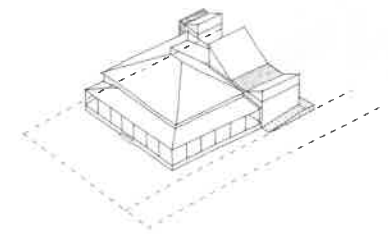


DRAWING REGISTER

ESTIMATION PACKAGE - FRONT	
A01	COVER PAGE
A02	LOCATION PLAN
A03	SURVEY
A04	SITE PLAN
A05	GROUND FLOOR PLAN - EXISTING
A06	GROUND FLOOR PLAN - DEMOLITION
A07	GROUND FLOOR PLAN
A08	ROOF PLAN
A09	GROUND FLOOR RCP
A10	ELEVATIONS - EXISTING
A11	ELEVATIONS
A12	SECTIONS
A13	SCHEDULES
A14	SCHEDULES

FOR VIEWING ONLY



KINDRED RESIDENCE - FRONT HOUSE



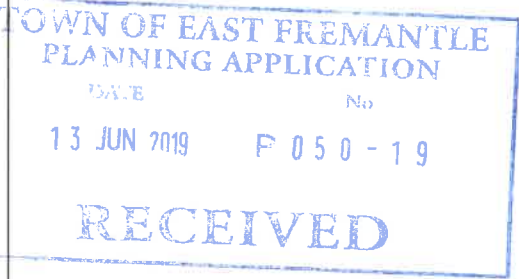
LOCATION



SITE PLAN

TOWN OF EAST FREMANTLE
 PLANNING APPLICATION
 DATE No.
 13 JUN 2019 P 050 - 19
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PRO WEST
SURVEYING
Licensed and Engineering Surveying Consultants
T (08) 9242 8247 E admin@prowestsurveying.com.au
F (08) 9242 8286 Web: www.prowestsurveying.com.au
Po Box 1483 Osborne Park DC 6916 DWG# 2481002

Proposed Survey-Strata Subdivision of Lot 2, No. 32 Fortescue Street, East Fremantle				REVISION: A
CLIENT: LEAHY	PLAN: D 70220	LOT AREA: 1333m ²	SURVEY DATE: 19/01/18	SHEET: 1 OF 1
BUILDER:	C/T Vol: 1734	Fol: 27	MAP REFERENCE:	
BUILDER JOB #	HEIGHT DATUM: AHD	HEIGHT CORRECTION TO AHD: NO	SEWER INFORMATION: YES	
AUTHORITY: TOWN OF EAST FREMANTLE				

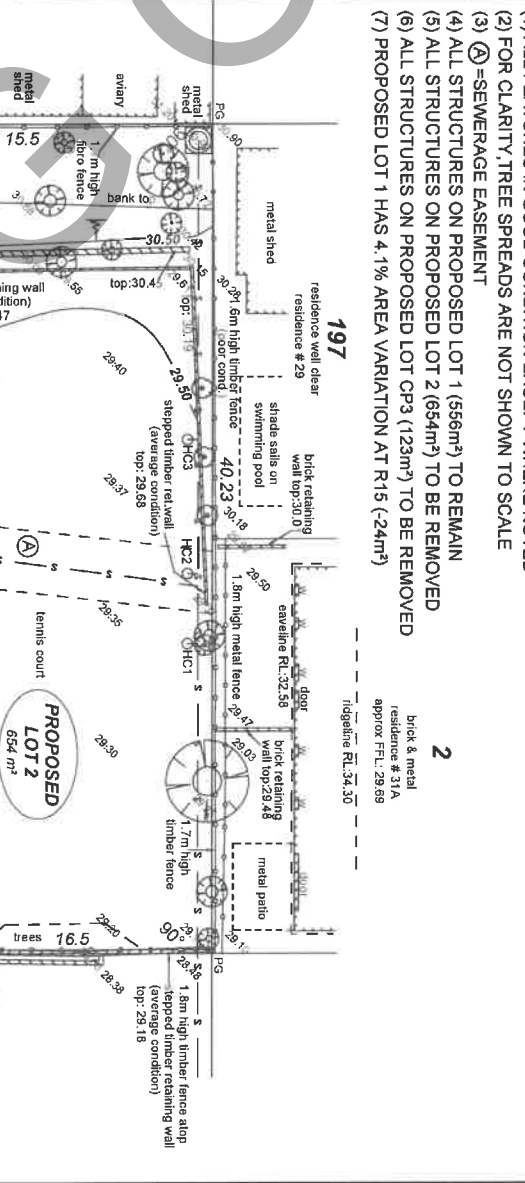
FEATURE SYMBOL LEGEND

	POWER POLE		CABLE BOX
	POWER POLE WITH CONSUMER		CABLE BOX WITH CONSUMER
	POWER POLE WITH METER		CABLE BOX WITH METER
	POWER POLE WITH STOP VALVE		CABLE BOX WITH STOP VALVE
	POWER POLE WITH RETIC VALVE		CABLE BOX WITH RETIC VALVE
	POWER POLE WITH EARTH MARK		CABLE BOX WITH EARTH MARK
	LIGHT POLE		LIGHT POLE WITH EARTH MARK

NOTES

- (1) ALL FEATURES IN GOOD CONDITION EXCEPT WHERE NOTED
- (2) FOR CLARITY, TREE SPREADS ARE NOT SHOWN TO SCALE
- (3) ⊙ = SEWERAGE EASEMENT
- (4) ALL STRUCTURES ON PROPOSED LOT 1 (556m²) TO REMAIN
- (5) ALL STRUCTURES ON PROPOSED LOT 2 (654m²) TO BE REMOVED
- (6) ALL STRUCTURES ON PROPOSED LOT CP3 (123m²) TO BE REMOVED
- (7) PROPOSED LOT 1 HAS A 1% AREA VARIATION AT RL15 (-24m²)

	WATER METER		FIRE HYDRANT
	WATER TAP		FIRE STOP VALVE
	FLUSHING POINT		RETIC VALVE
	SEWERAGE METER		SEWERAGE VALVE
	SEWERAGE METER WITH SQUARE LID		SEWERAGE VALVE WITH ROUND LID
	SEWERAGE METER WITH ROUND LID		SEWERAGE VALVE WITH SQUARE LID
	SEWERAGE METER WITH INSPECTION SHAFT		SEWERAGE VALVE WITH INSPECTION SHAFT
	SEWERAGE METER WITH HOUSE CONNECTION		SEWERAGE VALVE WITH HOUSE CONNECTION



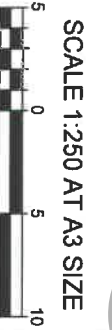
	GAS METER		GAS VALVE
	GAS METER WITH MARKER		GAS VALVE WITH MARKER
	SURVEY PEG		SURVEY PEG WITH BENCH MARK
	DRILL HOLE		DRILL HOLE WITH NAIL & PLATE
	PEN MARK		PEN MARK WITH NAIL
	STREET SIGN		SPOT HEIGHT
	SMALL TREE		BIG TREE
	OVERHEAD POWER LINE		SEWER LINE
	POWER LINE		WINDOW OPENING

WATER: L	OVERHEAD POWER: NS
TELSTRA: L	GAS: L
SEWER: L	SERVICE NOTES
L: LOCATED	NS: NO SERVICE
A: AVAILABLE BUT NOT LOCATED	TBC: LOCATION TO BE CONFIRMED

SEWER JUNCTION DETAILS
HOUSE CONNECTION (HC1) IL: 27.86 UP DISTANCE: 0 DEPTH TO CONNECTION: 1.5
HOUSE CONNECTION (HC2) IL: 28.07 UP DISTANCE: 0 DEPTH TO CONNECTION: 1.3
HOUSE CONNECTION (HC3) IL: 28.48 UP DISTANCE: 0 DEPTH TO CONNECTION: 0.98
HOUSE CONNECTION (HC4) IL: 28.24 UP DISTANCE: 0 DEPTH TO CONNECTION: 1.13

IMPORTANT FEATURE SURVEY NOTES
1. The boundary information on this site plan is approximate only. The boundary has been positioned using a basket of available survey marks and fence lines. A range of identification survey is recommended if an accurate position of features/improvements relative to the boundary is required.
2. The sewer junction on this plan is indicated using information provided by the Water Corporation. A site inspection is required by the builder/developer in order to verify the position and depth of the sewer connection.
3. The lot dimensions shown on this site plan have been taken from L100 survey plans. The final registered dimensions may vary due to adjustments made during land survey.
4. The section information shown on this plan should be verified with the relevant authorities. 5. The Water Corporation does not accept liability for any loss or damage caused by the use of this feature survey plan for any purpose.

FORTESCUE STREET
(thuman)



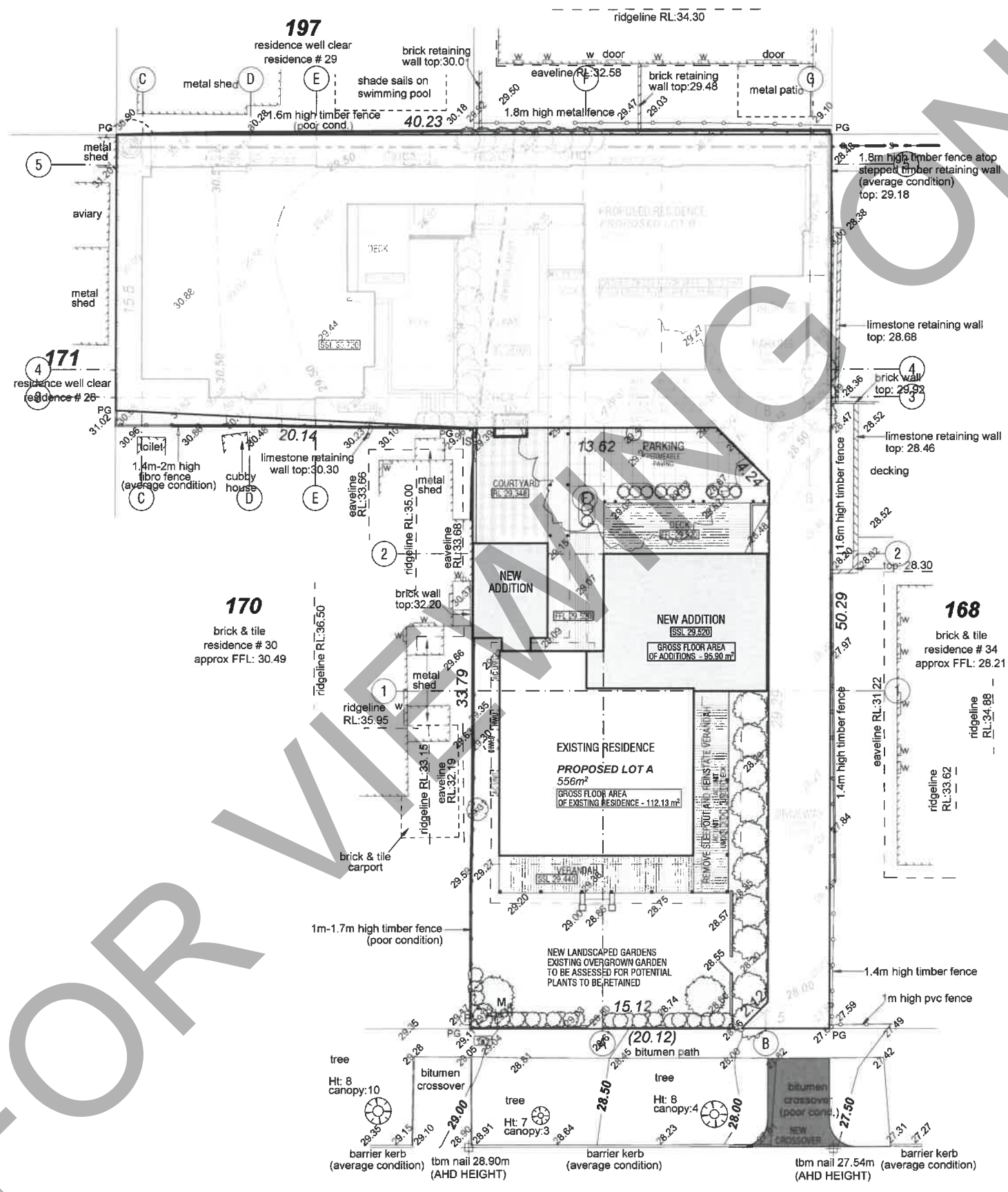
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REGISTERED ARCHITECT: CRAIG STEERE
REGISTERED SURVEYOR: CRAIG STEERE

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DATE	REVISION	DESCRIPTION
07.03.19	A	ESTIMATION SET
08.04.19	B	PRELIMINARY DA ISSUE TO CLIENT
08.06.19	C	DEVELOPMENT APPLICATION

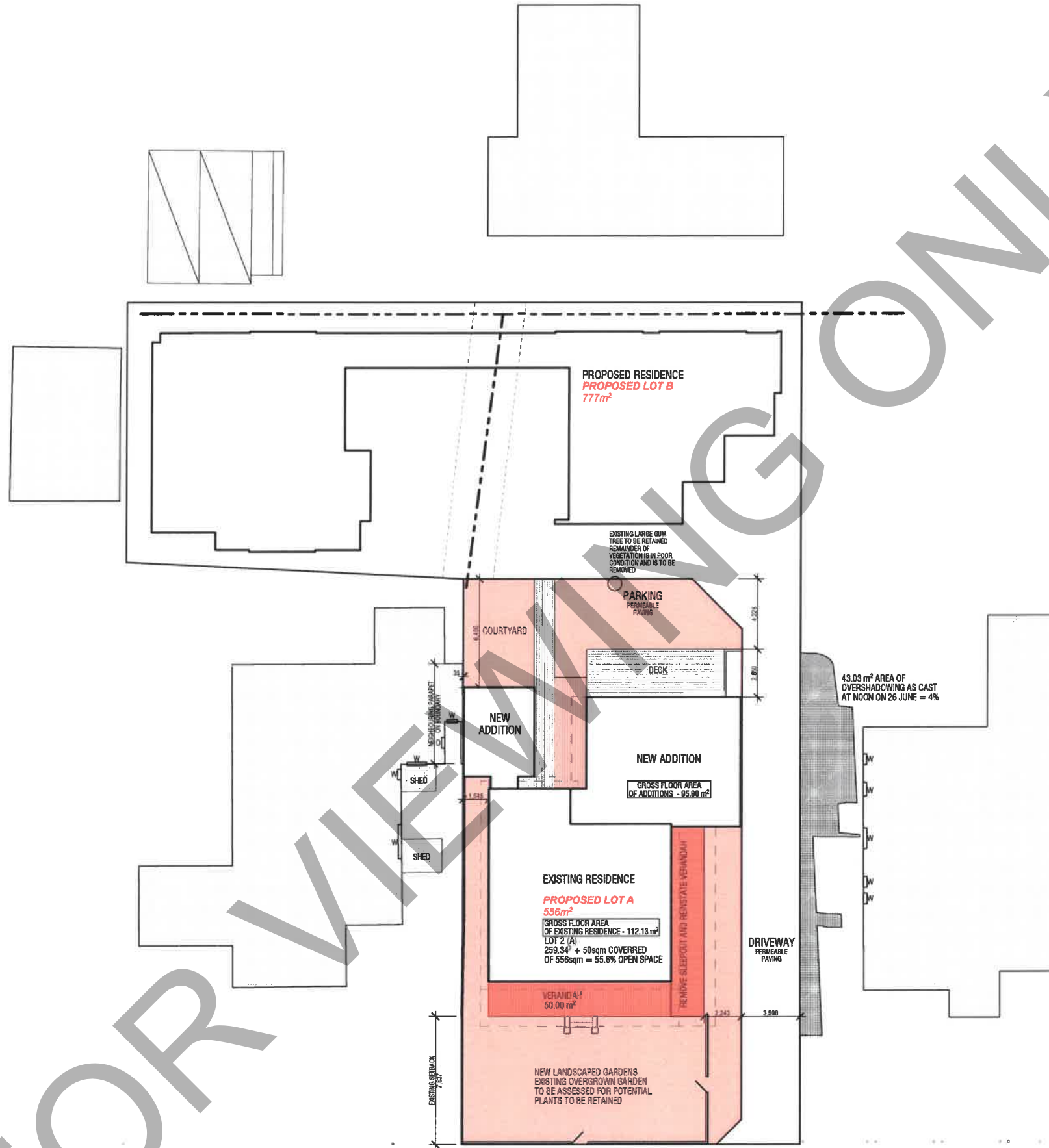
KINDRED RESIDENCE
LOT 2 (A) STREET: 32A FORTESCUE STREET SHEET A2
SUBURB: EAST FREMANTLE



TOWN OF EAST FREMANTLE
 PLANNING APPLICATION
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GROUND FLOOR SITE PLAN
 1:200





TOWN OF LAST FREMANTLE
 PLANNING APPLICATION
 DATE: 13 JUN 2019 No: F 050-19
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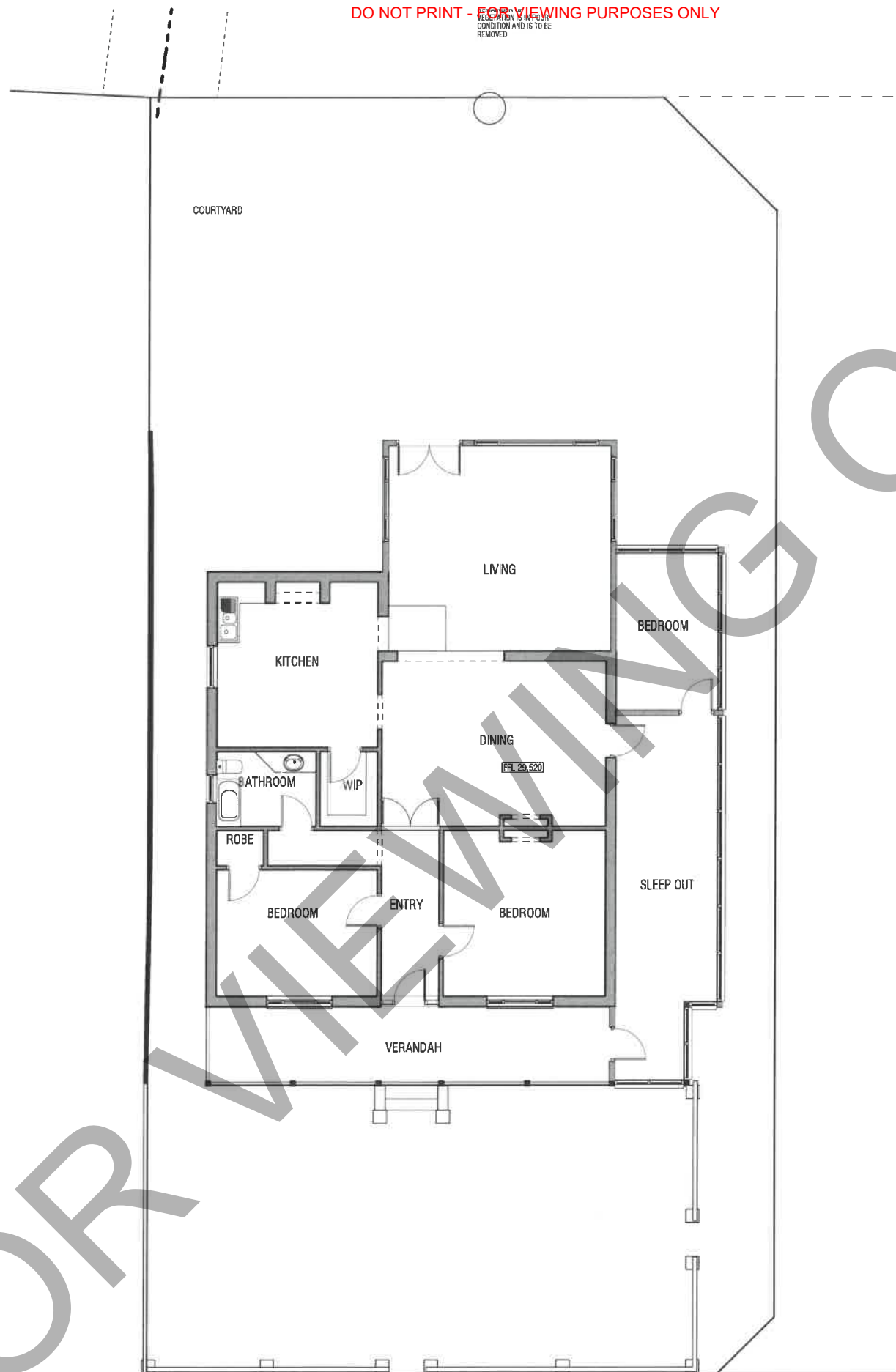
GROUND FLOOR SETBACK/OVERSHADOWING/OPENSOURCE PLAN
 1:200



DATE	REVISION	DESCRIPTION
21.03.19	A	ESTIMATION SET
08.04.19	B	PRELIMINARY ON ISSUE TO CLIENT
05.08.19	C	DEVELOPMENT APPLICATION

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VEGETATION IS TO BE
REMOVED



LEGEND

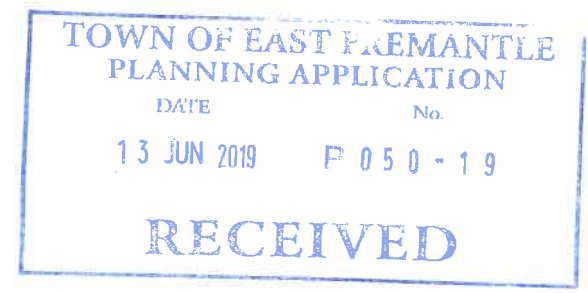
CJ : CONTROL JOINT
 CM : COFFEE MACHINE
 CU : CONDENSER UNIT
 CT : COOKTOP
 DR : DRYER
 EG : EXHAUST FAN GRILLE
 FG : FLOOR GRATE
 FR/FF : FRIDGE / FREEZER
 FW : FLOOR WASTE
 GD : GREEN DOME
 HM : HEATED MANFOLD
 HWU : HOT WATER UNIT
 LM : LIFT MOTOR CABINET
 M : MIXER
 NBN : NATIONAL BROADBAND NETWORK
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 O/MW : COMBI OVEN/MICROWAVE
 PS# : PLUMBING STACK
 (REFER TO PLUMBING DRAWINGS)
 RH : RANGEHOOD
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 SHR : SHOWER
 SR : SHOWER ROSE
 TG : TRENCH GRATE
 UHU : UNDERFLOOR HEATING UNIT
 WM : WASHING MACHINE
 WC : WATER OUTLET
 WW : WINDOW WINDERS

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 FF02 : TIMBER DECKING (AS SPEC)
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 FF08 : EXPANDED MESH (AS SPEC)

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 CF03 : EXPOSED CONCRETE (AS SPEC)

ROOF FINISHES
 RG1 : SELECTED COLOUR COLORBOND METAL DECK ROOF (AS SPEC)
 RG2 : SELECTED COLOUR COLORBOND METAL DECK ROOF (AS SPEC)



GROUND FLOOR EXISTING PLAN
1:100

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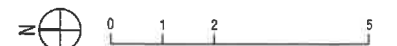
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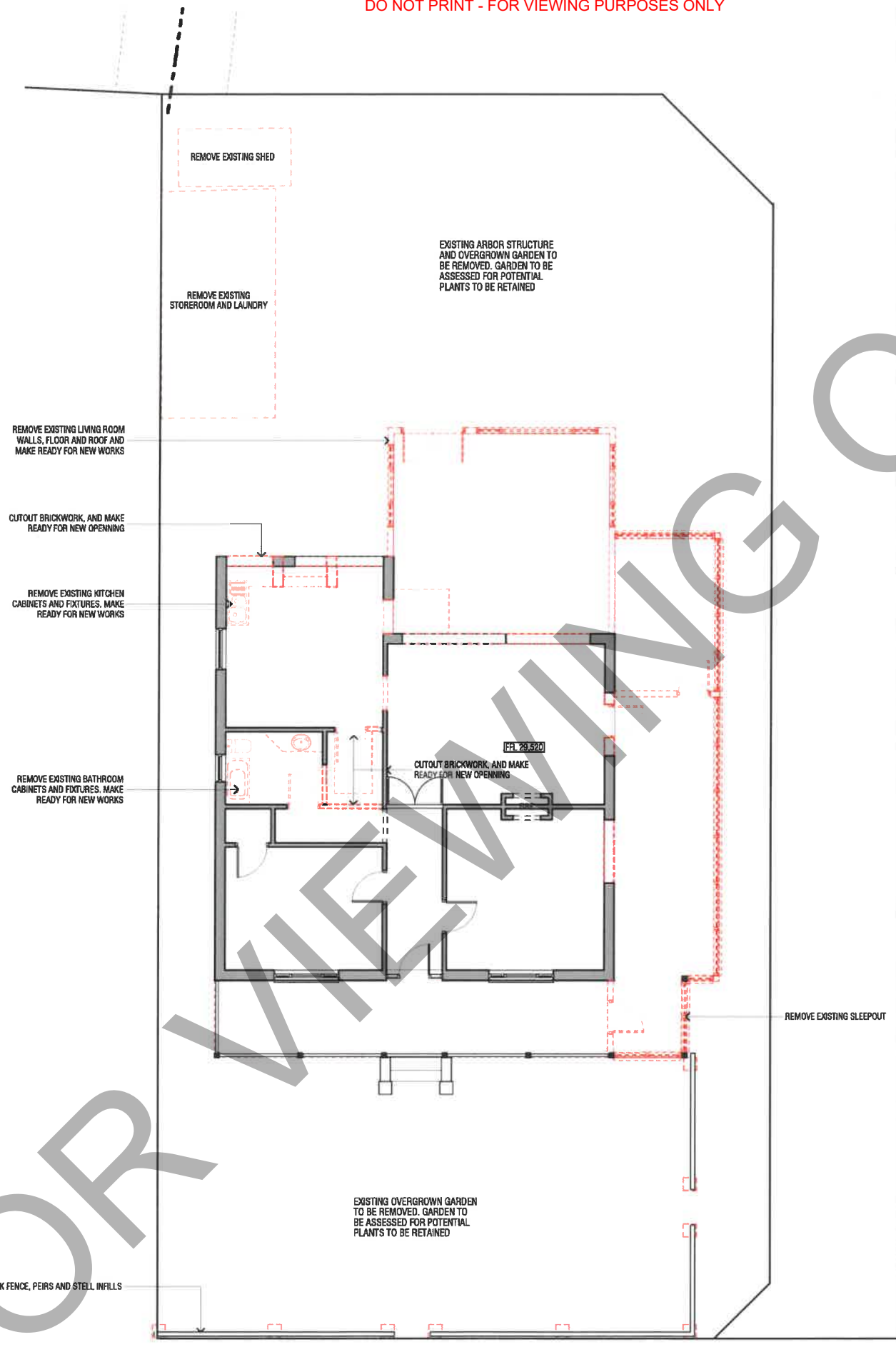
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KINDRED RESIDENCE

LOT NO LDT 2 (A) STREET 32A FORTESCUE STREET SHEET A2
SUBJ EAST FREMANTLE

DWG NO **A06**





LEGEND

- CJ: CONTROL JOINT
- CM: COFFEE MACHINE
- CU: CONDENSER UNIT
- CT: COOKTOP
- DRY: DRYER
- EG: EXHAUST FAN GRILLE
- FG: FLOOR GRATE
- FRFF: FRIDGE / FREEZER
- FW: FLOOR WASTE
- GD: GREEN DOME
- HM: HEATED MANIFOLD
- HWU: HOT WATER UNIT
- LM: LIFT MOTOR CABINET
- M: MIXER
- NBN: NATIONAL BROADBAND NETWORK
- O: OVEN
- Q/MW: COMBI OVEN/MICROWAVE
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ROOF FINISHES

- RF01: SELECTED COLOUR COLORBOND METAL DECK ROOF (AS SPEC)
- RF02: SELECTED COLOUR COLORBOND METAL DECK ROOF (AS SPEC)



GROUND FLOOR DEMOLITION PLAN
1:100



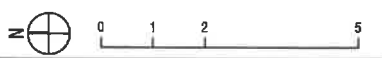
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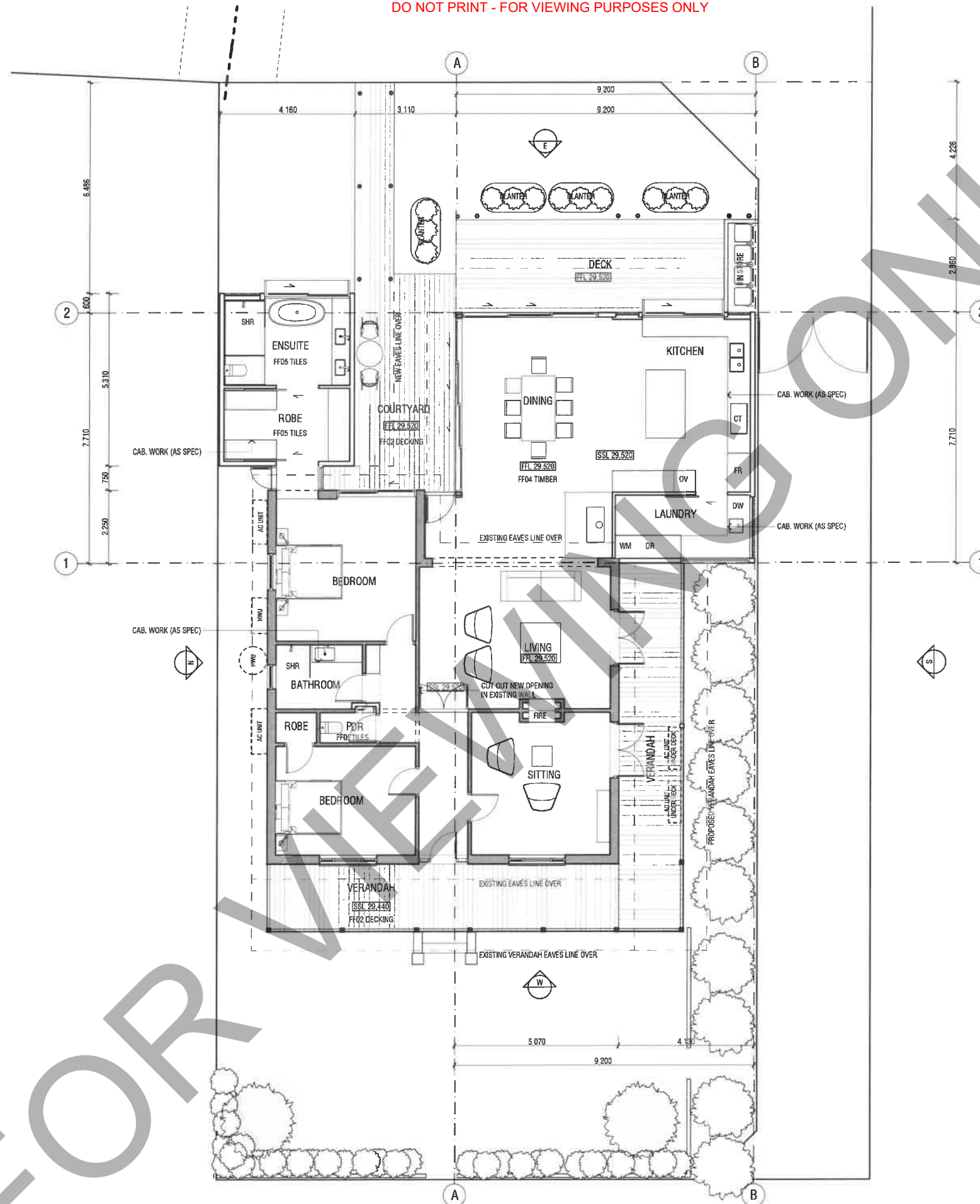
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KINDRED RESIDENCE
 LOT NO LOT 2 (A) STREET 32A FORTESCUE STREET SHEET A2
 208 NO 1814 SUBURB EAST FREMANTLE DWG NO **A07**



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LEGEND

CJ : CONTROL JOINT
 CM : COFFEE MACHINE
 CU : CONDENSER UNIT
 CT : COOKTOP
 DRY : DRYER
 EG : EXHAUST FAN GRILLE
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TOWN OF EAST FREMANTLE
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 No. F 050-19
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GROUND FLOOR PLAN
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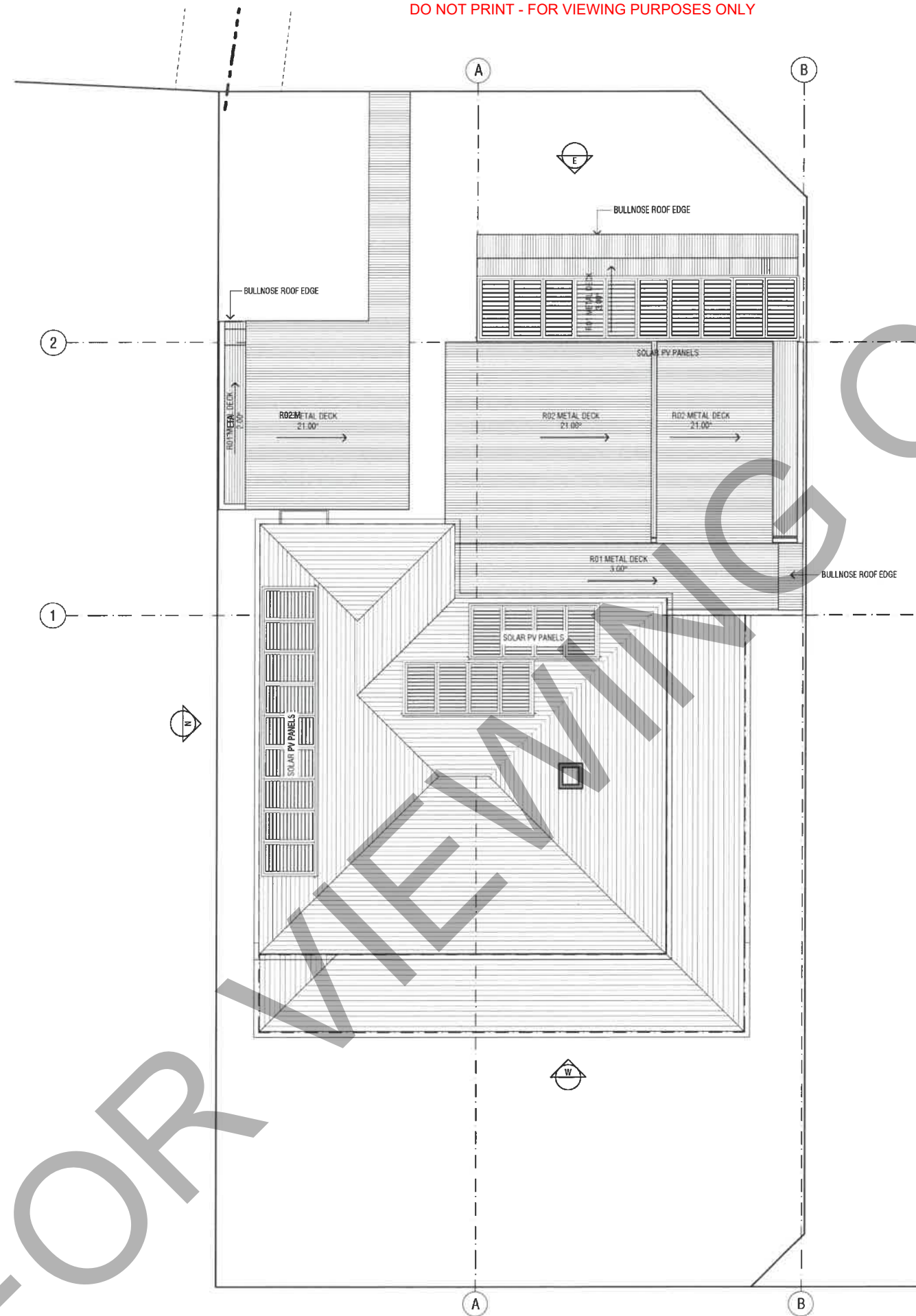
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KINDRED RESIDENCE
 LOT NO LOT 2 (A) STREET 32A FORTESCUE STREET SHEET A2
 JOB NO 1914 SURNAME EAST FREMANTLE DWG NO A08

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 RD3: SELECTED COLOUR COLORBOND METAL DECK ROOF (AS SPEC)



ROOF PLAN
1:100

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 TELEPHONE: 08 9436 7700
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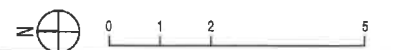
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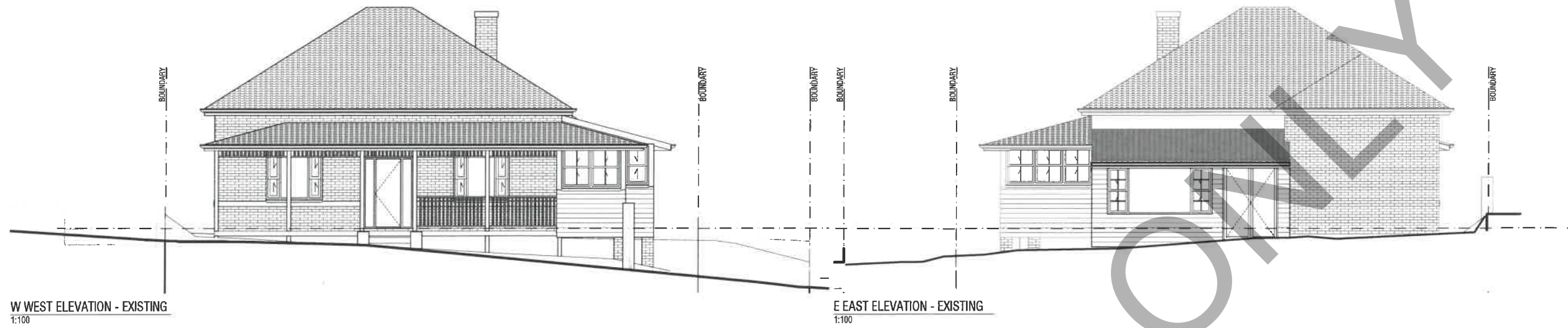
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KINDRED RESIDENCE

LOT NO: LOT 2 (A) STREET: 32A FORTESCUE STREET SHEET A2
JOB NO: 1814 SUBURB: EAST FREMANTLE

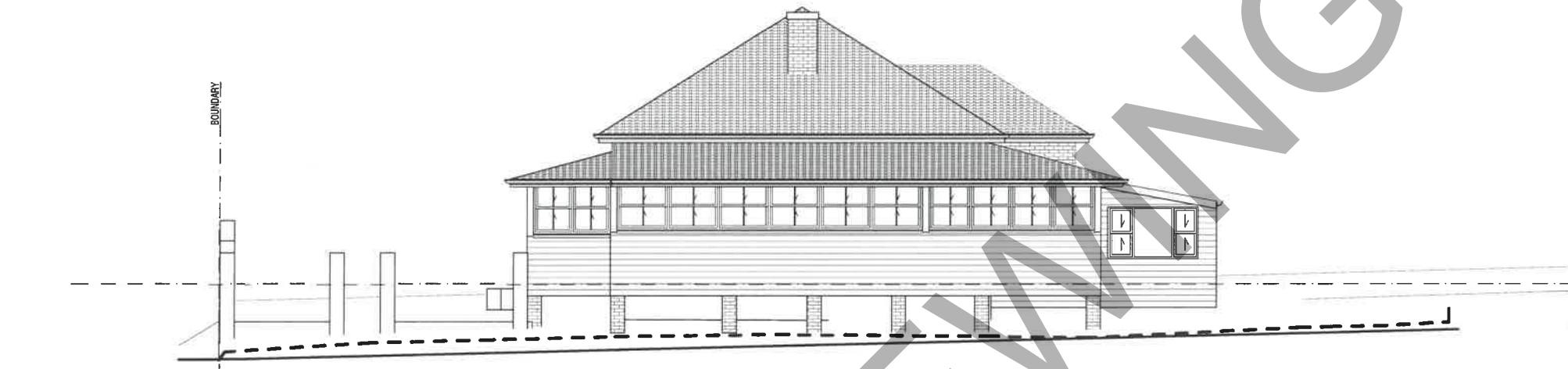
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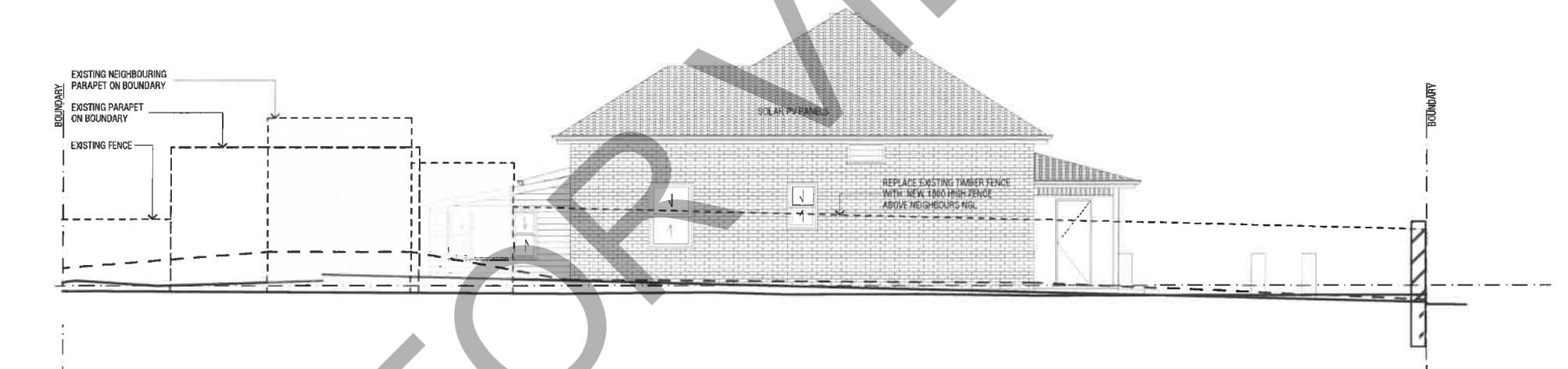


W WEST ELEVATION - EXISTING
1:100

E EAST ELEVATION - EXISTING
1:100



S SOUTH ELEVATION - EXISTING
1:100

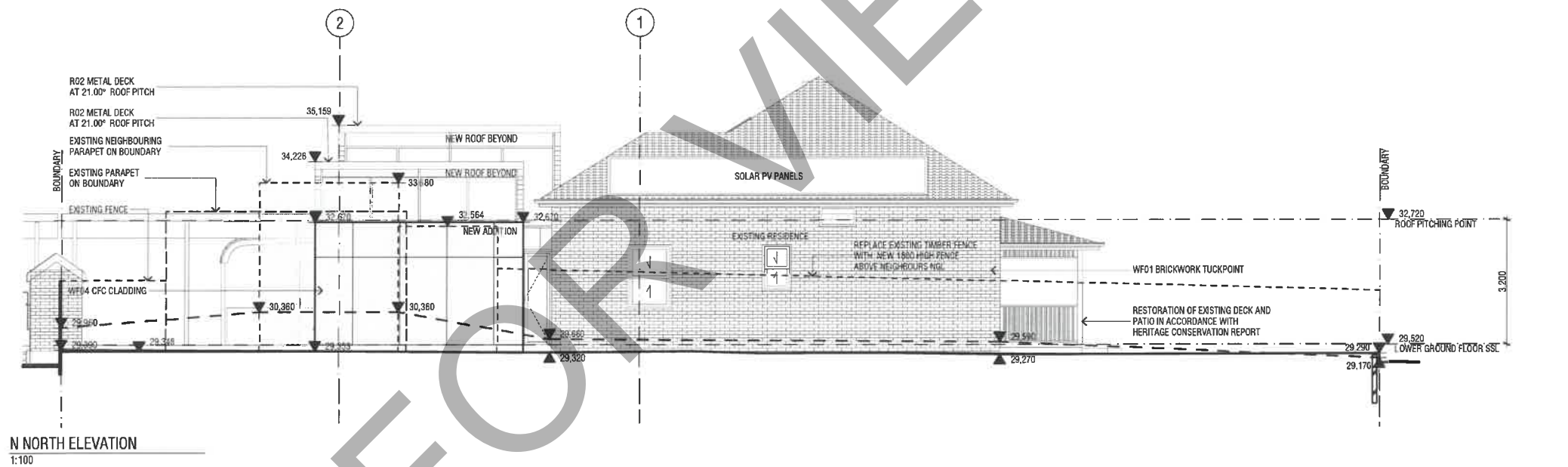
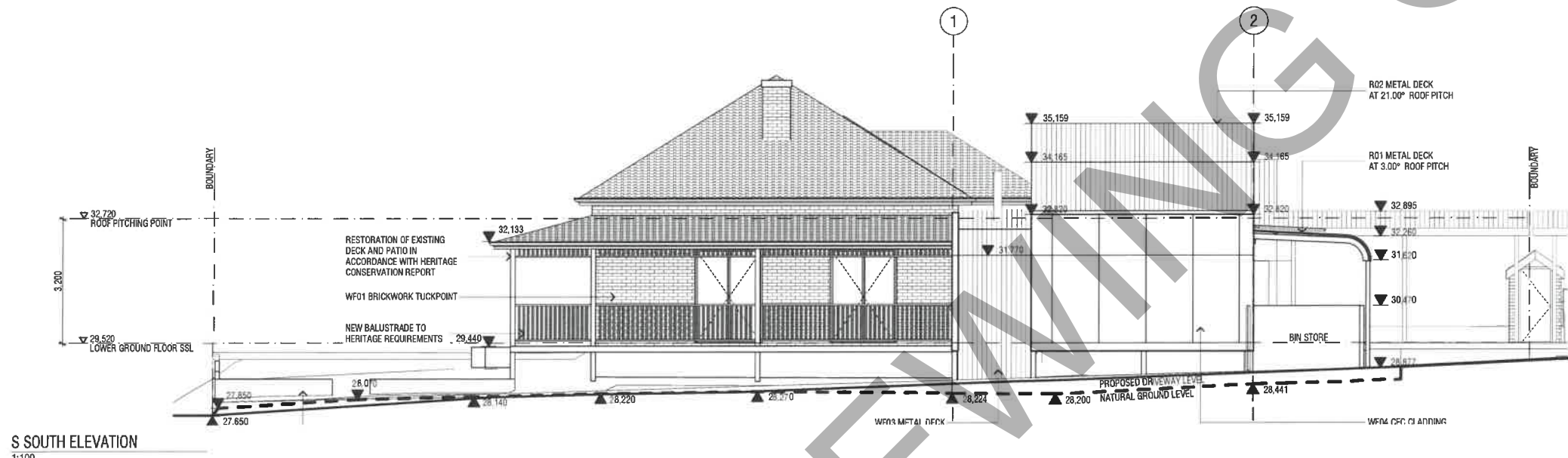
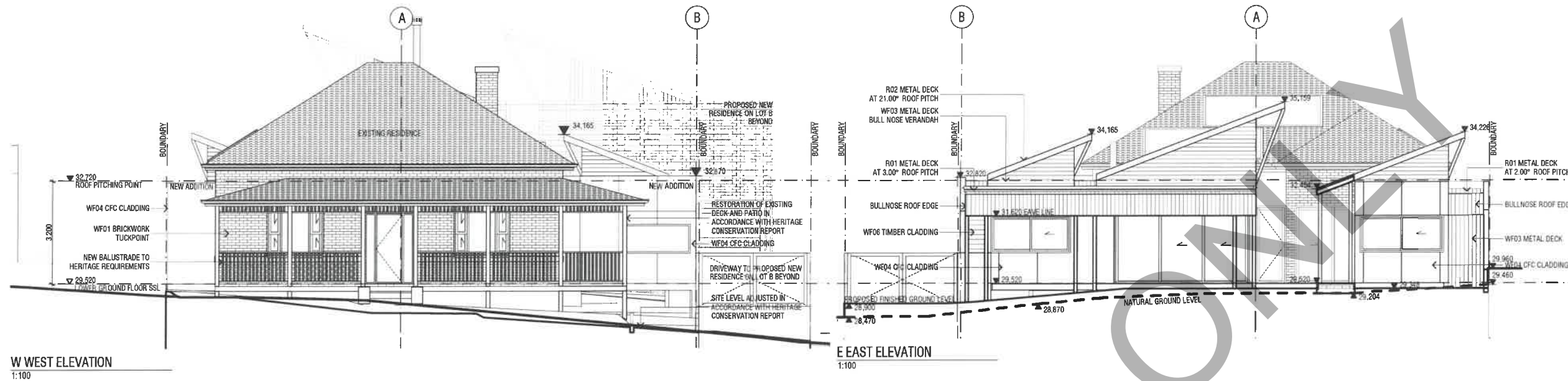


N NORTH ELEVATION - EXISTING
1:100

LEGEND	
CJ	: CONTROL JOINT
CM	: COFFEE MACHINE
CU	: CONDENSER UNIT
CT	: COOKTOP
DRY	: DRYER
EG	: EXHAUST FAN GRILLE
FG	: FLOOR GRATE
FRFF	: FRIDGE/FREEZER
FW	: FLOOR WASTE
GD	: GREEN DOME
HM	: HEATED MANFOLD
HWU	: HOT WATER UNIT
LM	: LIFT MOTOR CABINET
M	: MIXER
NBN	: NATIONAL BROADBAND NETWORK
O	: OVEN
OMW	: COMBI OVEN/MICROWAVE
PS#	: PLUMBING STACK (REFER TO PLUMBING DRAWINGS)
RH	: RANGEHOOD
RHG	: RANGEHOOD GRILLE
RWP	: RAINWATER PIPE
S/B	: ELECTRICAL SUB BOARD
SHR	: SHOWER
SR	: SHOWER ROSE
TO	: TRENCH GRATE
UHU	: UNDERFLOOR HEATING UNIT
WM	: WASHING MACHINE
WO	: WATER OUTLET
WW	: WINDOW WINDERS
FLOOR FINISHES	
FFD1	: CONC. PAVERS (AS SPEC)
FFD2	: TIMBER DECKING (AS SPEC)
FFD3	: EXISTING TIMBER (AS SPEC)
FFD4	: SELECTED TIMBER (AS SPEC)
FFD5	: SELECTED TILES (AS SPEC)
FFD6	: BURNISHED CONC. (AS SPEC)
FFD7	: PLYWOOD (AS SPEC)
FFD8	: EXPANDED MESH (AS SPEC)
WALL FINISHES	
WFD1	: EXISTING FACE BRICKWORK RE TUCKPOINTED (AS SPEC)
WFD2	: FACE BRICKWORK (AS SPEC)
WFD3	: SELECTED COLOUR COLORBOND CLADDING (AS SPEC)
WFD4	: SELECTED COLOUR PAINT FINISH (AS SPEC) TO NEGATIVE JOINTED CFC (AS SPEC)
WFD5	: SELECTED COLOUR PAINT FINISH (AS SPEC) TO NEGATIVE JOINTED CFC
WFD6	: TIMBER CLADDING (AS SPEC)
WFD7	: SELECTED COLOUR PAINT FINISH (AS SPEC) TO FLUSH PLASTERBOARD WALL LINING (AS SPEC)
WFD8	: SELECTED COLOUR PAINT FINISH (AS SPEC) HARDWALL PLASTER (AS SPEC)
CEILING FINISHES	
CFD1	: SELECTED COLOUR PAINT FINISH (AS SPEC) TO FLUSH PLASTERBOARD CEILING (AS SPEC)
CFD2	: SELECTED COLOUR PAINT FINISH (AS SPEC) TO NEGATIVE JOINTED CFC (AS SPEC)
CFD3	: EXPOSED CONCRETE (AS SPEC)
ROOF FINISHES	
RF01	: SELECTED COLOUR COLORBOND METAL DECK ROOF (AS SPEC)
RF02	: SELECTED COLOUR COLORBOND METAL DECK ROOF (AS SPEC)



DATE	REVISION	DESCRIPTION
21.03.19	A	ESTIMATION SET
08.04.19	B	PRELIMINARY DA ISSUE TO CLIENT
05.06.19	C	DEVELOPMENT APPLICATION



LEGEND

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- SR : SHOWER
- TR : TRASH GRATE
- UHU : UNDER FLOOR HEATING UNIT
- WM : WASHING MACHINE
- WO : WATER OUTLET
- WW : WINDOW WINDERS

FLOOR FINISHES

- FF01 : CONC. PAVERS (AS SPEC)
- FF02 : TIMBER DECKING (AS SPEC)
- FF03 : EXISTING TIMBER (AS SPEC)
- FF04 : SELECTED TIMBER (AS SPEC)
- FF05 : SELECTED TILES (AS SPEC)
- FF06 : BURNISHED CONC. (AS SPEC)
- FF07 : PLYWOOD (AS SPEC)
- FF08 : EXPANDED MESH (AS SPEC)

WALL FINISHES

- WF01 : EXISTING FACE BRICKWORK RE TUCKPOINTED (AS SPEC)
- WF02 : FACE BRICKWORK (AS SPEC)
- WF03 : SELECTED COLOUR COLORBOND CLADDING (AS SPEC)
- WF04 : SELECTED COLOUR PAINT FINISH (AS SPEC) TO NEGATIVE JOINTED CFC (AS SPEC)
- WF05 : SELECTED COLOUR PAINT FINISH (AS SPEC) TO NEGATIVE JOINTED CFC
- WF06 : TIMBER CLADDING (AS SPEC)
- WF07 : SELECTED COLOUR PAINT FINISH (AS SPEC) TO FLUSH PLASTERBOARD WALL LINING (AS SPEC)
- WF08 : SELECTED COLOUR PAINT FINISH (AS SPEC) HARDWALL PLASTER (AS SPEC)

CEILING FINISHES

- CF01 : SELECTED COLOUR PAINT FINISH (AS SPEC) TO FLUSH PLASTERBOARD CEILING (AS SPEC)
- CF02 : SELECTED COLOUR PAINT FINISH (AS SPEC) TO NEGATIVE JOINTED CFC (AS SPEC)
- CF03 : EXPOSED CONCRETE (AS SPEC)

ROOF FINISHES

- RO1 : SELECTED COLOUR COLORBOND METAL DECK ROOF (AS SPEC)
- RO2 : SELECTED COLOUR COLORBOND METAL DECK ROOF (AS SPEC)



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STREETScape VIEWED FROM OPPOSITE SIDE OF FORTESCUE STREET

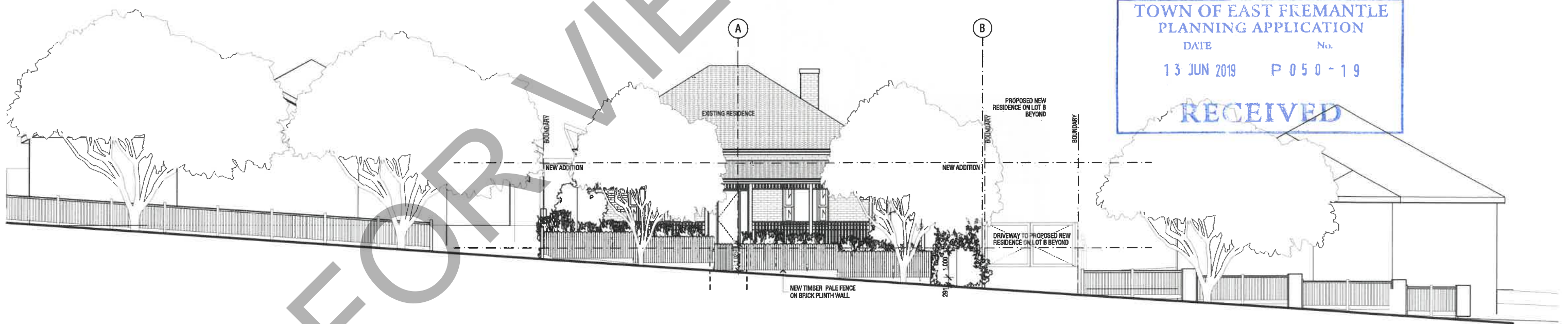


TOWN OF EAST FREMANTLE
PLANNING APPLICATION
No. P 050-19
DATE 13 JUN 2019
RECEIVED





STREETSCAPE VIEWED FROM OPPOSITE SIDE OF FORTESCUE STREET IN FRONT OF DRIVEWAY



TOWN OF EAST FREMANTLE
PLANNING APPLICATION
DATE No.
13 JUN 2019 P 050 - 19
RECEIVED

W1 STREETSCAPE W1
1:100

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KINDRED RESIDENCE

LOT NO LOT 2 (A) STREET 32A FORTESCUE STREET SHEET A2
JOB NO 1814 SUBURB EAST FREMANTLE

DWG NO A13