

23-1034 PLANNING DRAWINGS

PROPOSED DEVELOPMENT: TWO STOREY DWELLING
ADDRESS: 156 PRESTON POINT RD, EAST FREMANTLE
LOCAL GOVERNMENT: TOWN OF EAST FREMANTLE
APPLICANT: CAMPANA



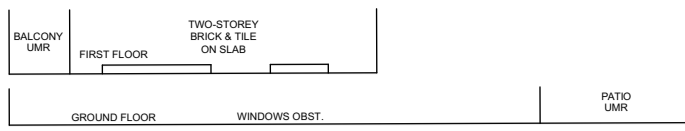
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- 5 FF FLOOR PLAN
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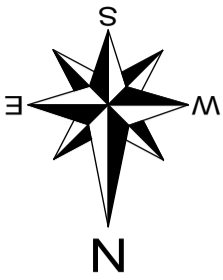


BLEND
RESIDENTIAL DESIGNS

▲ NOTE:
 TELSTRA/COMMS. PIT NOT LOCATED
 ADJACENT TO LOT AT TIME OF SURVEY.
 VERIFY AVAILABILITY WITH TELSTRA.



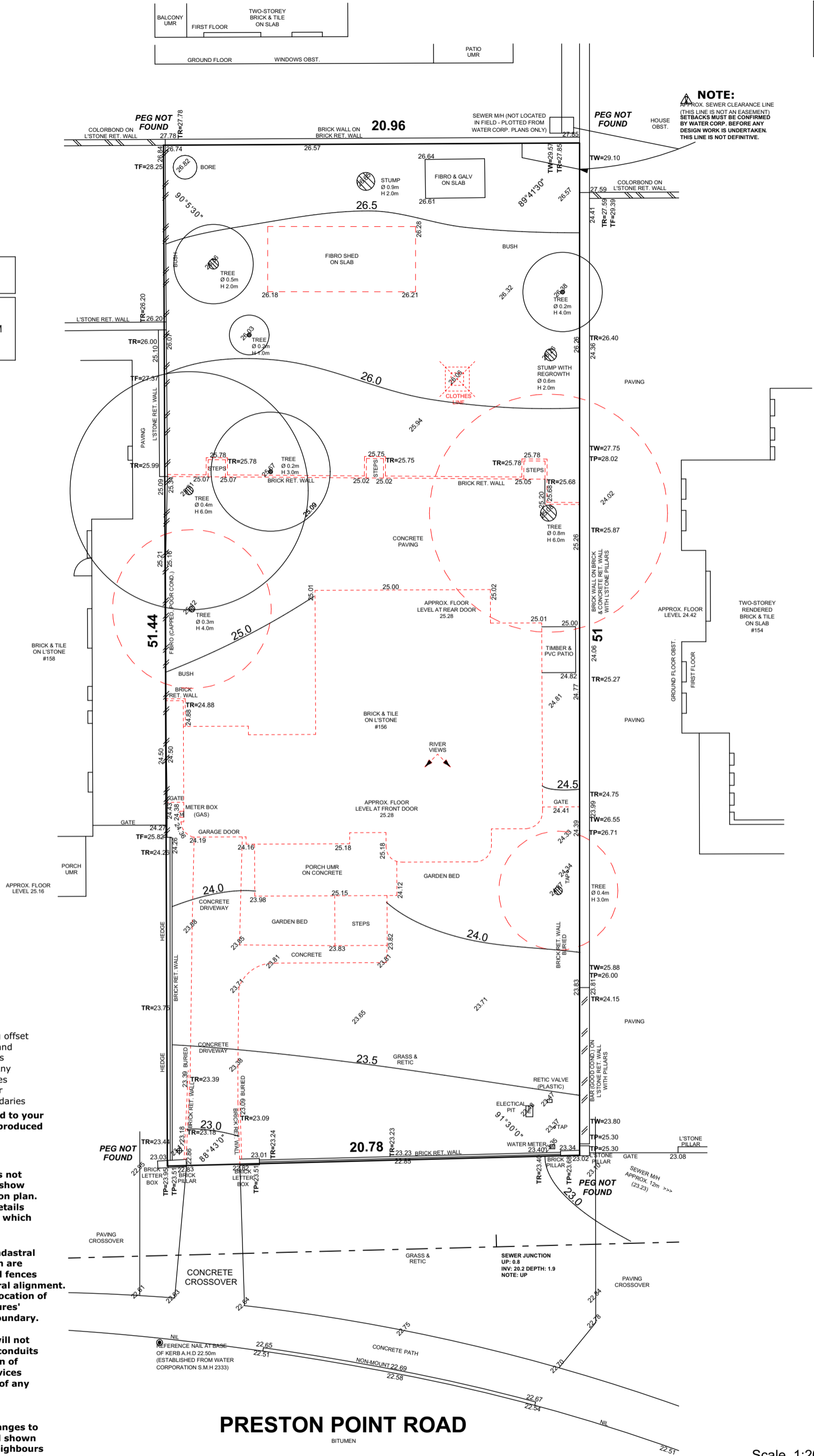
LEGEND	
	POWER POLE
	PHONE PITS
	WATER COLUMN
	TOP PILLAR/POST
	TOP WALL
	TOP RETAINING
	TOP FENCE



**RE-PEG RECOMMENDED
 PRIOR TO ANY NEW WORKS**

NOTE: DEMOLITION BY OWNER
 ALL DEMOLITION ELEMENTS INDICATED
 BY DASHED LINES TO BE REMOVED FROM
 SITE BY OWNER PRIOR TO ANY WORKS
 BY THE BUILDER

▲ NOTE:
 APPROX. SEWER CLEARANCE LINE
 (THIS LINE IS NOT AN EASEMENT)
 SETBACKS MUST BE CONFIRMED
 BY WATER CORP. BEFORE ANY
 DESIGN WORK IS UNDERTAKEN.
 THIS LINE IS NOT DEFINITIVE.



PRESTON POINT ROAD

**LOT MISCLOSE
 0.011 m**

DISCLAIMER:
 Due to lack of survey marks/pegs, all building offset dimensions & features are approximate only and positioned from existing pegs/fences and walls which may not be on the correct alignment. Any design that involves additions to any structures shown or portion of structures remaining after any demolition has taken place requires boundaries

to be repegged and exact offsets provided to your designer/architect before any plans are produced and before any work is started on site.

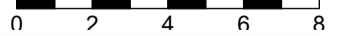
DISCLAIMER:
 Lot boundaries drawn on survey are based on landgate plan only. Survey does not include title search and as such may not show easements or other interests not shown on plan. Title should be checked to verify all lot details and for any easements or other interests which may affect building on the property.

DISCLAIMER:
 Survey does not include verification of cadastral boundaries. All features and levels shown are based on orientation to existing pegs and fences only which may not be on correct cadastral alignment. Any designs based or dependent on the location of existing features should have those features' location verified in relation to the true boundary.

DISCLAIMER:
 Survey shows visible features only and will not show locations of underground pipes or conduits for internal or mains services. Verification of the location of all internal and mains services should be confirmed prior to finalisation of any design work.

DISCLAIMER:
 Cottage & Engineering surveys accept no responsibility for any physical on site changes to the parcel or portion of the parcel of land shown on this survey including any adjoining neighbours levels and features that have occurred after the date on this survey. All Sewer details plotted from information supplied by Water Corporation

Scale 1:200



In Conjunction
 With



The contractor / builder is responsible for setting out and checking all levels and measurements on site. All dimensions are to be checked and verified by the owner / builder and any discrepancies in this document must be resolved before ordering or commencement of any works.

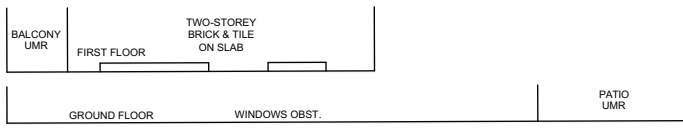
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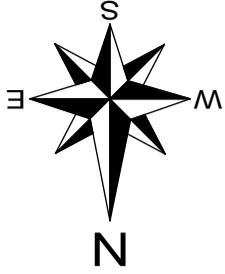
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 W: www.blenddesigns.com.au

DRAWING NAME: DEMO PLAN	SHEET No: 2 OF 9	REVISION: D	JOB No: 23-1034	NOTE: TO SCALE ON A3 SHEET
OWNER	DATE	CIENT: CAMPANA ADDRESS: 156 PRESTON POINT RD, EAST FREMANTLE TOWN OF EAST FREMANTLE		
OWNER	DATE	DRAWN BY: BLEND	SCALE: JAN / 2024	
DESIGNER	DATE			

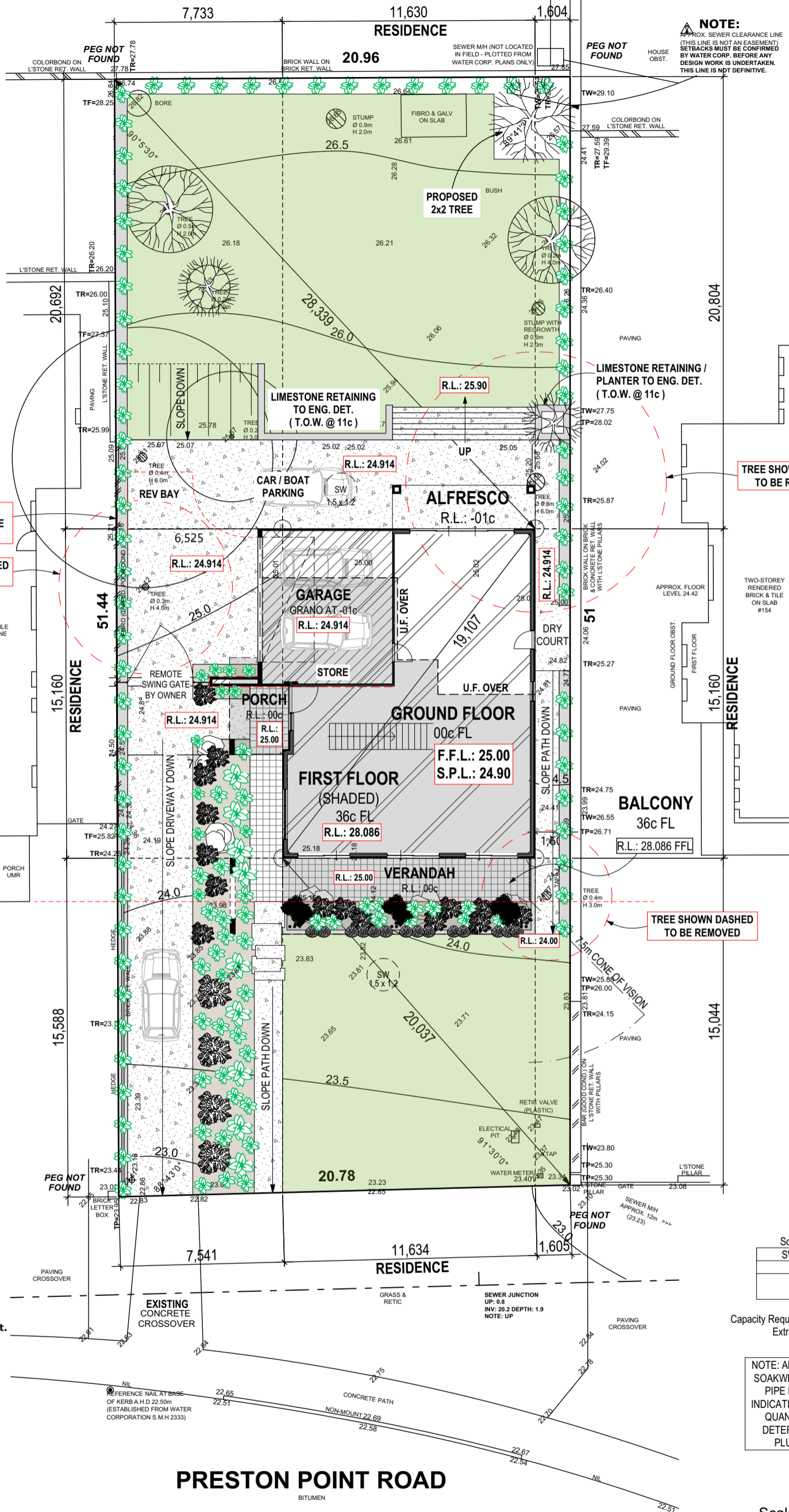
▲ NOTE:
TELSTRA/COMMS. PIT NOT LOCATED
ADJACENT TO LOT AT TIME OF SURVEY.
VERIFY AVAILABILITY WITH TELSTRA.



POWER DOME
POWER POLE
PHONE PITS
WATER CONN.
TP=10.00 TOP PILLAR/POST
TW=10.00 TOP WALL
TR=10.00 TOP RETAINING
TF=10.00 TOP FENCE



- TERMITE TREATMENT IS TO BE IN ACCORDANCE WITH THE NATIONAL CONSTRUCTION CODE 2019
- RETAINING WALL NOTE: HEIGHTS NOTED ARE NOMINAL ONLY & MUST BE ADJUSTED TO SUIT ACTUAL SITE LEVELS
- REFER TO ENGINEERS DRAWINGS FOR STRUCTURAL DETAILS & LAYOUT
- STORMWATER DISPOSAL TO COUNCIL REQUIREMENTS (SOAKWELLS)
- EARTHWORKER NOTE: F.L. MAY VARY +/- 40mm
- NOTE: PROVIDE 3 PHASE POWER TO METER
- POSSIBLE UNDERMINING TO EXISTING RETAINING / SCREEN WALLS TO BE REVIEWED BY ENGINEER



▲ NOTE:
APPROX. SEWER CLEARANCE LINE
(THIS LINE IS NOT AN EASEMENT)
SETBACKS MUST BE CONFIRMED
BY WATER CORP. BEFORE ANY
DESIGN WORK IS UNDERTAKEN.
THIS LINE IS NOT DEFINITIVE.

NEW 1800H
COLORBOND FENCE
W/- PLINT UNDER

TREE SHOWN DASHED
TO BE REMOVED

TREE SHOWN DASHED
TO BE REMOVED

TREE SHOWN DASHED
TO BE REMOVED

SITE COVERAGE

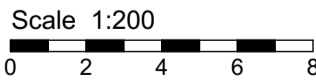
ZONED	R17.5
% ALLOWED	50%
SITE AREA	1,069.09m ²
SITE COV. AREA	185.34m ²
SITE COV.	-17.3%

LOT MISCLOSE
0.011 m

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Soak Well Type	No.	
SW 1500x1200	2	4.2 m ³
Total Capacity		4.2 m ³
Roof Area GF		204.4 m ²
Roof Area UF		72.6 m ²
Total Area		276.9 m ²
Capacity Required (Area x 0.0125)		3.5 m ³
Extra Capacity Provided		0.8 m ³

NOTE: ALL DOWNPIPES CONNECTED TO SOAKWELLS WITH PVC STORMWATER PIPE LOCATIONS OF DOWNPIPES INDICATIVE ONLY. FINAL POSITION AND QUANTITY OF DOWNPIPES TO BE DETERMINED BY QUALIFIED ROOF PLUMBER PRIOR TO WORKS.



87-89 Guthrie Street
Osborne Park, WA 6017

PO Box 1611
Osborne Park
Business Centre WA 6917

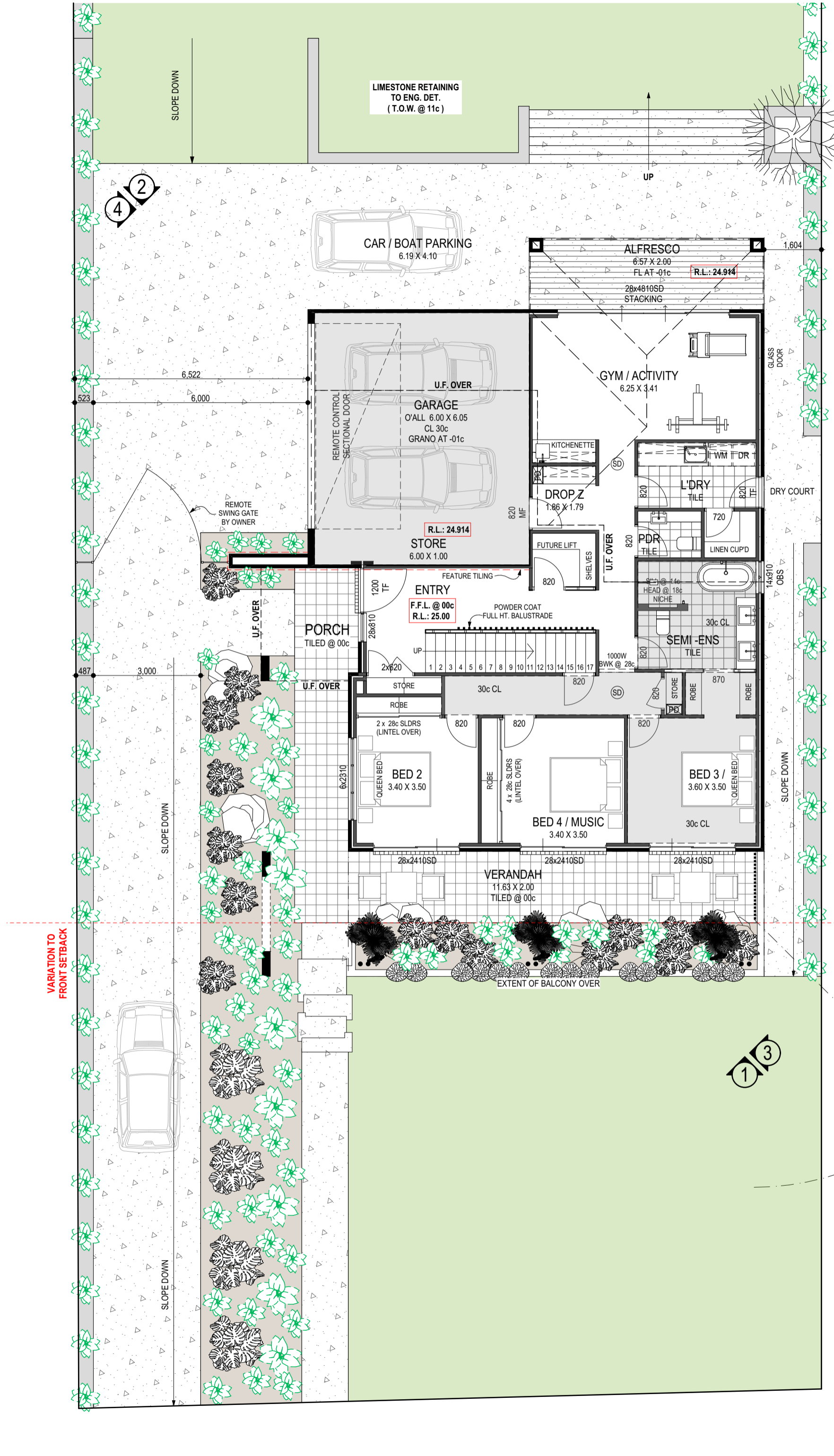
P: (08) 9446 7361
E: perth@cottage.com.au
W: www.cottage.com.au

JOB # 550023
CLIENT Campana, Mark
ADDRESS #156 Preston Point Road
SUBURB East Fremantle
LGA TOWN OF EAST FREMANTLE
DRAWN B. Smith

GPS Lat: -32.030819 Long: 115.771970
LOT Lot 1 (Plan 1794)
AREA 1067m² VOL. 1017 FOL. 188
DATE 11 Jul 23 SSA No

ROADS Bitumen
KERBS Non-Mount / Nil
FOOTPATH Concrete
SOIL Sand
DRAINAGE Good
VEGETATION Light Grass Cover

ELEC. U/Ground
COMMS. Not loc.
WATER Yes
GAS Check Alinta
SEWER Yes (Approximate Only Confirm With Shire)
COASTAL 200m To River



ID	AREA	M ²	PERIM.
01	ALFRESCO	13.14	17.14
01	GROUND FLOOR	138.25	53.58
02	GARAGE	45.41	27.02
03	PORCH	12.71	19.42
04	VERANDAH	26.26	30.26
		235.77 m²	147.42 m

ID	AREA	M ²	PERIM.
05	FIRST FLOOR	133.34	53.94
06	BALCONY	40.71	30.26
		174.05 m²	84.20 m

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES
CEILING THROUGHOUT 33c UN.O

NOTE: TO SCALE ON A3 SHEET

DRAWING NAME:	GF FLOOR PLAN
SHEET No:	4 OF 9
REVISION:	D
JOB No:	23-1034
CLIENT:	CAMPANA
ADDRESS:	156 PRESTON POINT RD, EAST FREMANTLE TOWN OF EAST FREMANTLE
OWNER:	DATE
OWNER:	DATE
DESIGNER:	DATE
DRAWN BY:	BLEND
DATE DRAWN:	JAN / 2024
SCALE:	1:100

The contractor / builder is responsible for setting out and checking all levels and measurements on site. All dimensions are to be checked and verified by the owner / builder and any discrepancies in this document must be resolved before ordering or commencement of any works.

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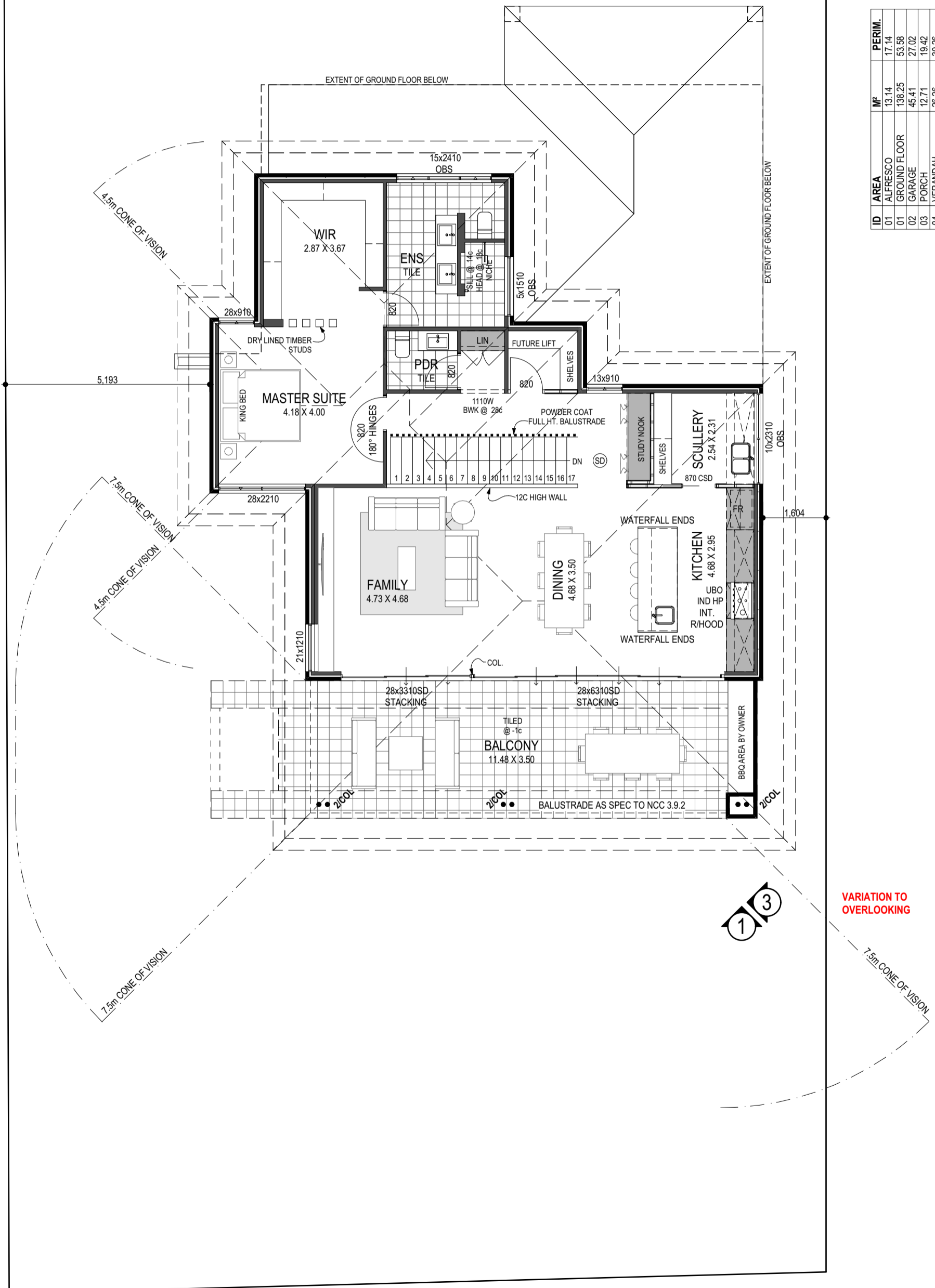


In Conjunction With

VARIATION TO FRONT SETBACK

VARIATION TO OVERLOOKING

4/2



ID	AREA	M ²	PERIM.
01	ALFRESCO	13.14	17.14
01	GROUND FLOOR	138.25	53.58
02	GARAGE	45.41	27.02
03	PORCH	12.71	19.42
04	VERANDAH	26.26	30.26
		235.77 m²	147.42 m

ID	AREA	M ²	PERIM.
05	FIRST FLOOR	133.34	53.94
06	BALCONY	40.71	30.26
		174.05 m²	84.20 m

THIS DESIGN MAY BE SUBJECT TO FURTHER CHANGES DUE TO ADDITIONAL REQUIREMENTS IMPOSED BY LOCAL AUTHORITIES
CEILING THROUGHOUT 34c U.N.O

NOTE: TO SCALE ON A3 SHEET

DRAWING NAME:	FF FLOOR PLAN	SHEET No:	5 OF 9	REVISION:	D	JOB No:	23-1034
OWNER:	CAMPANA	DATE:		DATE DRAWN:	JAN / 2024	SCALE:	1:100
OWNER:	156 PRESTON POINT RD, EAST FREMANTLE TOWN OF EAST FREMANTLE	DATE:		DESIGNER:	BLEND		

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VARIATION TO OVERLOOKING

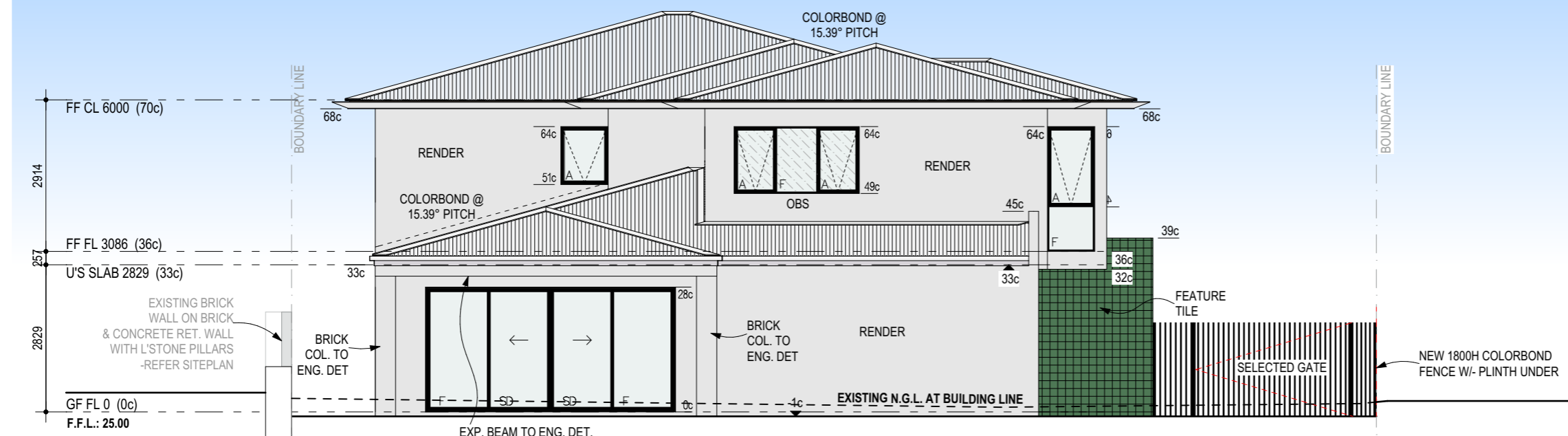


In Conjunction With





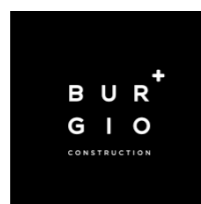
ELEVATION 1 (NORTH)
1:100



ELEVATION 2 (SOUTH)
1:100



In Conjunction With



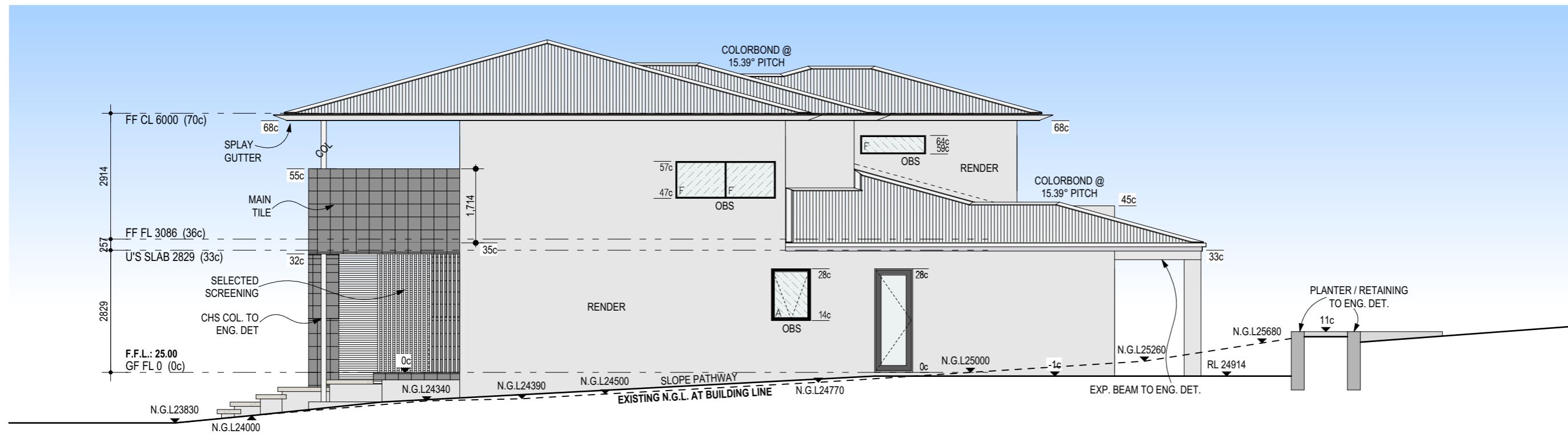
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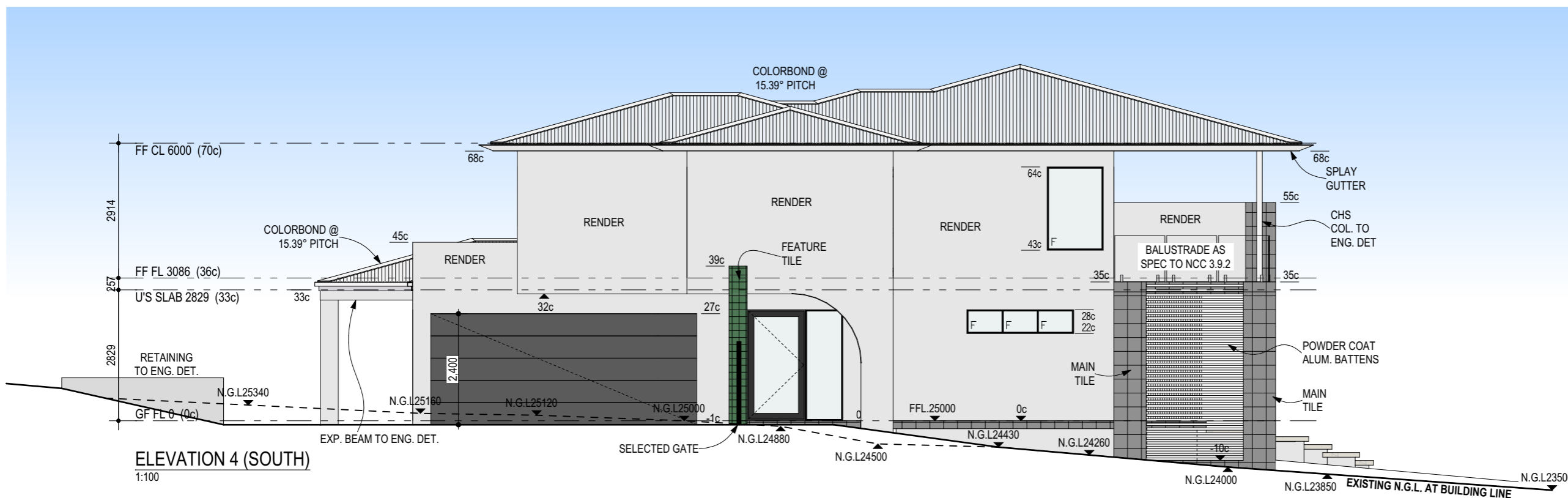
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DRAWING NAME: ELEVATIONS 1 & 2		SHEET No: 6 OF 9	REVISION: D	JOB No: 23-1034
OWNER	DATE	CLIENT: CAMPANA		
OWNER	DATE	ADDRESS: 156 PRESTON POINT RD, EAST FREMANTLE		
DESIGNER	DATE	TOWN OF EAST FREMANTLE		
		DRAWN BY: BLEND	DATE DRAWN: JAN / 2024	SCALE: 1:100

NOTE: TO SCALE ON A3 SHEET



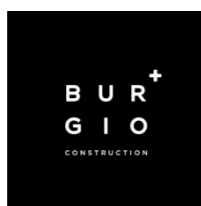
ELEVATION 3 (WEST)
1:100



ELEVATION 4 (SOUTH)
1:100



In Conjunction With



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DRAWING NAME: ELEVATIONS 3 & 4		SHEET No: 7 OF 9	REVISION: D	JOB No: 23-1034
OWNER	DATE	CLIENT: CAMPANA		
OWNER	DATE	ADDRESS: 156 PRESTON POINT RD, EAST FREMANTLE TOWN OF EAST FREMANTLE		
DESIGNER	DATE	DRAWN BY: BLEND	DATE DRAWN: JAN / 2024	SCALE: 1:100

NOTE: TO SCALE ON A3 SHEET



PERSPECTIVE 1



PERSPECTIVE 2



In Conjunction With

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DRAWING NAME: PERSPECTIVES 1		SHEET No: 8 OF 9	REVISION: D	JOB No: 23-1034
OWNER	DATE	CLIENT: CAMPANA ADDRESS: 156 PRESTON POINT RD, EAST FREMANTLE TOWN OF EAST FREMANTLE		
OWNER	DATE	DRAWN BY: BLEND	DATE DRAWN: JAN / 2024	SCALE:
DESIGNER	DATE			

NOTE: TO SCALE ON A3 SHEET



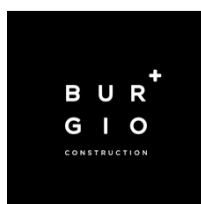
PERSPECTIVE 3



PERSPECTIVE 4



In Conjunction
With



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DRAWING NAME: PERSPECTIVES 2		SHEET No: 9 OF 9	REVISION: D	JOB No: 23-1034
OWNER	DATE	CLIENT: CAMPANA ADDRESS: 156 PRESTON POINT RD, EAST FREMANTLE TOWN OF EAST FREMANTLE		
OWNER	DATE	DRAWN BY: BLEND	DATE DRAWN: JAN / 2024	SCALE:
DESIGNER	DATE			

NOTE: TO SCALE ON A3 SHEET