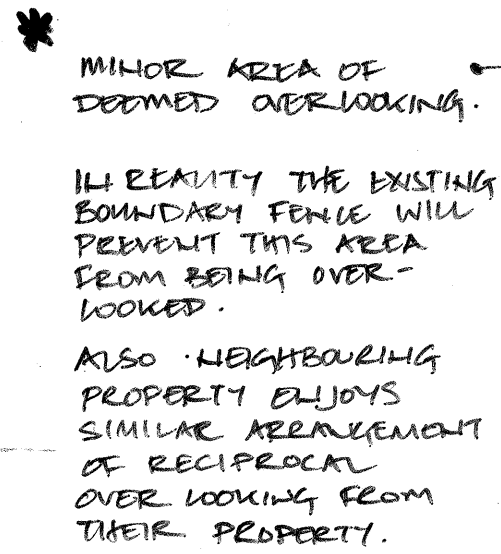
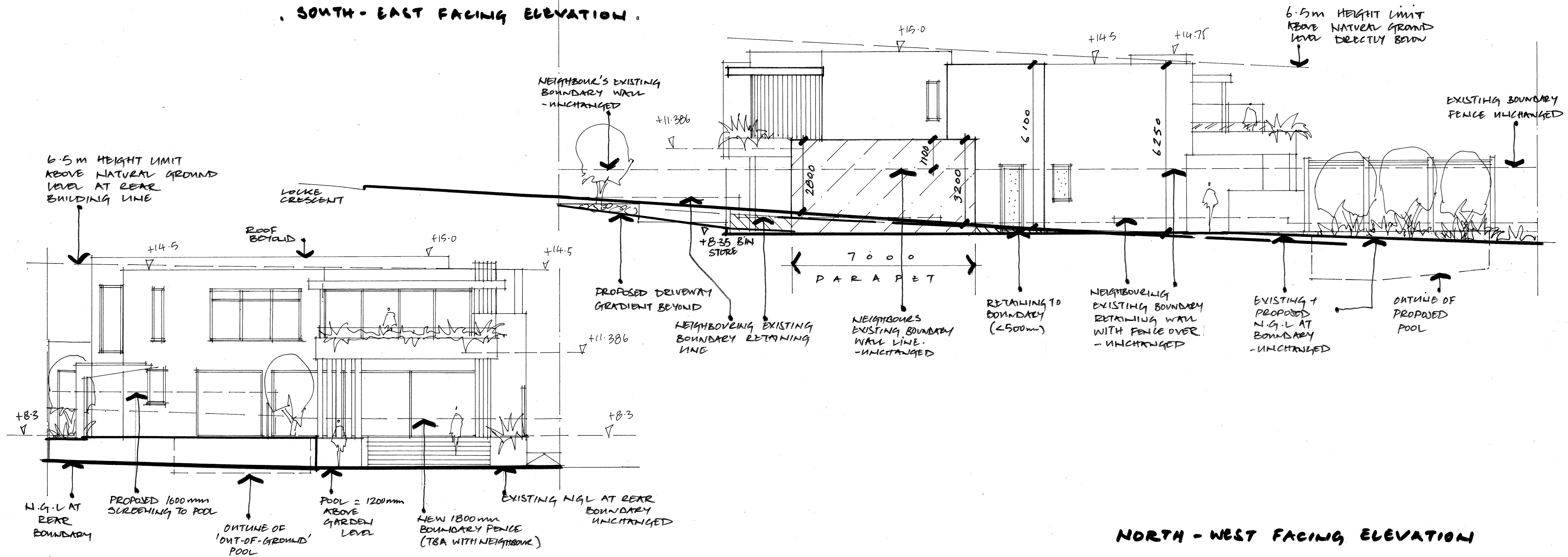




REV A : JAN '22

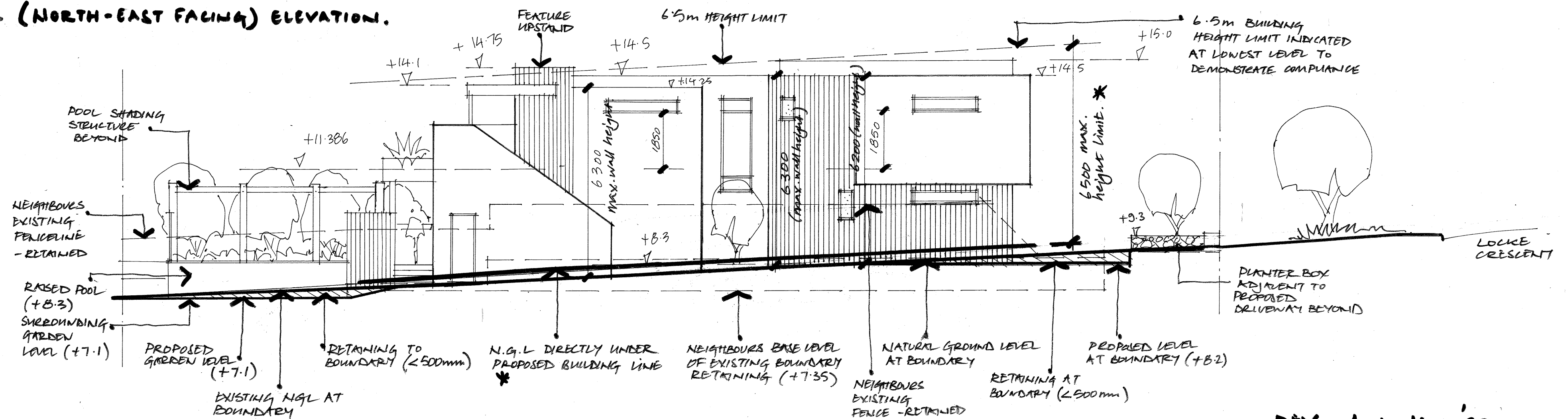
SCALE . 1:100
DATE . DEC'21
DESIGN . JUSTIN
EVERITT

SOUTH - EAST FACING ELEVATION



NORTH - WEST FACING ELEVATION

REAR (NORTH-EAST FACING) ELEVATION.



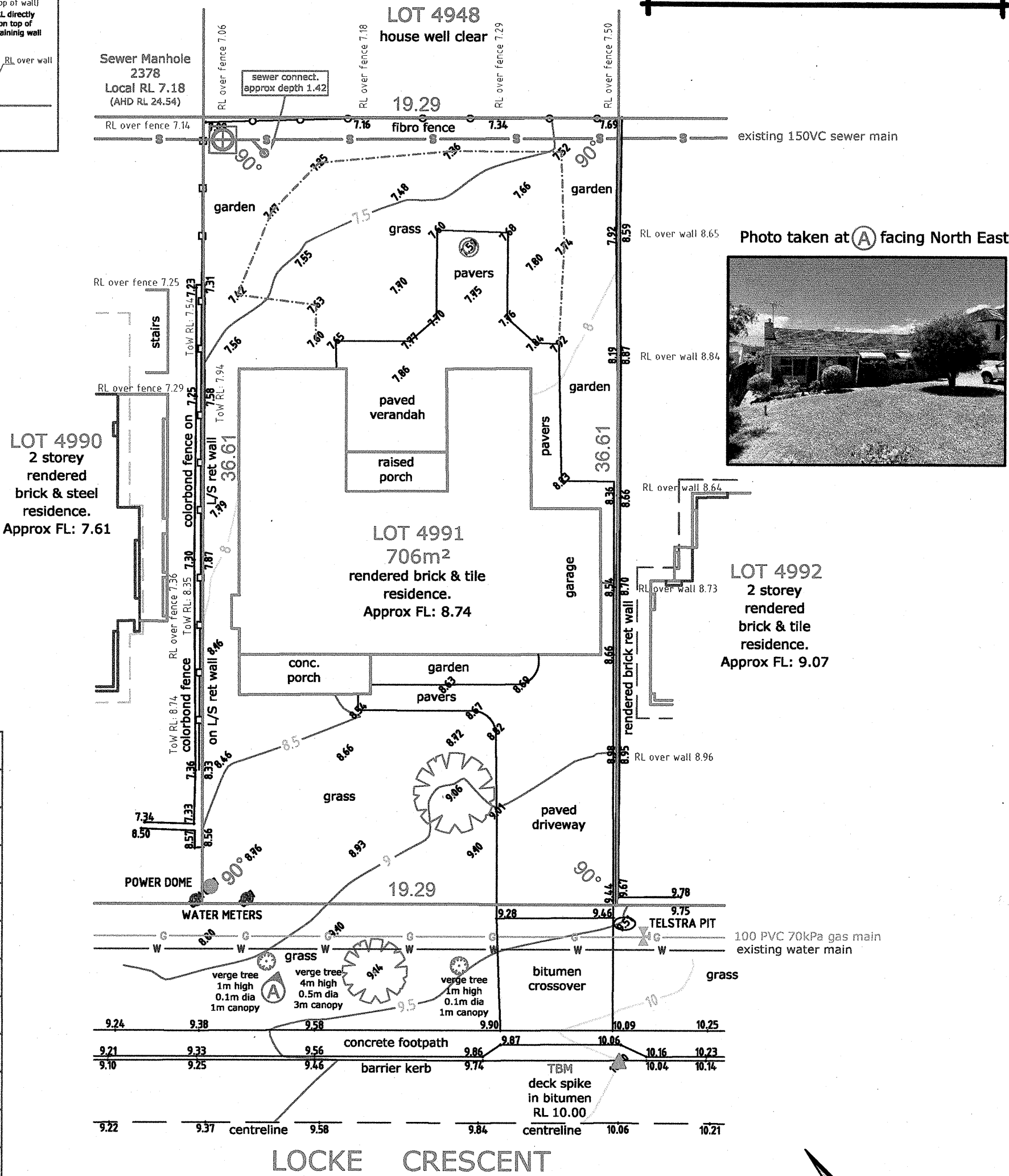
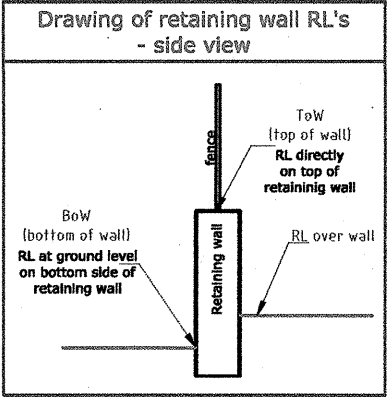
REV A : JAN '22

PROPOSED RESIDENCE FOR #16 LOCKE CRESCENT
EAST FREMANTLE

SCAVE	1:100
DATE	DEC '21
DESIGN	JUSTIN EVERITT

NOTE: No title viewed by The Land Division. A certificate of title check for easements and encumbrances is highly recommended as should they exist, they may affect design.

EXISTING SITE PLAN
SCALE 1:200



LEGEND

	TBM - 10.00
	Edge of Vegetation
	Gutter Line
	Eave Line
	Gas Main
	Water Main
	Sewer Main
	Water Meter
	Sewer Connection
	Sewer Manhole
	Power Dome
	Gas Valve
	Telstra/NBN Pit
	Tree Stump
	Tree

TBM deck spike in bitumen equals local RL 10.00
Contractor to check datum before adopting levels

Survey Date: 3rd November 2021			Scale 1:200@A3	
Client: Samir Colakovic & Marayka Cath				
Rev	Date	Description	Surv	Drawn
0	4/11/2021	Feature Survey Drafted	LZ	LZ

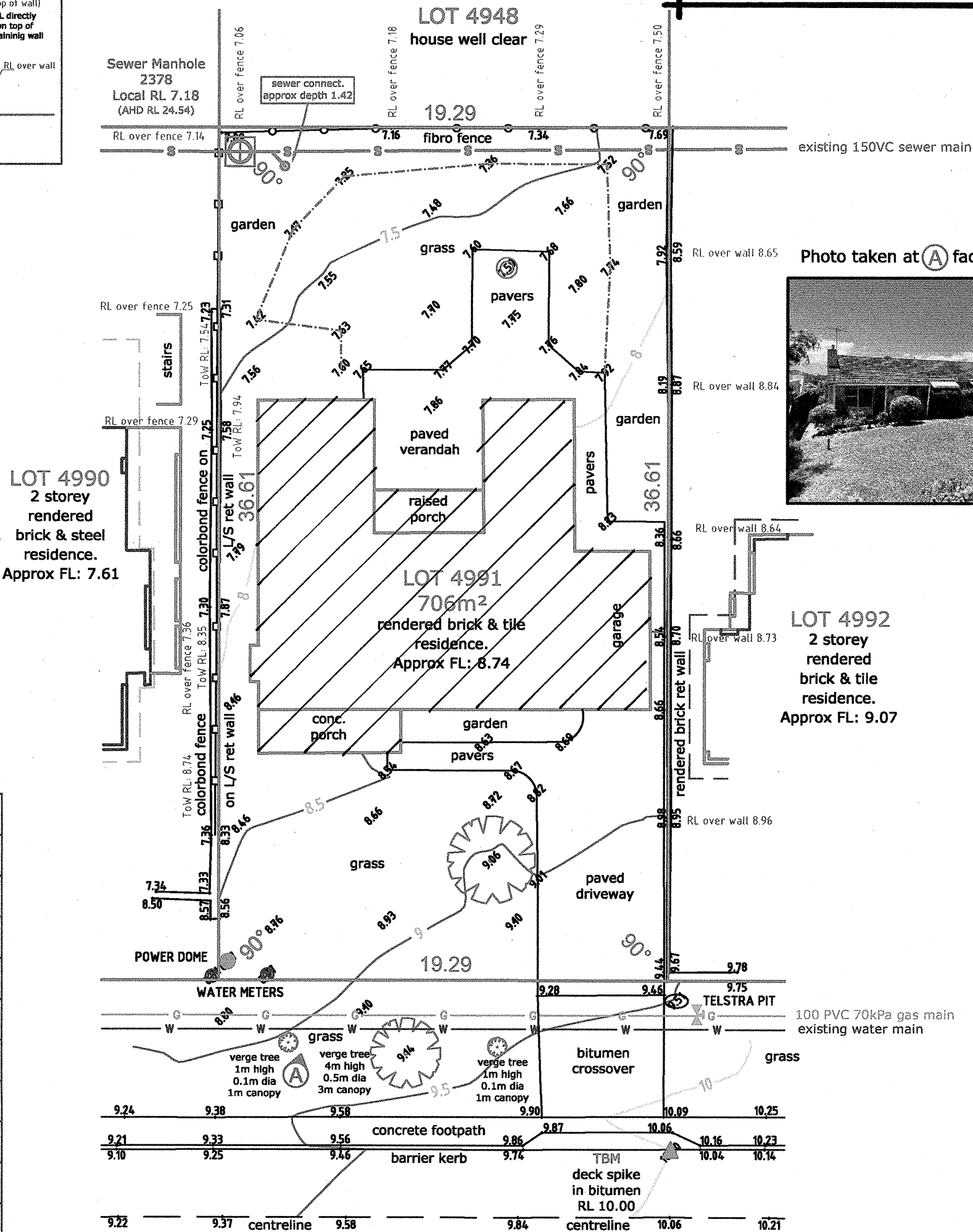
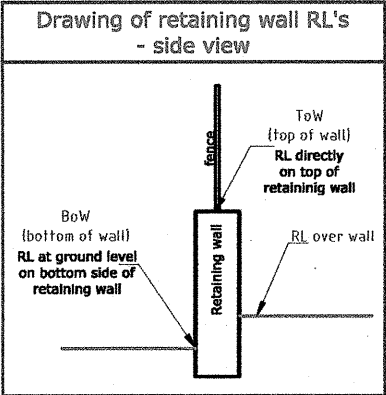
FEATURE AND CONTOUR SURVEY
OF LOT 4991 ON
DEPOSITED PLAN 205392
16 Locke Crescent, East Fremantle
C/T Vol: 1189 Fol: 214
our ref. 21-9499

Feature Survey by
THE LAND DIVISION
PLANNING & SURVEY DESIGN
PO Box 2444,
Malaga, WA 6090
phone: 08 9209 3232
www.landdivision.com.au

NOTES: 1) CONSULT LEGAL ADVICE ON EASEMENTS, ENCUMBRANCES AND CAVEATS THAT MAY APPEAR ON THE CERTIFICATE OF TITLE. 2) LEVELS ON ADJOINING PROPERTIES ARE APPROXIMATE DUE TO ACCESS RESTRICTIONS. 3) SERVICES PLOTTED AS VISUALLY SEEN ON SITE AND ARE APPROXIMATE. 4) SEWER POSITION AND LEVELS FROM WATER CORPORATION PLANS. 5) CONSULT DIAL BEFORE YOU DIG TO CHECK LOCATION OF UNDERGROUND SERVICES. 6) BEWARE OF OVERHEAD POWER LINE HAZARDS. 7) CONSULT TLD ON ANY ANOMALY BEFORE DESIGN AND CONSTRUCTION. 8) POSITION AND DEPTH OF SERVICES TO BE CONFIRMED ON SITE BY CONTRACTOR. 9) FEATURES ARE RELATED TO FENCE-LINES ONLY. NO CONNECTION MADE TO BOUNDARIES. REPEG RECOMMENDED.

NOTE: No title viewed by The Land Division. A certificate of title check for easements and encumbrances is highly recommended as should they exist, they may affect design.

DEMOLITION PLAN
SCALE 1:200



LEGEND

	TBM - 10.00
	Edge of Vegetation
	Gutter Line
	Eave Line
	Gas Main
	Water Main
	Sewer Main
	Water Meter
	Sewer Connection
	Sewer Manhole
	Power Dome
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MIN. OUTDOOR LIVING
AREA (36m² REQ'D)
68m² PROPOSED

OPEN SPACE CALCULATIONS

PROPOSED OPEN SPACE $= 456.5 \text{ m}^2$
 $\approx 64.5\%$ OPEN

(EVEN IF NOT INCLUDING RAISED POOL AREA - OPEN SPACE = 366m^2 $\approx 51.8\%$ OPEN)

$\therefore$ COMPLIANT.

LOT 4990
2 storey
rendered
brick & steel
residence.
Approx FL: 7.61

R17.5 PERMITS 25%
OF OVERTHROWING TO
SOUTHERLY NEIGHBOUR.

NEIGHBOUR AT # 14
LOCKE CRESCENT
= 706 m²

AREA OF OVER-SHADOWING
(AS ILLUSTRATED)
= $67m^2$
WHICH EQUATES TO
9.5% O/S SHADOWING
∴ COMPLIANT.

LOT 4992
2 storey
rendered
brick & tile
residence.
Approx FL: 9.07

DEMOTES AREA OF OVER-SHADOWING BY OUR PROPOSALS ON JUNE 21ST AT MIDDAY

NEW CROSSOVER
CONSTRUCTED IN
ACCORDANCE WITH
TOWN OF EAST
FREMANTLE
SPECIFICATIONS

OLD CROSSOVER REMOVED
+ MADE GOOD TO MATCH
COUNCIL VERGE

LEGEND	
	TBM - 10.00
	Edge of Vegetation
	Gutter Line
	Eave Line
	Gas Main
	Water Main
	Sewer Main
	Water Meter
	Sewer Connection
	Sewer Manhole
	Power Dome
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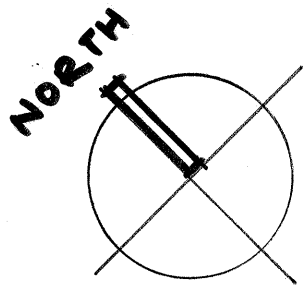
Contractor to check datum before adopting levels

Survey Date: 3rd November 2021			Scale 1:200@A3	
Client: Samir Colakovic & Marayka Cath				
Rev	Date	Description	Surv	Drawn
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FEATURE AND CONTOUR SURVEY
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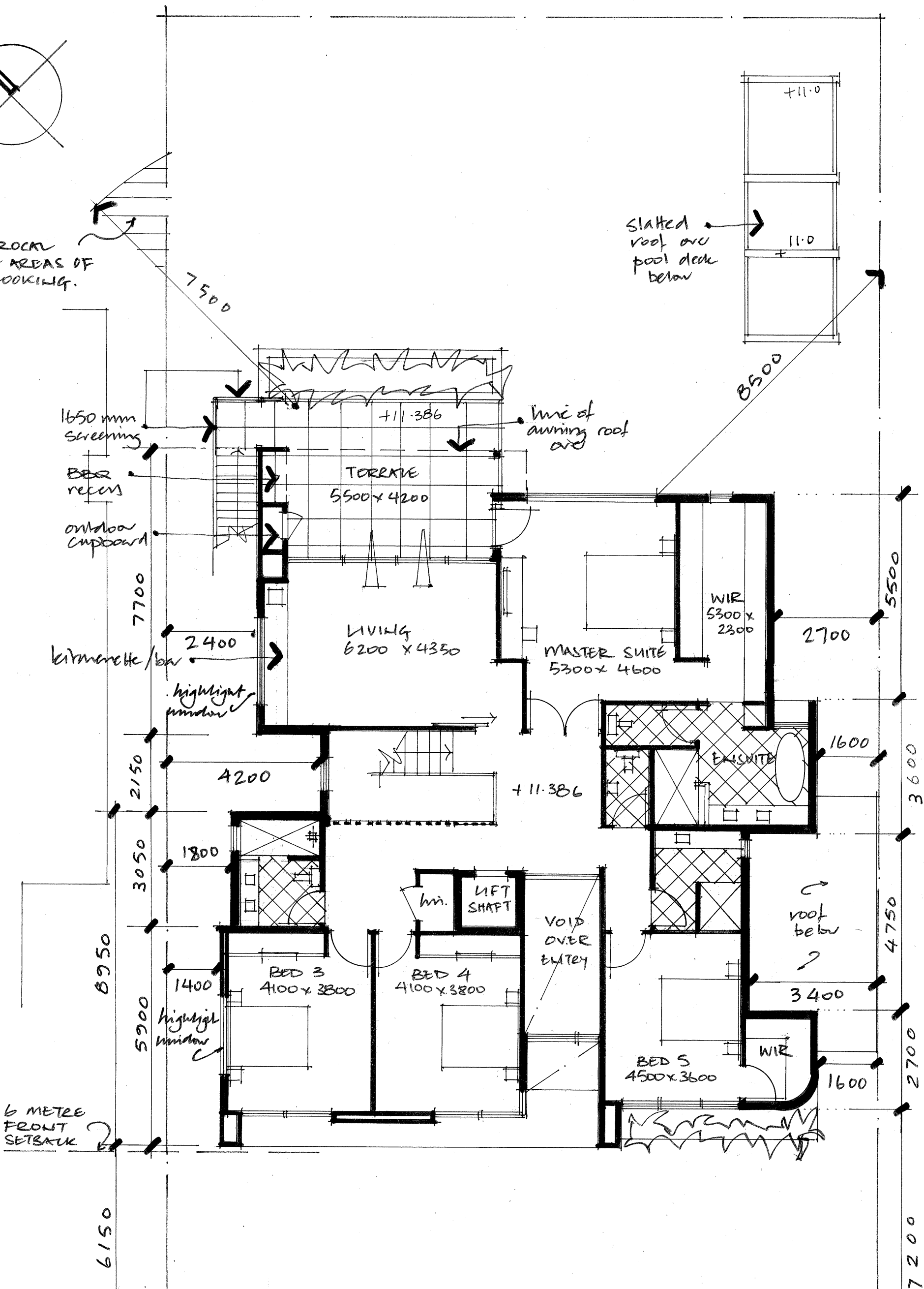
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RECIPROCAL
SMALL AREAS OF
OVERLOOKING.

Slatted
roof over
pool deck
below

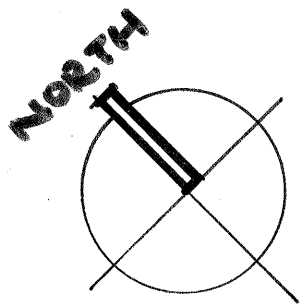


. FIRST FLOOR PLAN.

REV A : JAN '22

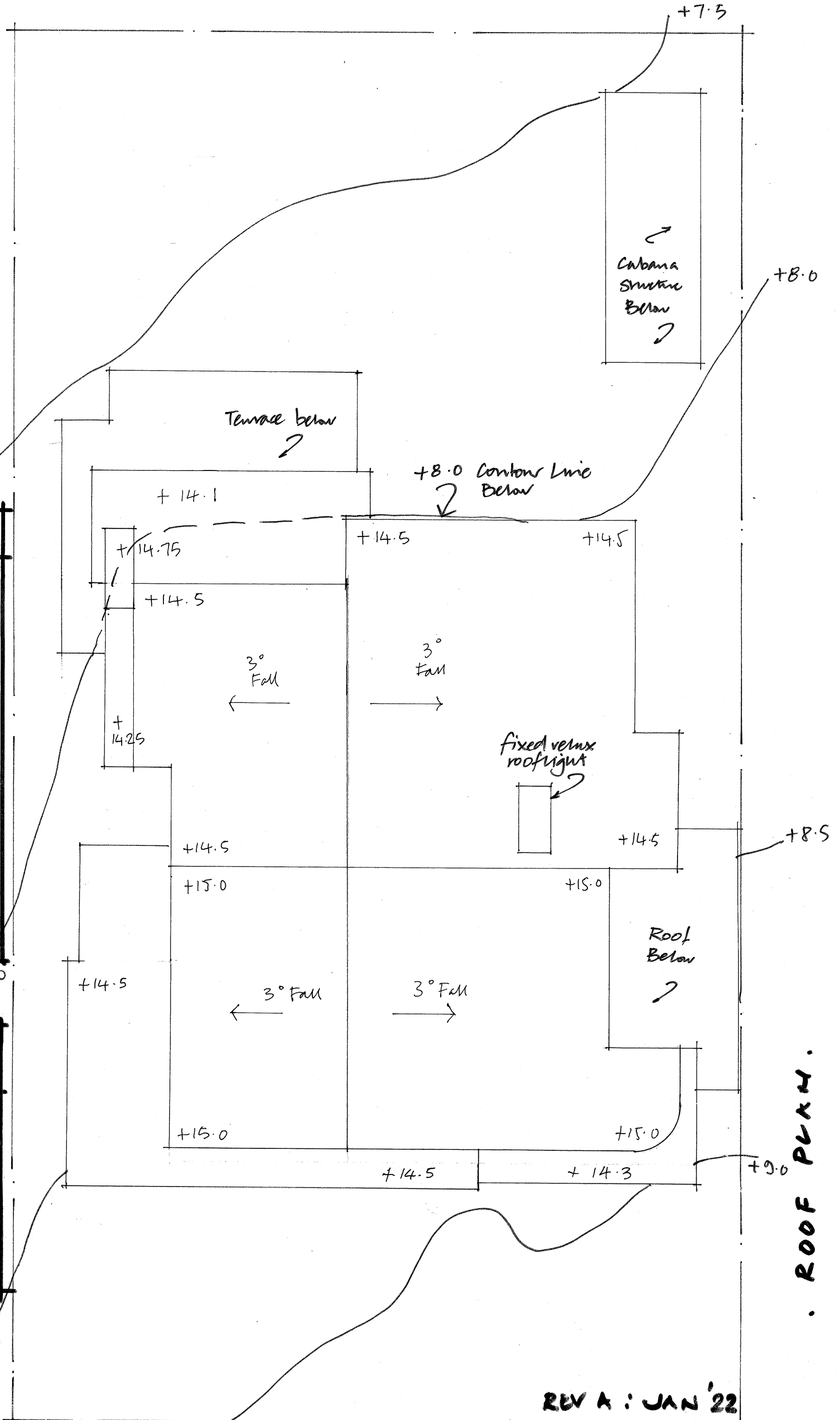
PROPOSED RESIDENCE FOR
#16 LOCKE CRESCENT
EAST FREMANTLE

SCALE 1:100
DATE DEC '21
DESIGN J. EVERITT



AREA SCHEDULE	
GROUND	
• GARAGES + ST.	51 m ²
• LIVING	198.5 m ²
• COVERED PATIO	26 m ²
FIRST	
• LIVING	227 m ²
• TERRACE	26 m ²
TOTAL LIVING	425.5 m ²
GRAND TOTAL	528.5 m ²

OPEN SPACE CALCULATIONS	
• R17.5 REQUIRES 50% OPEN SPACE	
• LOT = 706 m ²	
• PROPOSED OPEN SPACE = 456.5 m ²	
≈ 64.5% OPEN ∴ COMPLIANT.	



PROPOSED RESIDENCE FOR
16 LOCKE CRESCENT
EAST FREMANTLE

SCALE 1:100
DATE DEC '21
DESIGN J. EVERITT

MATERIAL SCHEDULE

Roof : Colorbond - shale grey
 Walls : Render Finish - colour - white
 Feature : Composite timber
 Cladding : Slats - colour light oak timber.

Window Frames : Aluminium
 - colour white (tba)

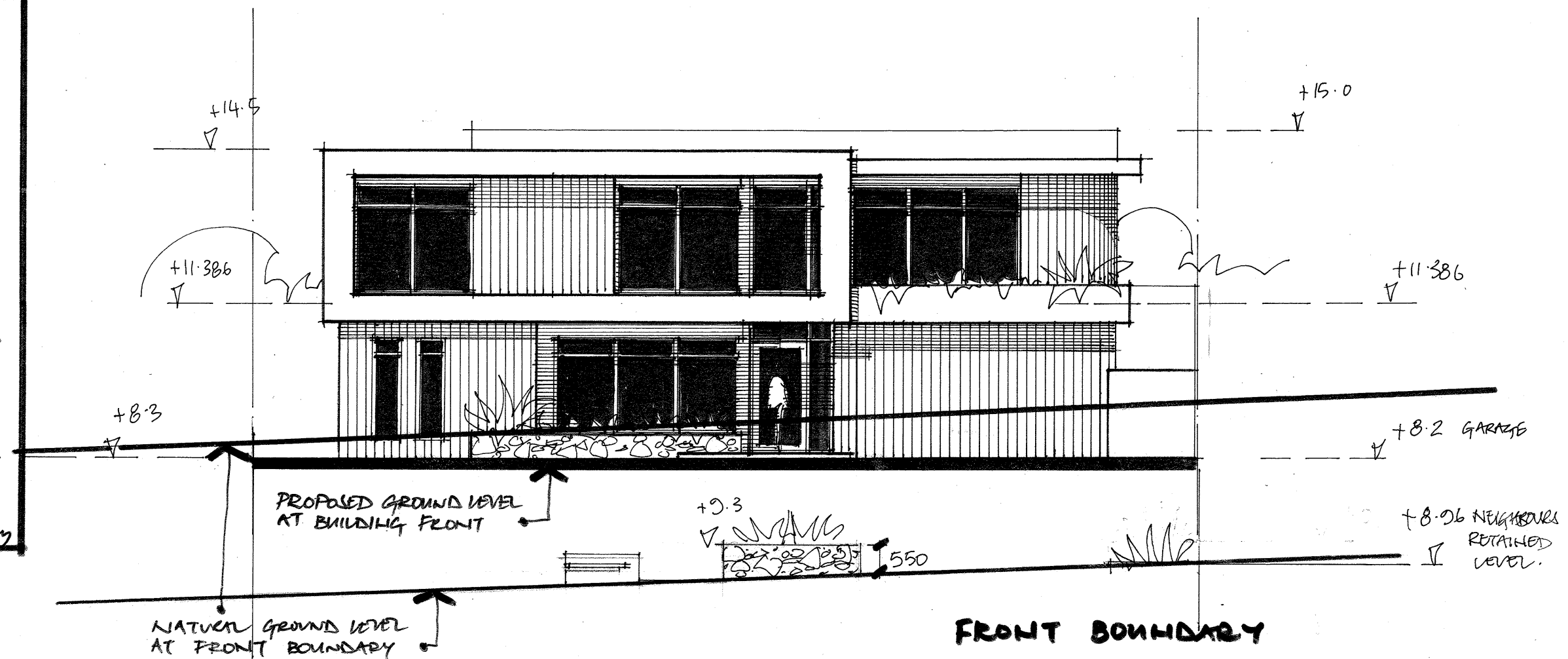
Garage Door : Timber clad
 composite to match
 flow of cladding

Feature Stone : Eco outdoor
 planters 'Alpine' - or
 equivalent

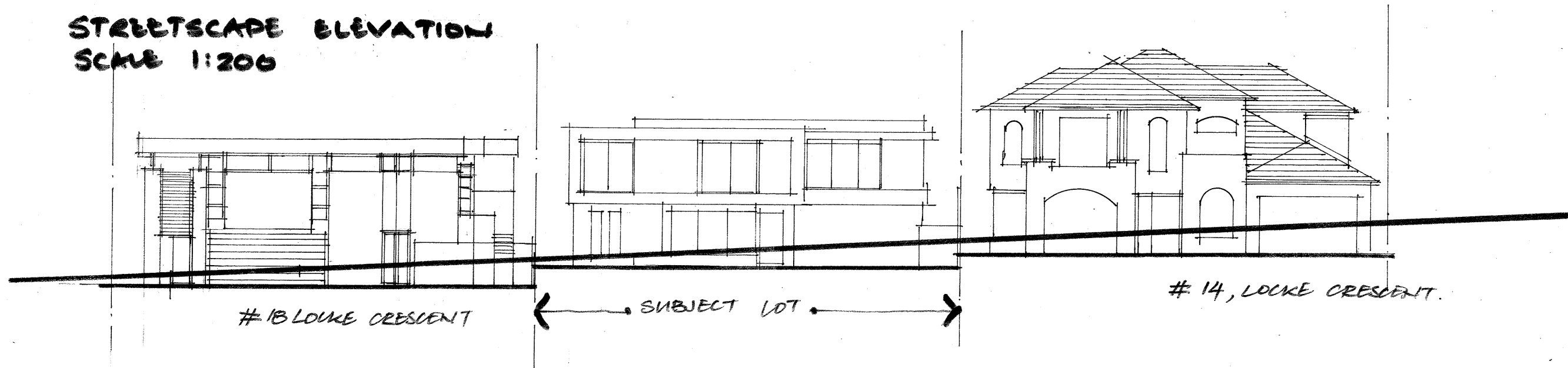
Letterbox : Render Finish
 colour - white

Driveway : Concrete Aggregate - grey

FRONT ELEVATION.

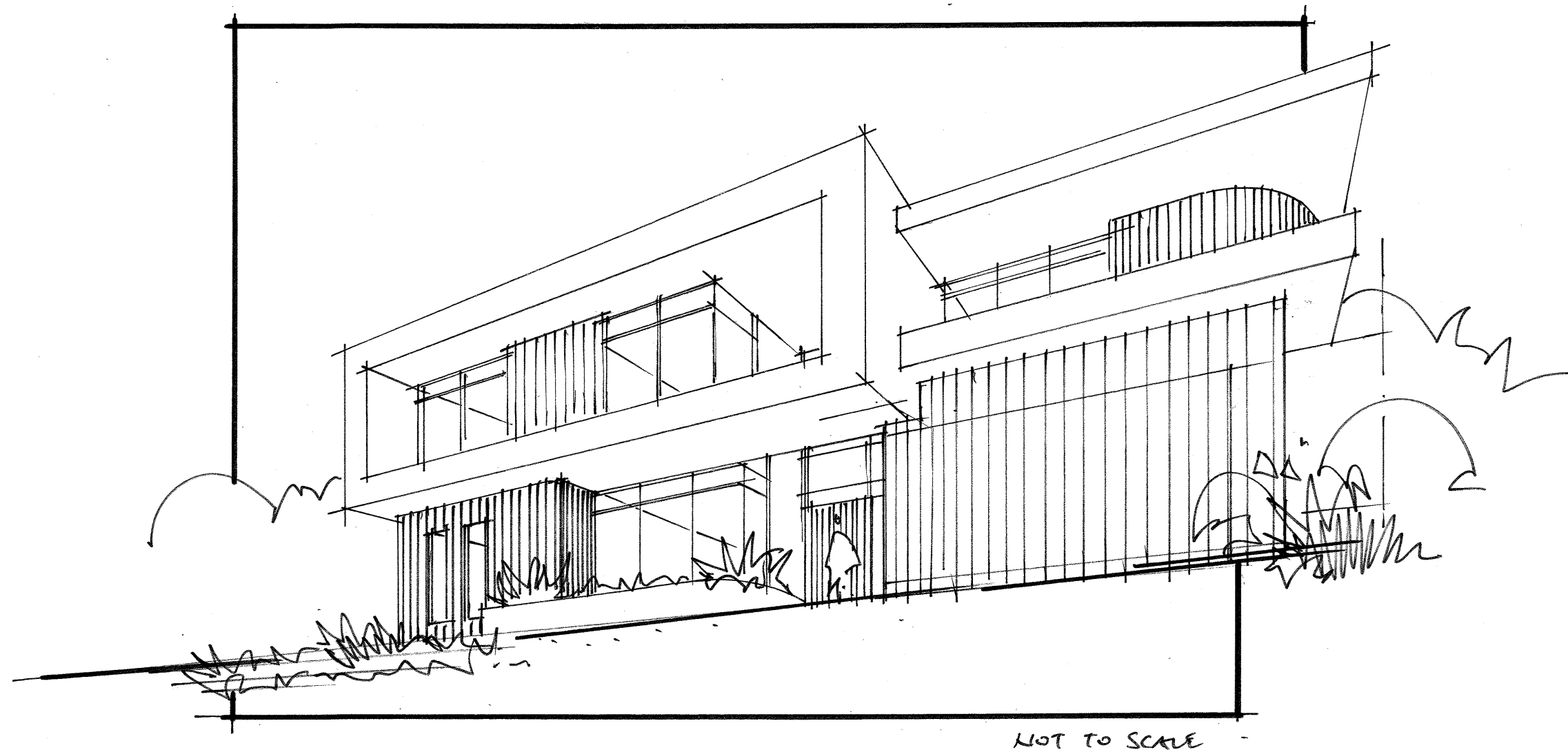


STREETSCAPE ELEVATION SCALE 1:200



PROPOSED RESIDENCE FOR
 #16 LOCKE CRESCENT
 EAST FREMANTLE

SCALE 1:100
 DATE DEC '21
 DESIGN JUSTIN BVERITT



NOT TO SCALE

16 LOOKS CRESCENT PERSPECTIVE.
JE.