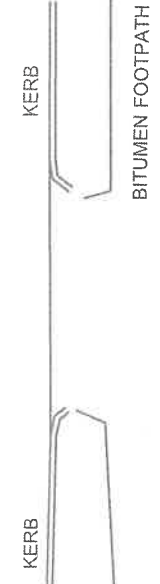


ALLEN STREET



263

6 ALLEN ST

EXISTING  
RIGHT OF CARRIAGEWAY  
EASEMENT - BENEFIT TO  
LOTS 262 AND 263

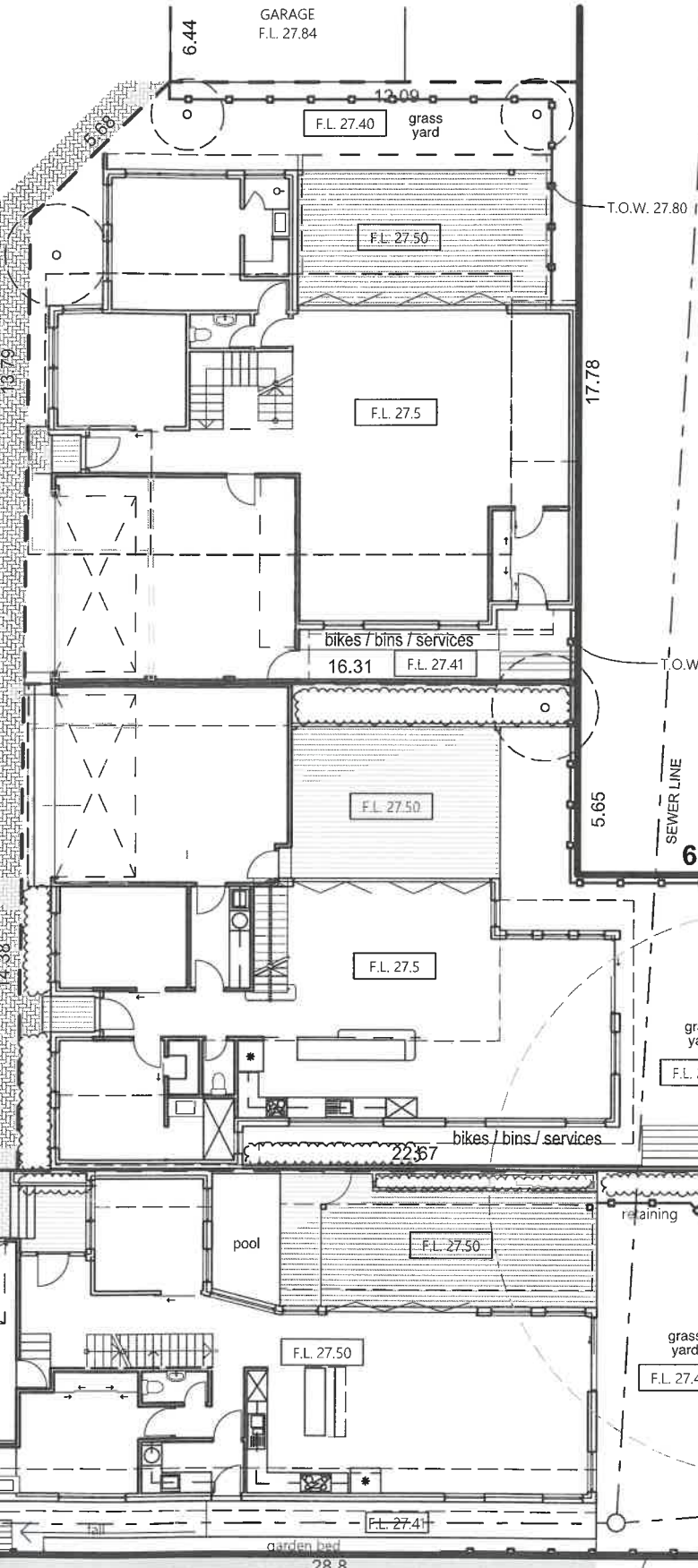
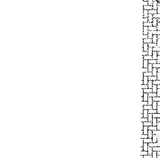
(6m WIDE)

262

16 ALLEN ST

Grass  
34.23m<sup>2</sup>

Common  
Property  
(6m WIDE)



54  
BRICK & TILE  
RESIDENCE  
WELL CLEAR

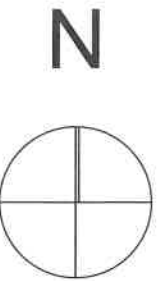
111  
BRICK & IRON  
RESIDENCE  
WELL CLEAR

Shadow Calculations

Winter Shadow Area	120m <sup>2</sup>
LOT 48 Site Area	1090m <sup>2</sup>
Shadow Percentage	11%

48  
grey hatch indicate max winter shadow cast at  
12pm 21st June

TOWN OF EAST FREMANTLE  
PLANNING APPLICATION  
No. P 024 - 20  
DATE 11 MAR 2020  
**RECEIVED**



0.

Site Plan

1:200



address : Unit 3 No5 Hathor Way Bibra Lake  
Ph. : (08) 9 494 2001  
web: www.sidiconstruction.com.au Email: admin@sidiconstruction.com.au

CLIENT|PROJECT:  
3 new grouped dwellings for Corey Parsons at  
8 Allen st (Lot 261) East Fremantle

DRAWING TITLE  
Proposed Site Plan

PROJECT STATUS:  
Planning Application

DESIGNER:  
A I  
DRAWN:  
ARIFIN IRIKS

SCALE:  
As shown @ A3  
REVISION DATE:  
10/03/2020

PROJECT NO:  
0000  
REVISION  
0000

DWG NO:

01