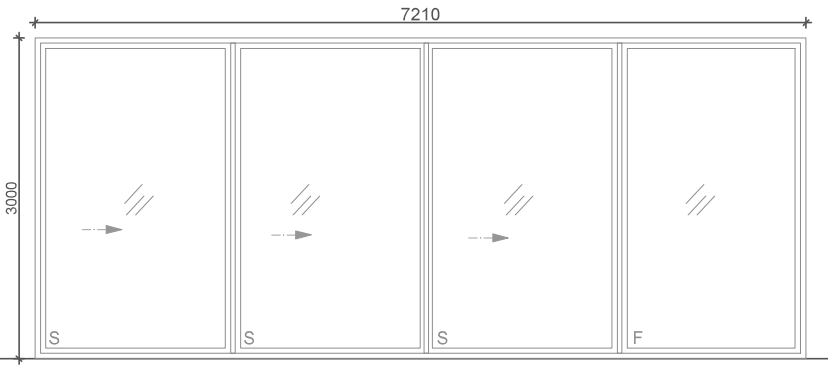


PLANNING PERMIT			PROJECT TITLE/CLIENT	DRAWING TITLE	CHECKED	DRAWN	SCALE
			31 DUKE STREET EAST FREMANTLE WA AUSTRALIA	WALL LAYOUT KITCHEN	KW	KB	1:25 / A3
 1300 923 369 info@k3studio.net www.k3studio.net	REV	DATE	DESCRIPTION	DWN	NUMBER	DATE	REVISION
					A2.10	20/04/2023	0
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Window	W1	W2	W3
Room	Laundry/Bath	Ensuite	Kitchen
Orientation	West	West	North
Size	1180 x 780mm	Ø500mm	3900 x 866/1200mm
Type	Fixed	Fixed	Fixed/Awning
Material	Upvc	Upvc	Upvc
Glazing	Velux BAL rated		
Colour	White	White	White

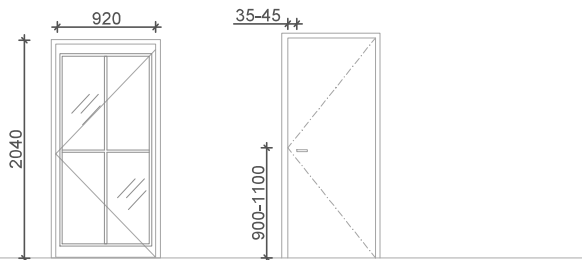
Note: Site measurement required



Window	W4
Room	Living
Orientation	West
Size	7210 x 3000mm
Type	Sliding
Material	Upvc
Glazing	
Colour	White

Note: Site measurement required

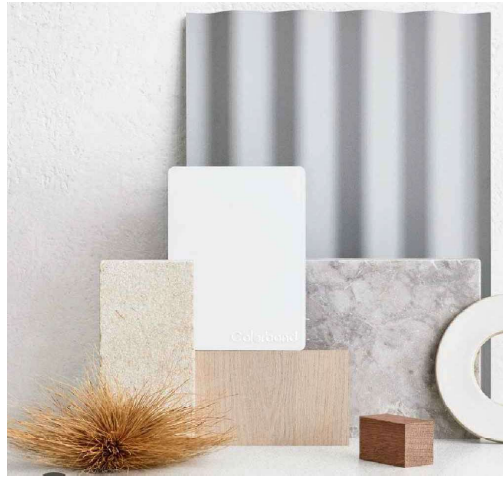
WINDOW SCHEDULE



Door	D1	Door handle
Room	Kitchen	The Australian Standard AS 1428.1
Size	2040 x 920mm	(Design for access and mobility, Part 1:
Type	External door	General requirements for access)
Material	Timber	- height not less than 900mm and not
Type	Timber with glass	more than 1100mm above the plane
	frame to match exist.	of the finished floor
Misc	Lockable	- Clearance between the handle and
Finish	MR Paint	the backplate or door face should be
		35 - 45mm

DOOR SCHEDULE

PLANNING PERMIT			PROJECT TITLE/CLIENT 31 DUKE STREET EAST FREMANTLE WA AUSTRALIA	DRAWING TITLE DOOR & WINDOW SCHEDULE	CHECKED KW	DRAWN KB	SCALE 1:50 / A3
					NUMBER A2.11	DATE 20/04/2023	REVISION 0
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COLOUR SCHEME:
 SHALE GREY
 WINDSPRAY
 BASALT
 MONUMENT



Brick feature on north side of the garage
 Material: Cladding



Vertical timber slats in porch area



Entrance door with vertical timber slats

PLANNING PERMIT			PROJECT TITLE/CLIENT	DRAWING TITLE	CHECKED	DRAWN	SCALE
			31 DUKE STREET EAST FREMANTLE WA AUSTRALIA		COLOUR SCHEME	DL	KB
 1300 923 369 info@k3studio.net www.k3studio.net	REV	DATE	DESCRIPTION	DWN	NUMBER	DATE	REVISION
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