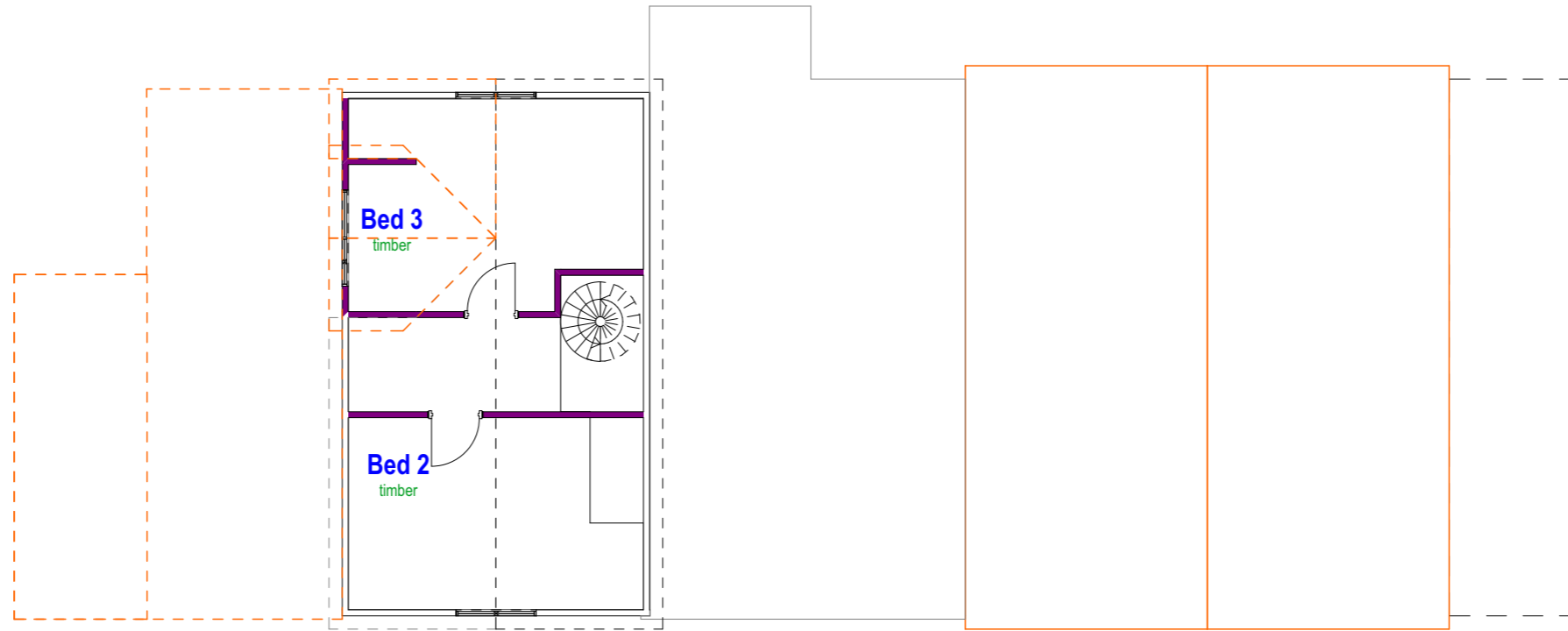
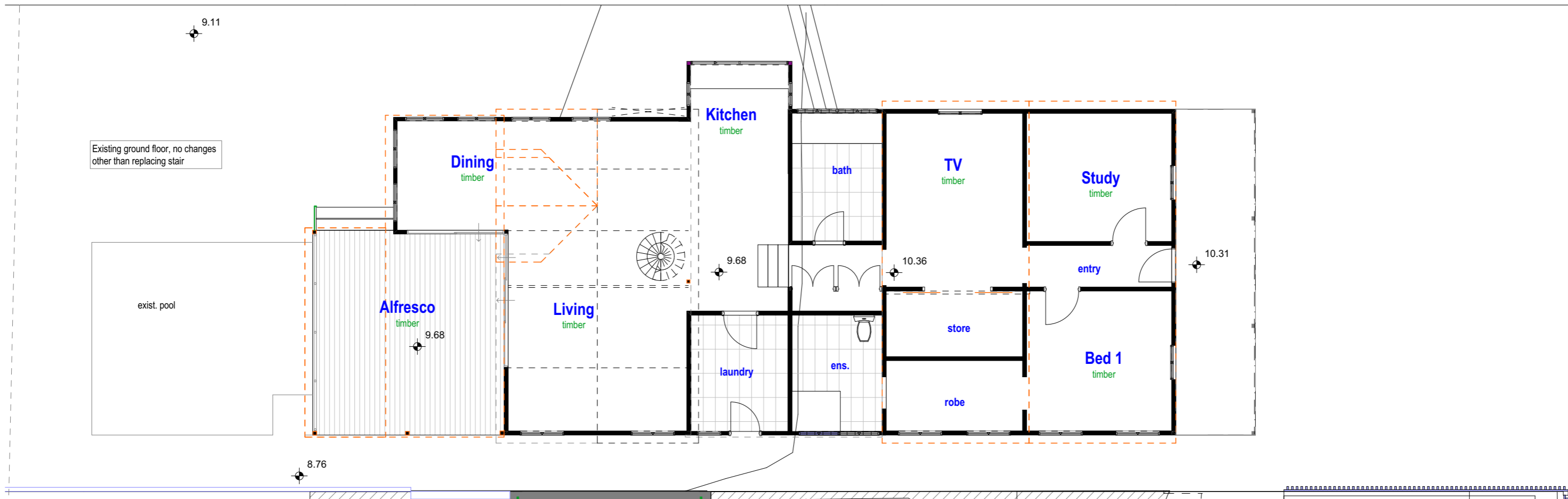


1 Existing Site Plan
1:200

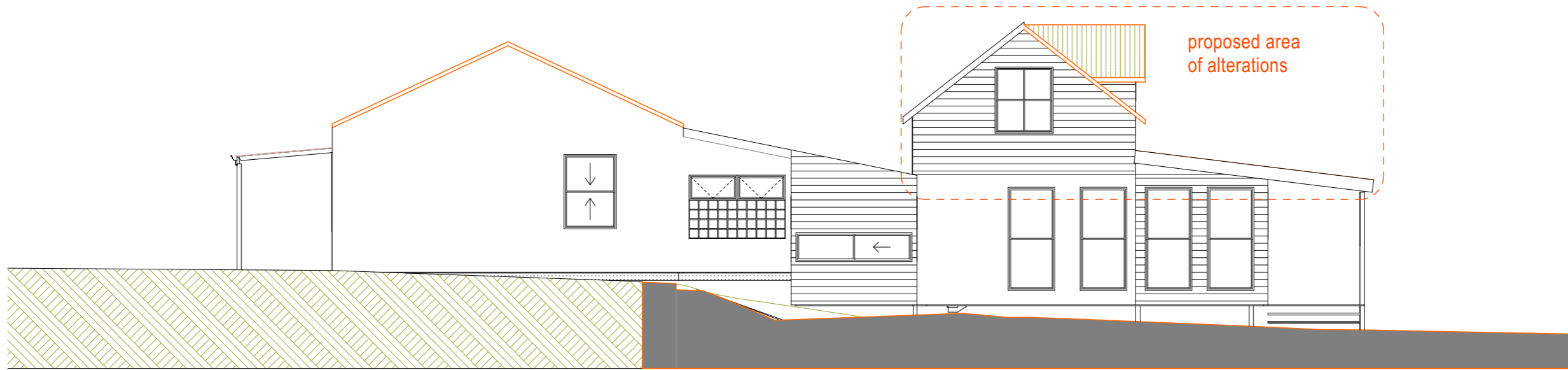


2 Existing First Floor
1:100

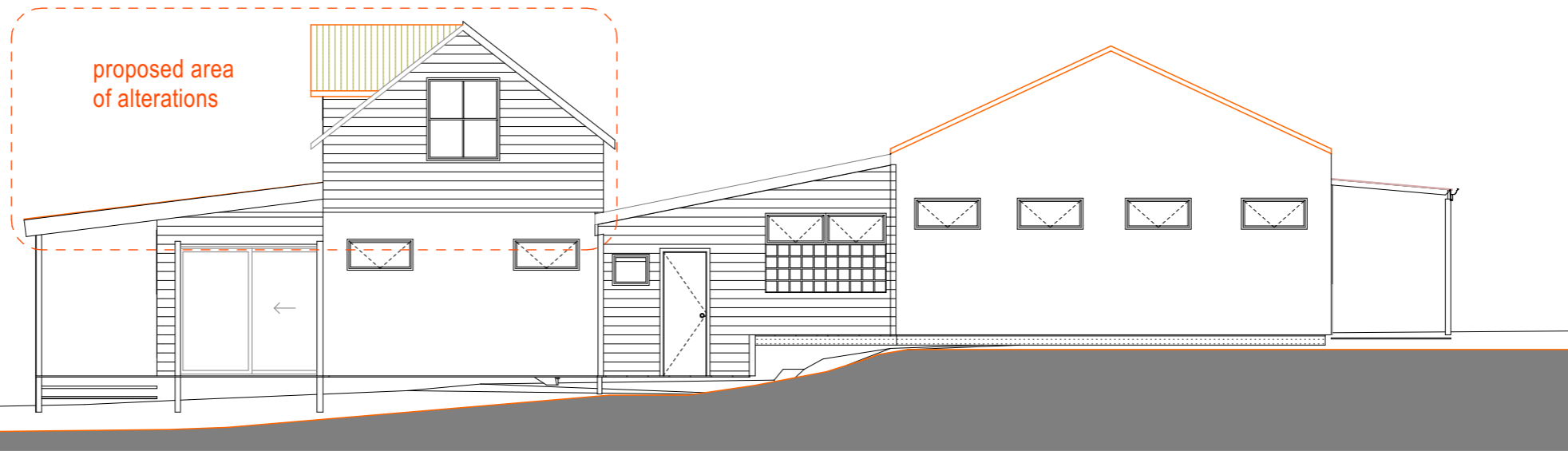


1 Existing Ground Floor
1:100

planning



1 North existing
1:100



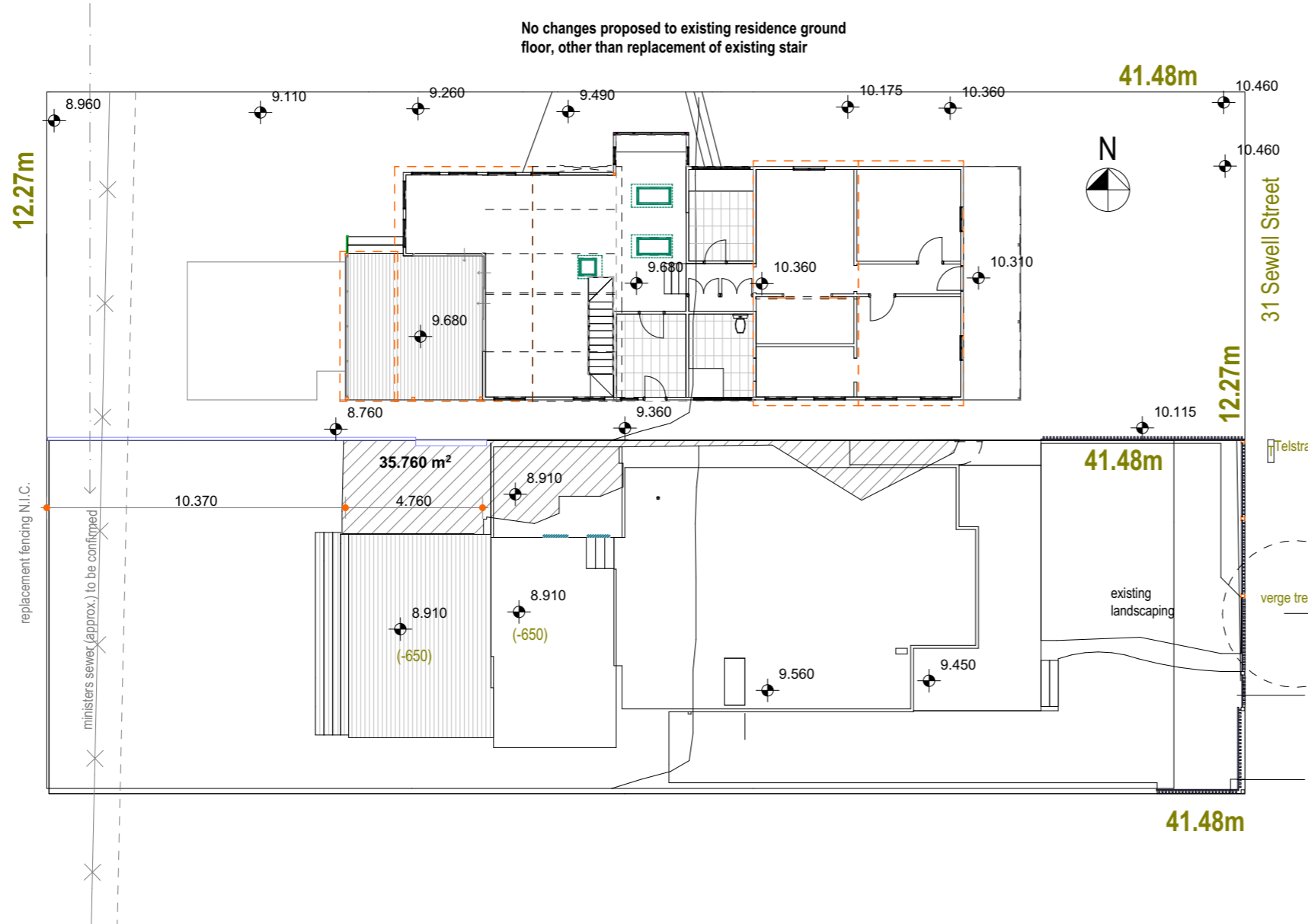
2 South existing
1:100



3 East existing
1:100



4 West existing
1:100



Site Coverage	= 508 sq.m.
Lot size	= 508 sq.m.
Existing	= 154 sq.m.
Proposed First Floor	= 46 sq.m.
Total Coverage	= 154 sq.m.
Coverage	= 28.5%
Open Space	= 71.5%

Overshadowing Calculations	
Adjoining Lot size	= 508 sq.m.
Overshadowing	= 35.76sq.m.
Overshadowing percentage=	7%
Permitted	= 25%

Please Note:
 whilst the proposed overshadowing is considerably less than the 25% permitted, the overshadowing does have a minor affect on the existing solar roof panels at 33 Sewell St.
 The owners of 31 Sewell street have taken considerable care to investigate the overshadowing and have proposed to pay for the relocation of 2-3 panels to ensure there is no detrimental effect on their neighbours.
 The owners of 31 Sewell and 33 Sewell are on very good terms, 3D studies have been submitted to the neighbours for their review, along with the overshadowing diagrams.

1 Site Plan
1:200

planning



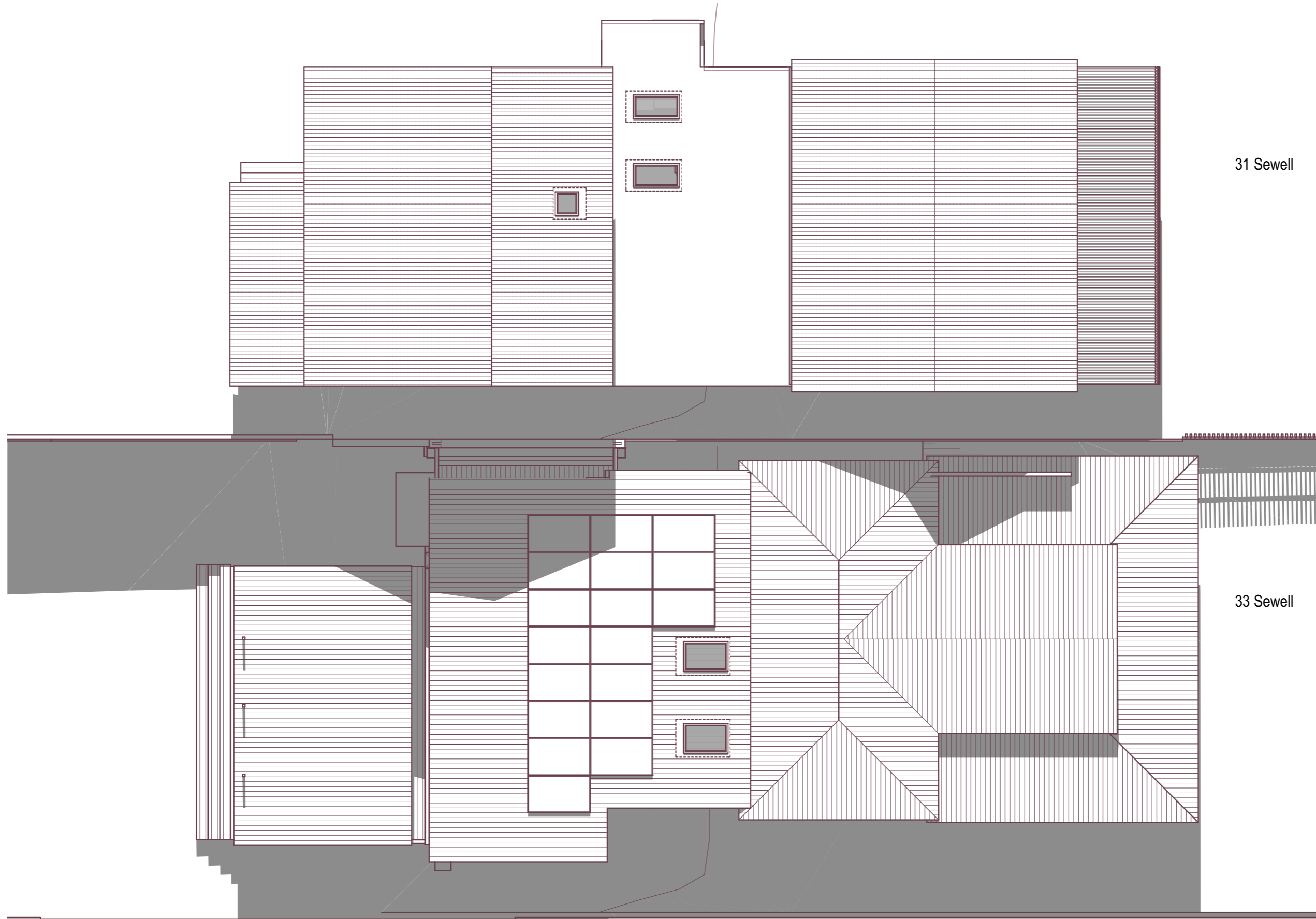
This image is supplied for information, it illustrates the existing overshadowing conditions mid - winter. As can be seen, there is minor overshadowing on one corner of a solar panel.

The aim of this design is to rectify these existing conditions and not increase any overshadowing to the existing solar panels.

Please see drawing A102 which illustrates the proposed overshadowing.

1	issued for planning	20/12/2023
REV.	AMENDMENT	DATE

Date:	20/12/2023	Drwn:	jc
Job No:	2321	Dwg No.:	A103
		Rev	1
The builder must verify all dimensions on site before commencing any work or shop dwgs.			



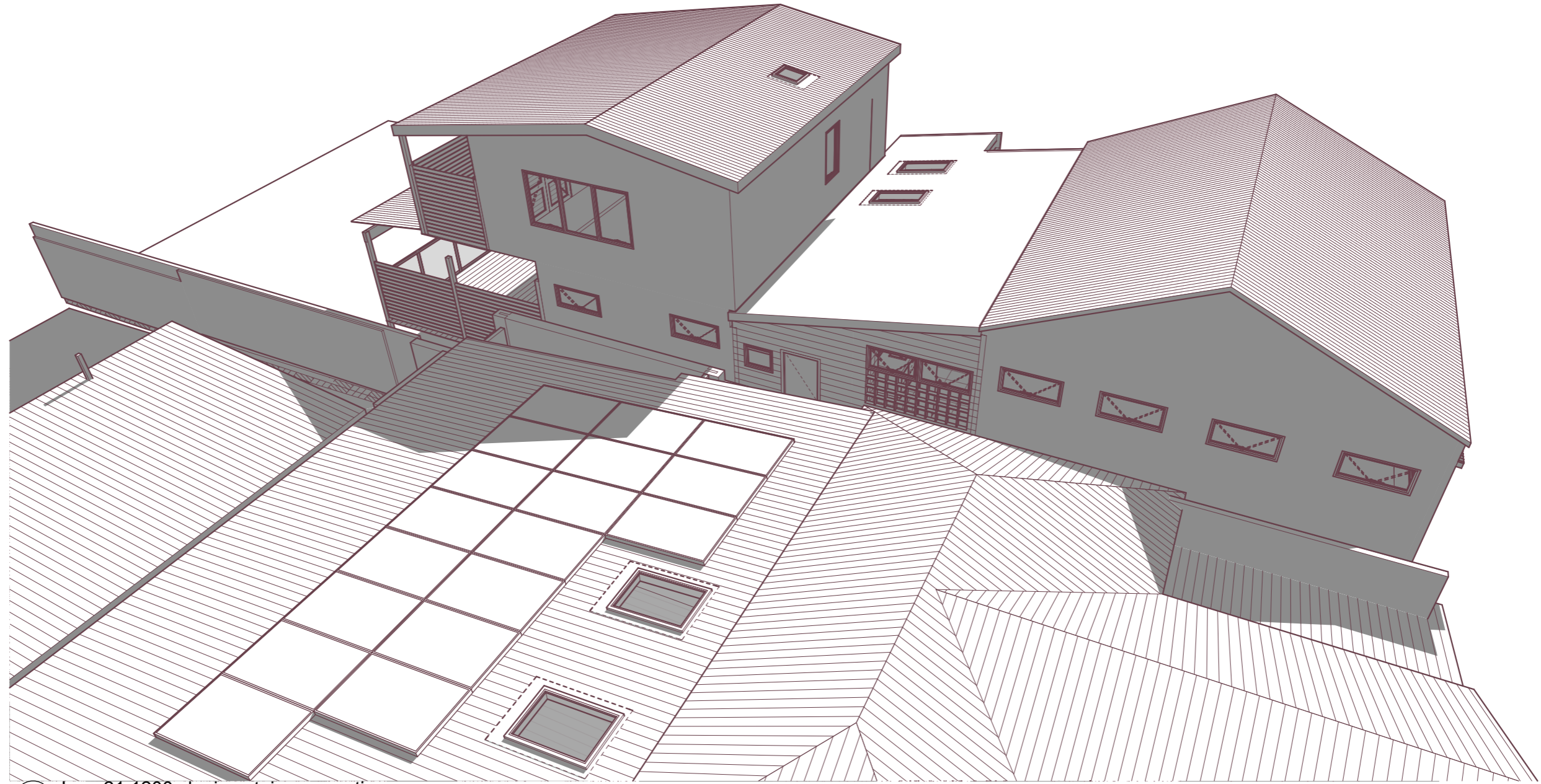
1 June 21 1200
1:100

31 Sewell

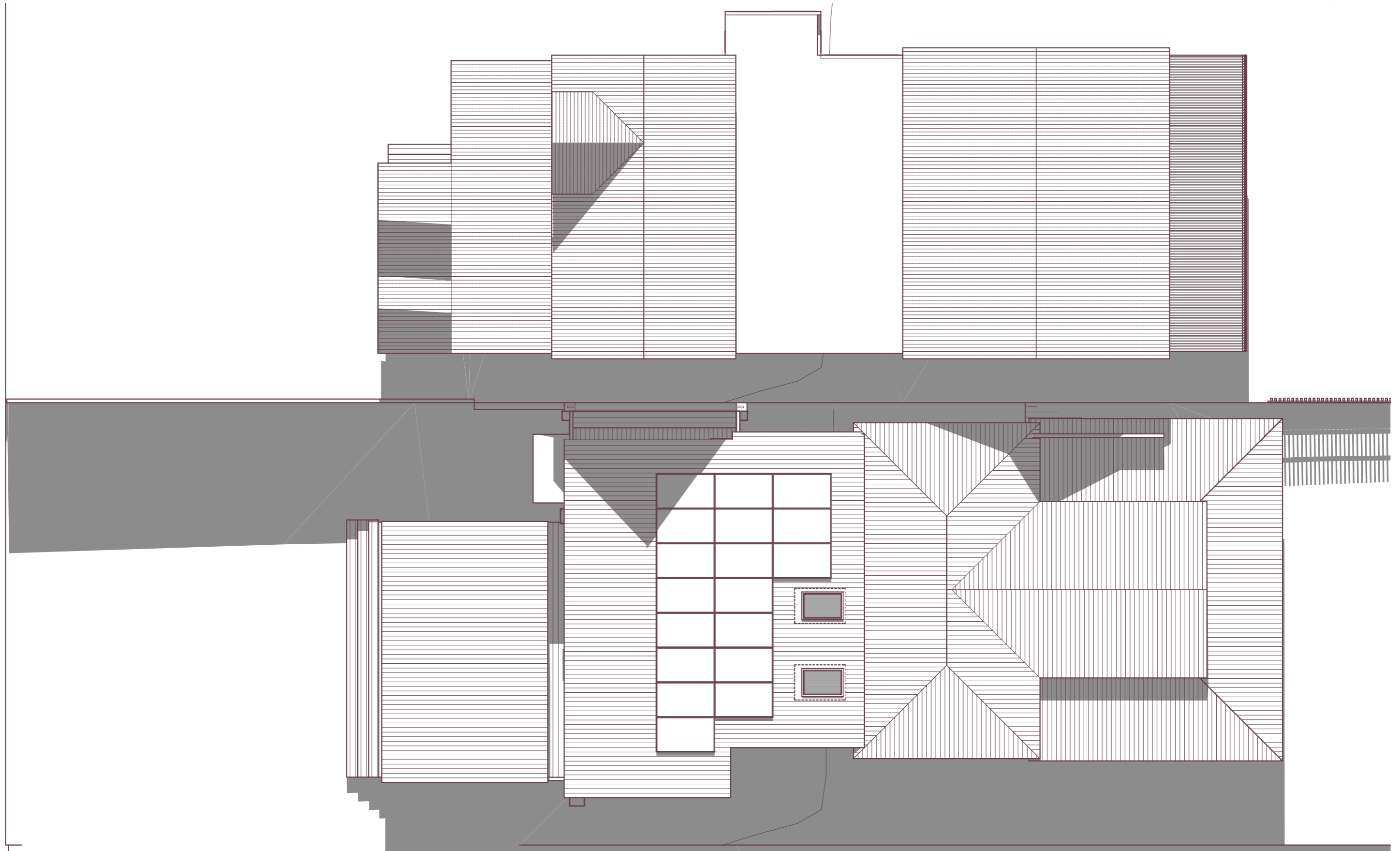
33 Sewell



1 September 21 1200
1:100

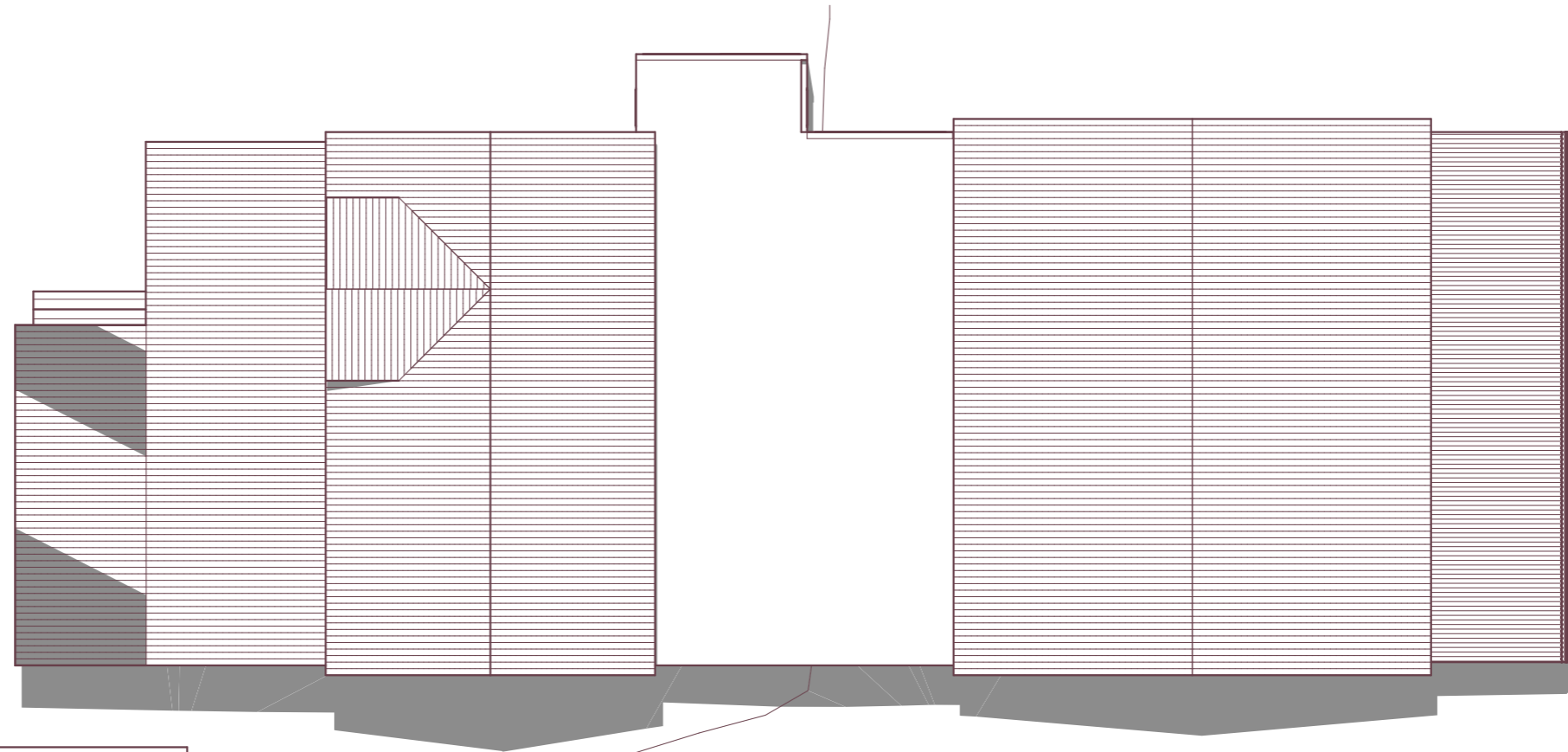


1 June 21 1200 sloping stair perspective
1:100

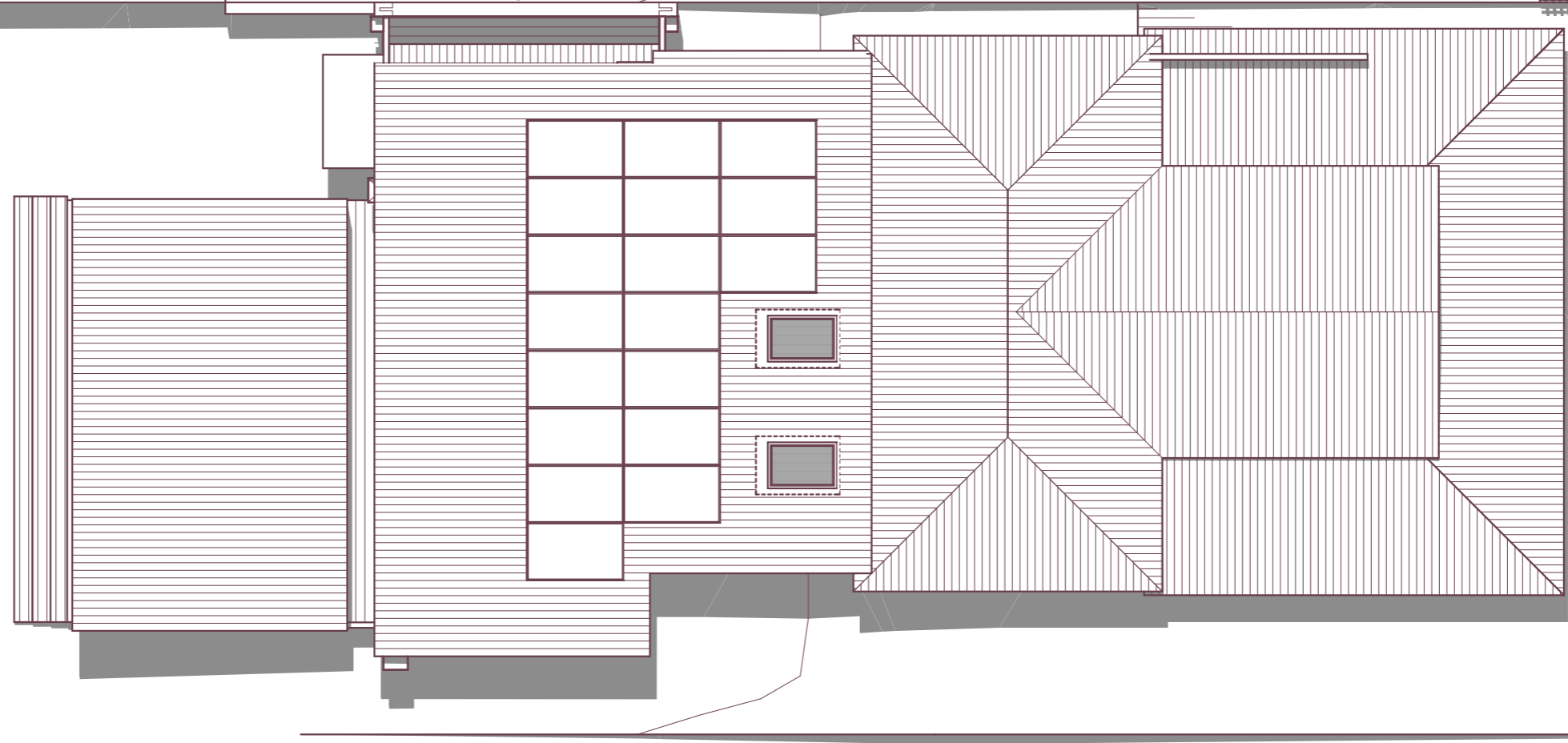


1 June 21 12pm existing
1:100

1	issued for planning	20/12/2023
REV.	AMENDMENT	DATE



31 Sewell

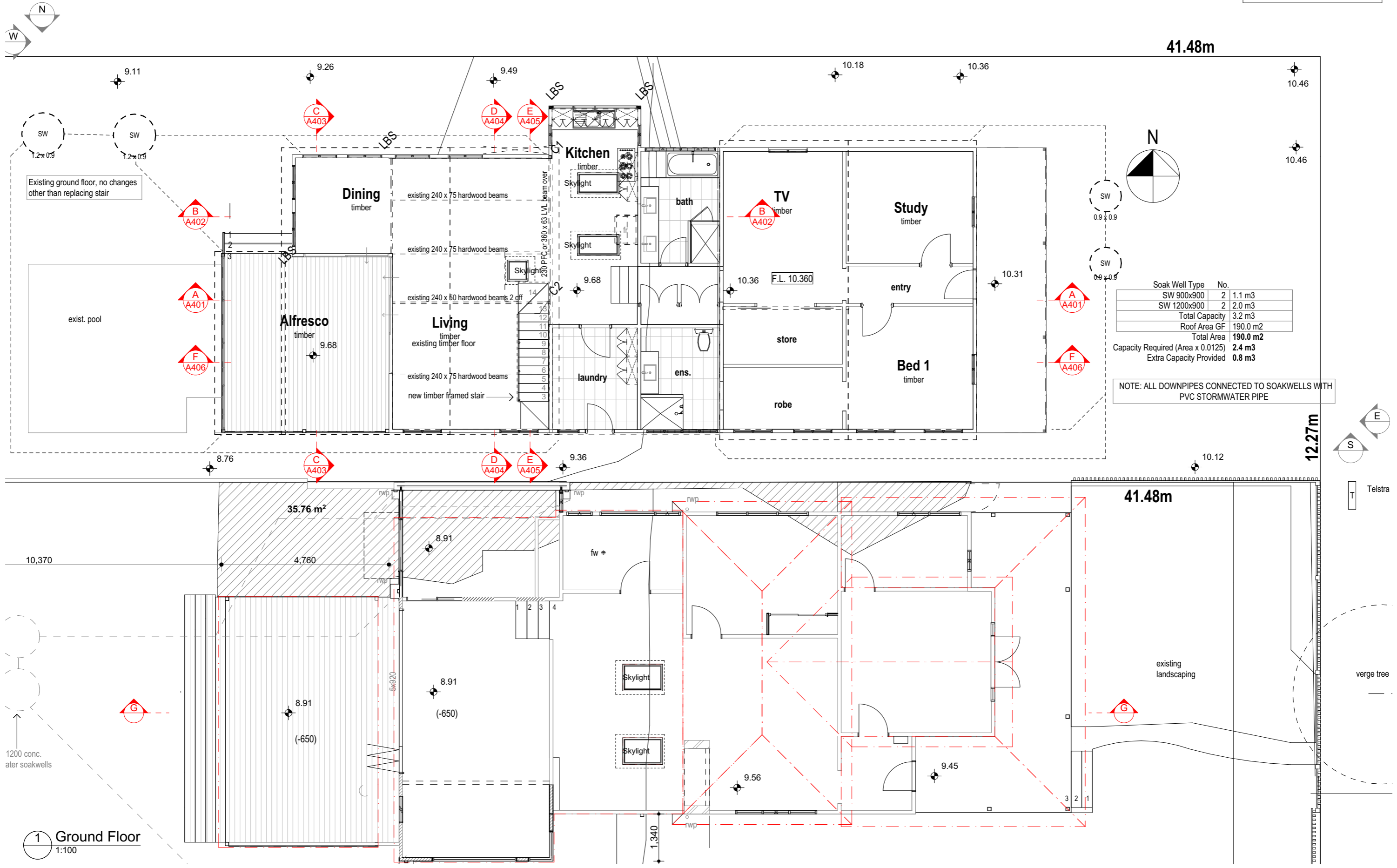


33 Sewell

1 December 21 12pm existing
1:100

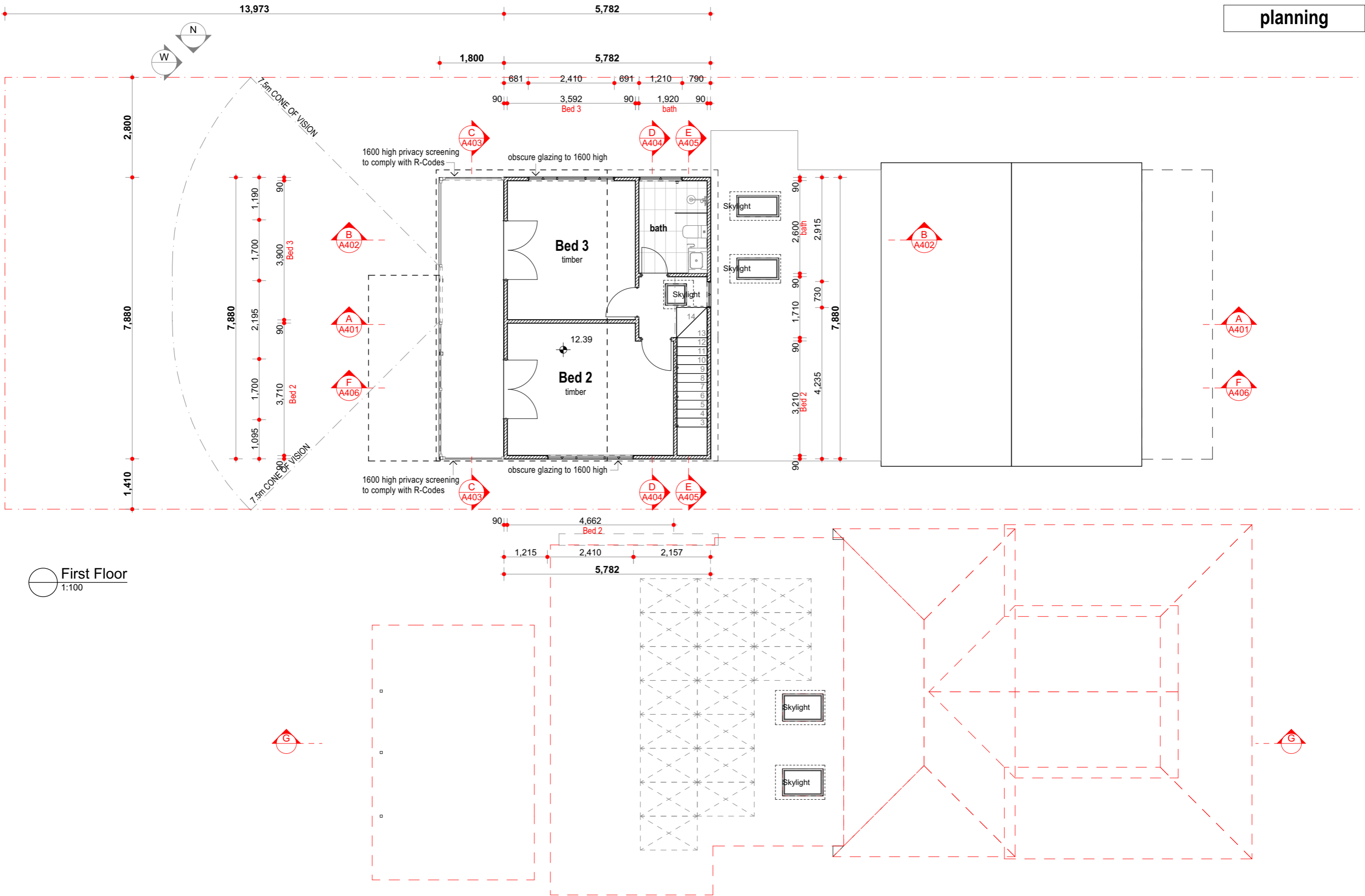
REV.	AMENDMENT	DATE
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planning



1 Ground Floor 1:100

planning

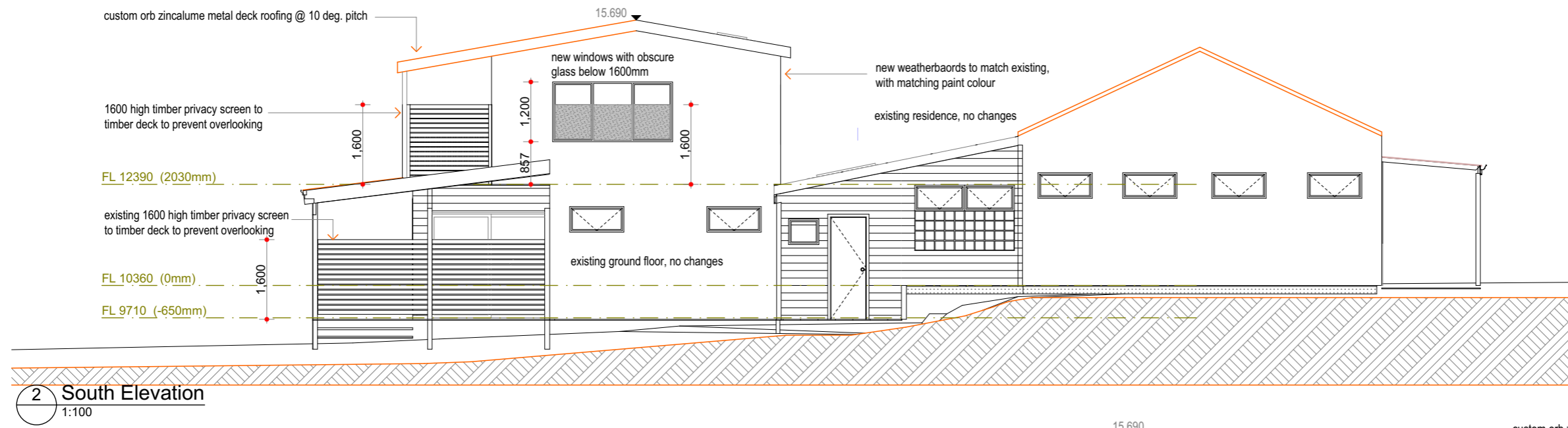


First Floor
1:100

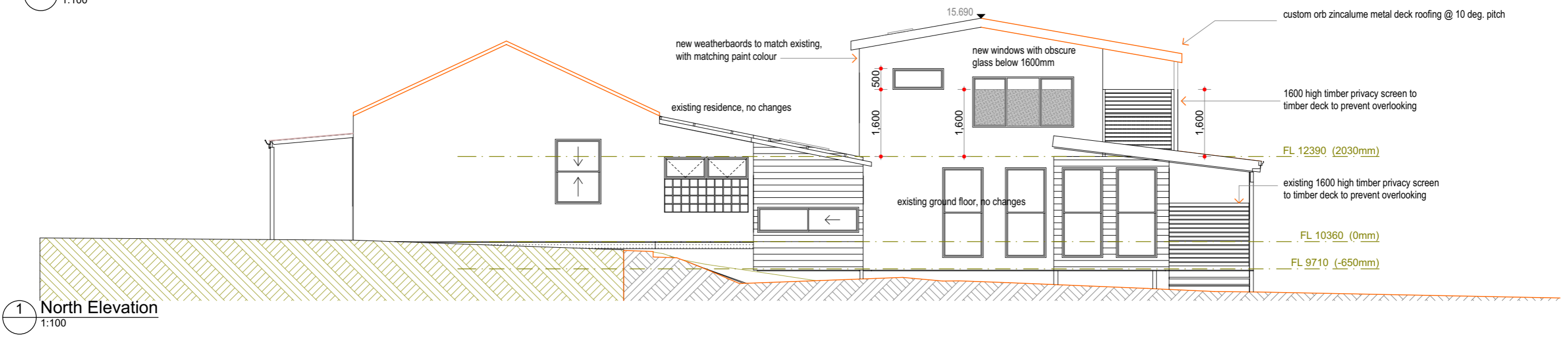
1	issued for planning	20/12/2023
REV.	AMENDMENT	DATE

Date:	20/12/2023	Drwn:	jc
Job No.:	2321	Dwg No.:	A202
		Rev	1
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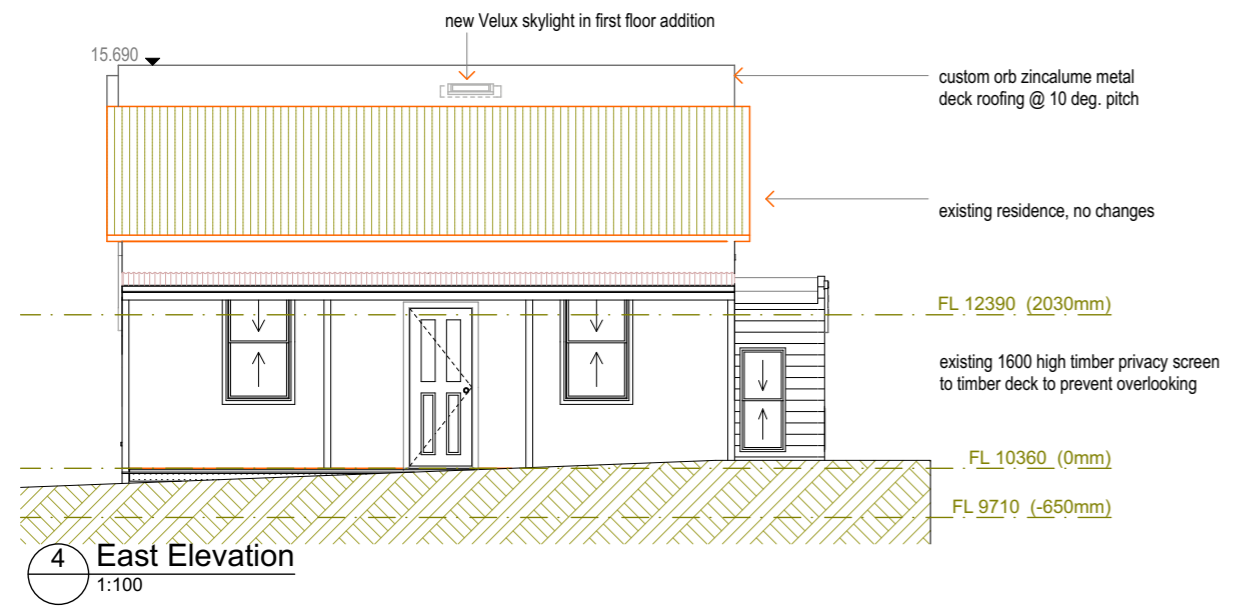
planning



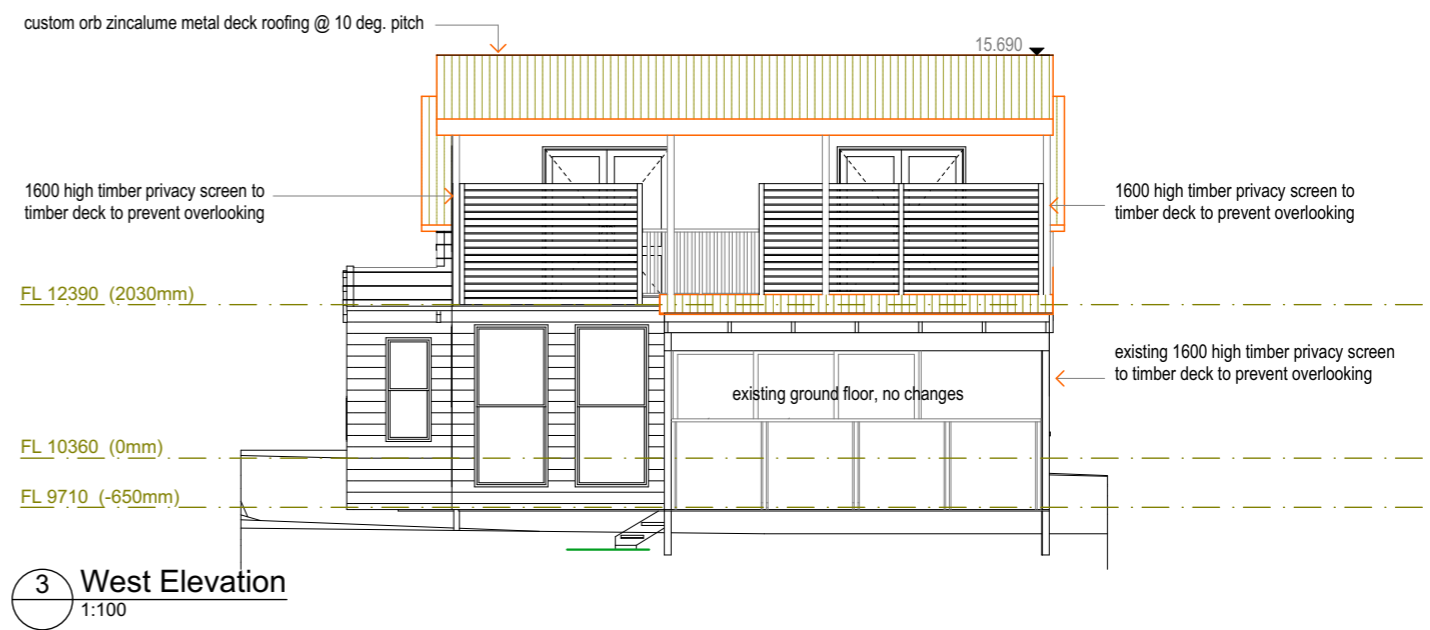
2 South Elevation
1:100



1 North Elevation
1:100



4 East Elevation
1:100



3 West Elevation
1:100

REV.	AMENDMENT	DATE
1	issued for planning	20/12/2023

Date:	20/12/2023	Drwn:	jc
Job No.:	2321	Dwg No.:	A301
		Rev	1
The builder must verify all dimensions on site before commencing any work or shop dwgs.			