

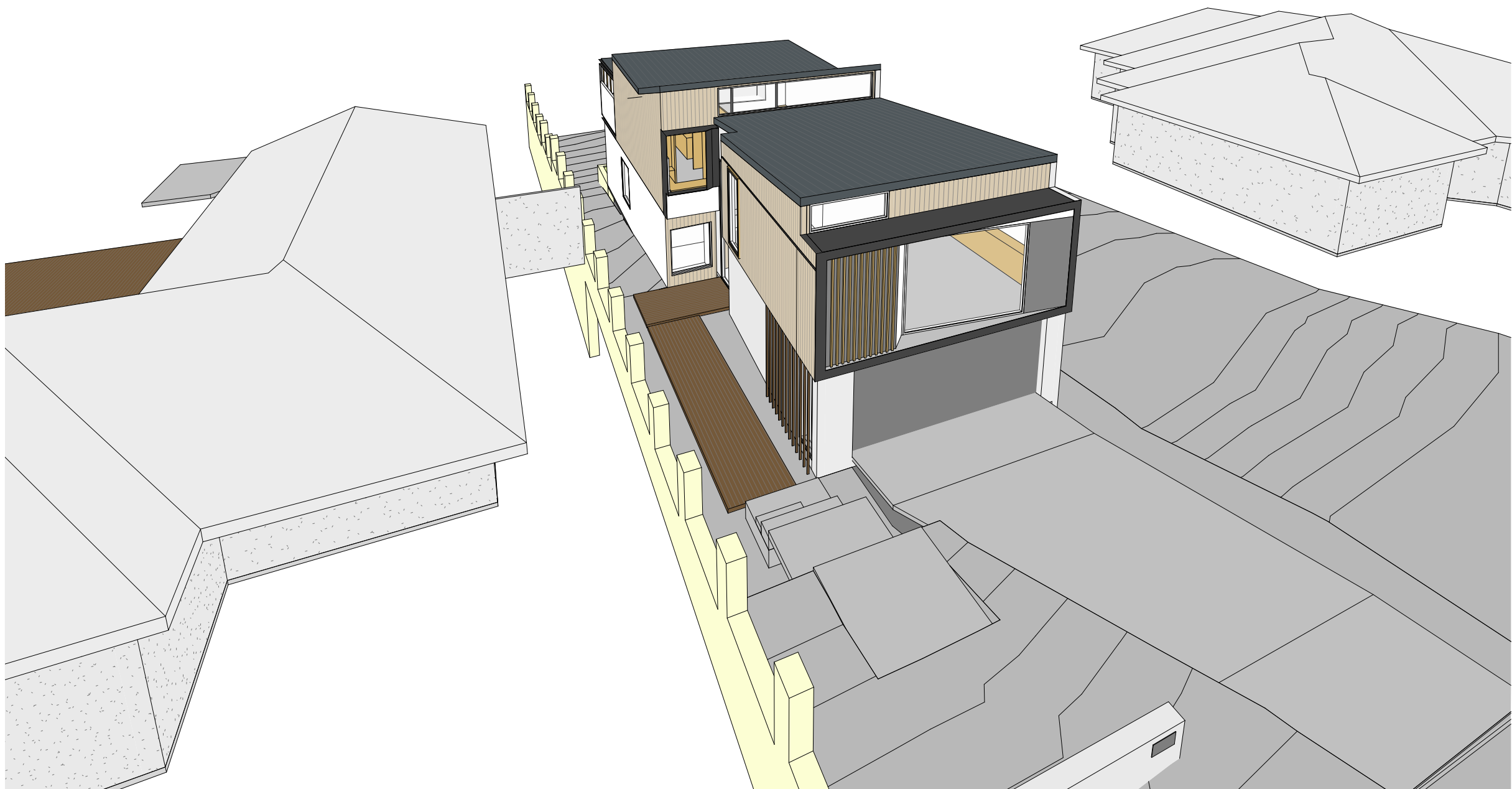
PIER STREET RESIDENCE

71b PIER STREET EAST FREMANTLE

SUBMISSION FOR PLANNING APPROVAL
OCTOBER 2020

DRAWING SCHEDULE

A.000	COVER SHEET
A.100	SITE PLAN AND DEMO PLANS
A.101	SURVEY
A.201	PROPOSED FLOOR PLANS
A.300	ELEVATIONS
A.301	MATERIALS BOARD
A.1000	PERSPECTIVES
L.01	LANDSCAPE PLAN
A.1	R CODES JUSTIFICATION
A.2	71A PROPOSED CONCEPT PLAN
A.3	71A/71B CONCEPT MASSING
A.4	PIER STREET MONTAGE



D	03.10.20	REVISED ISSUE FOR DA
C	08.09.20	ISSUED FOR DA
B	08.07.20	UPDATED PLANS AND EXTERNALS
A	11.05.20	ISSUED FOR CLIENT REVIEW

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A.000 REV D

drawing COVER

scale

project 71B PIER STREET

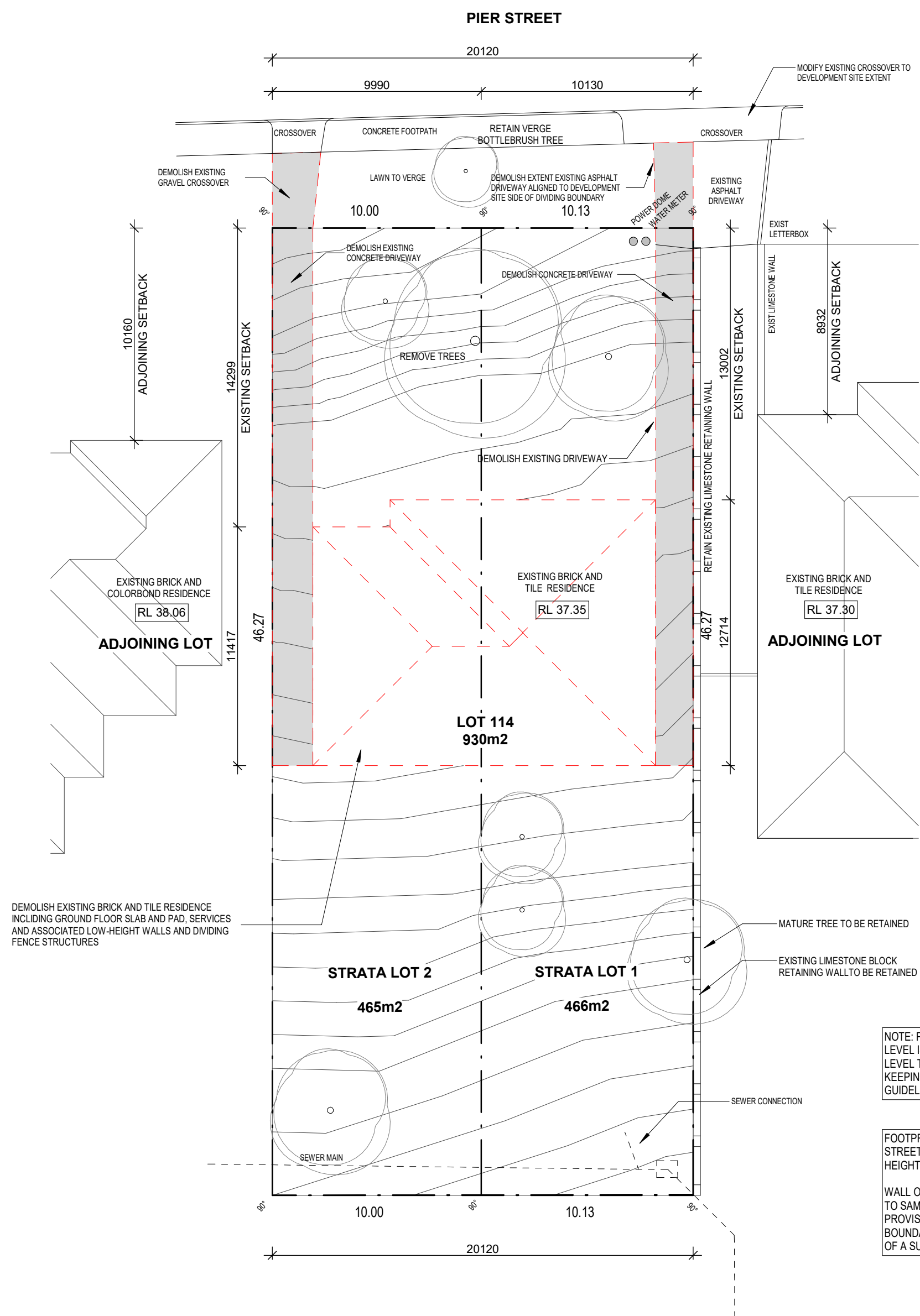
client BEN AND EMMA

drawn WT

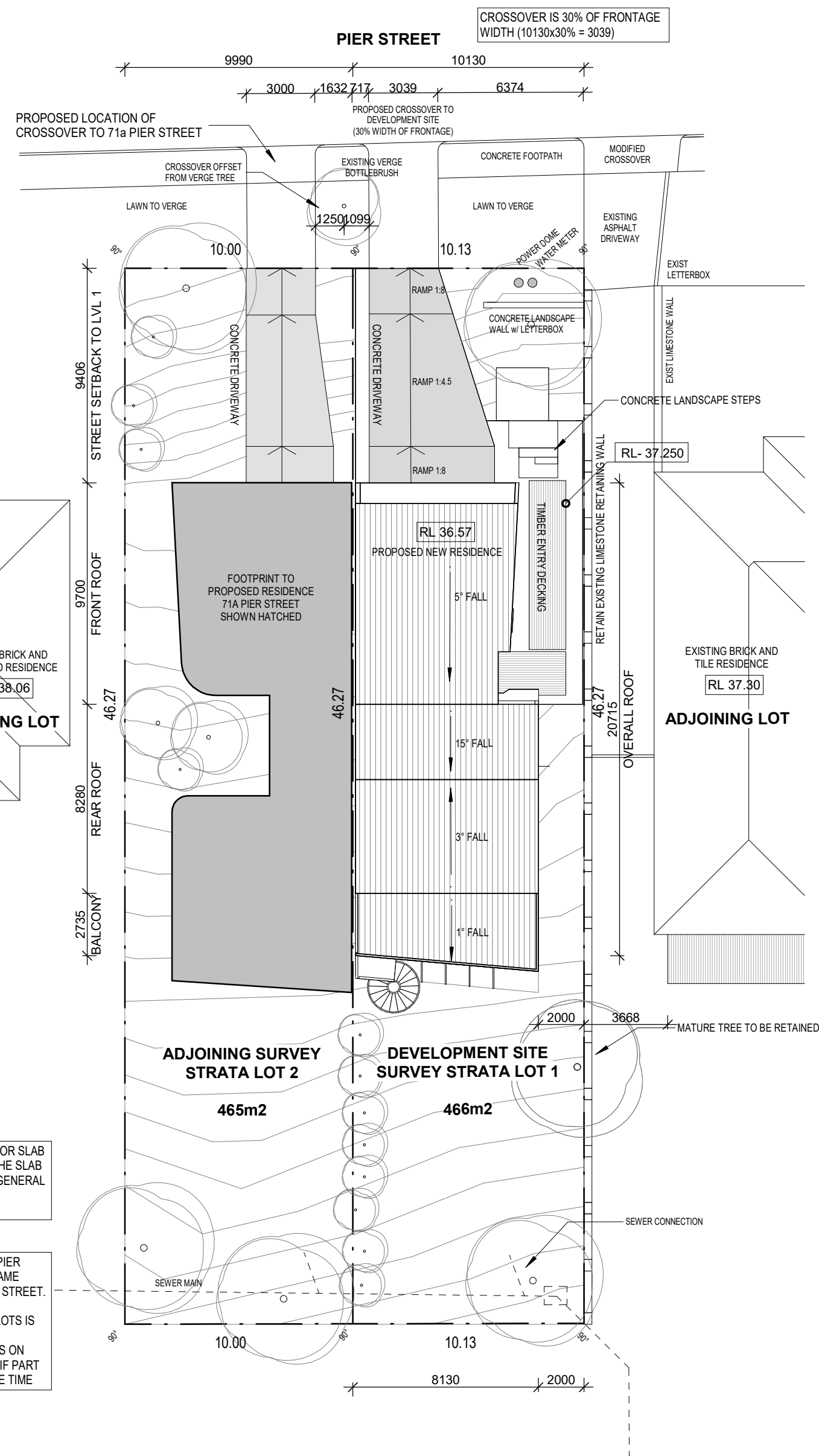
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1 EXISTING SITE AND DEMO PLAN
1 : 200



2 PROPOSED SITE PLAN
1 : 200



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A.100 REV C

drawing SITE PLAN AND DEMO PLANS

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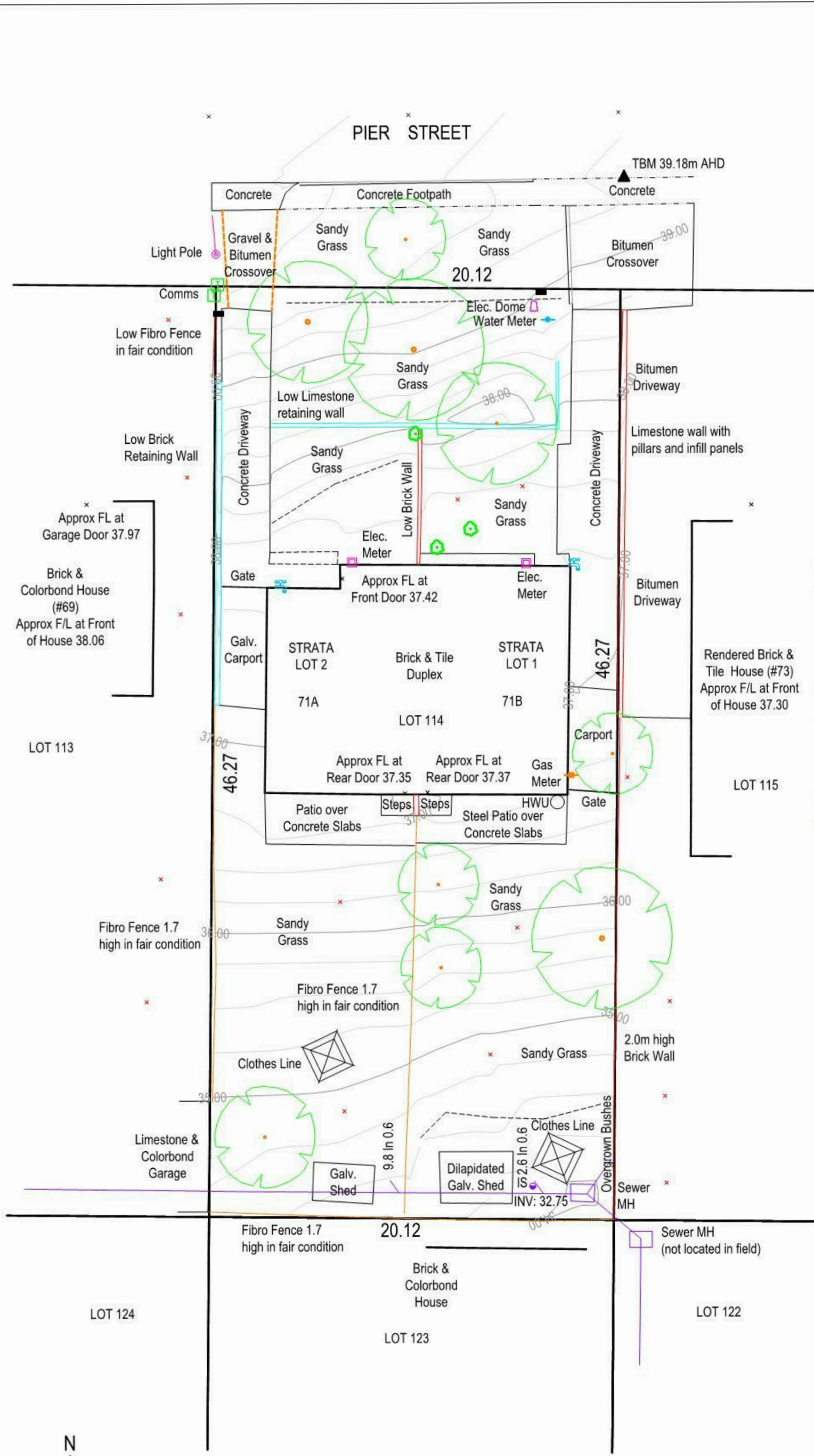
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- LEGEND OF FEATURES
- WATER METER
 - TAP
 - SMALL TREE
 - MEDIUM TREE
 - BUSH
 - NATURAL SURFACE
 - COMM MANHOLE
 - LOCAL BENCHMARK
 - FLOOR LEVEL
 - SEWER MANHOLE
 - SEWER IS
 - ON ROAD
 - MAIL BOX
 - GAS METER
 - LIGHT POLE (ONLY)
 - POWER METER BOX
 - ELECTRIC CABLE DOME
 - CADASTRAL BOUNDARY
 - BUILDING
 - KERB
 - WALL
 - RETAINING WALL
 - CHANGE OF GRADE
 - EDGE OF CONCRETE
 - EDGE OF DRIVEWAY
 - FENCE LOW
 - FENCE HIGH
 - CONCRETE FOOTPATH
 - CONCRETE SLAB PATH
 - SEWER LINE (FROM ESinet)
 - EDGE OF TRACK

0		ISSUED FOR INFORMATION		KSJ	NS	NS	20.04.16
No.	Revision	Drawn	Checked	Approved	Date		
Drawing Revisions							
Note: * indicates signatures on original issue of drawing or last revision of drawing							
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Client BLUEFATHOM PTY. LTD.							
Project 71 PIER STREET EAST FREMANTLE							
Title FEATURE & LEVEL SURVEY							
DO NOT SCALE							
Drawn: KSJ 20.04.16		Scale: 1 : 200 @ A3					
Drafting Check: NS		Surveyor: KH					
Datum: AHD		Field Book: *					
Grid: PCG 94		Level Book: *					
Approved: N. SMITH		This Drawing must not be used for Construction unless signed as Approved					
Date: 20.04.16							
Drawing No. 61-2965201-V01		Original Size A3		Rev 0			

NOTES:

- CADASTRAL BOUNDARIES SHOWN ARE SUBJECT TO SURVEY. ALL CADASTRAL INFORMATION HAS BEEN PROVIDED BY LANDGATE APRIL 2016. THE ACCURACY OF BOUNDARY DEFINITION IS TO THE ASSOCIATED ACCURACY STATEMENTS PROVIDED BY LANDGATE.
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SCALE 1:200 AT ORIGINAL SIZE

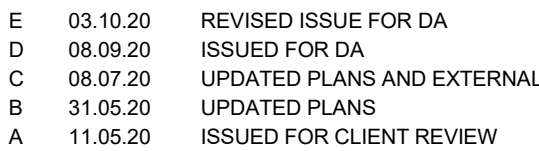
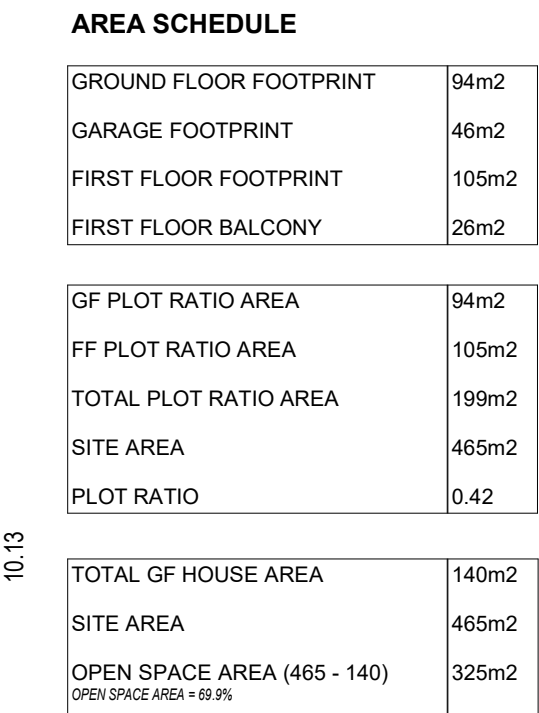
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A.101 REV B

drawing SURVEY
scale 1 : 200
project 71B PIER STREET
client BEN AND EMMA
drawn WT
date JAN 2020

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A.201 REV E

drawing PROPOSED FLOOR PLANS

scale 1 : 100

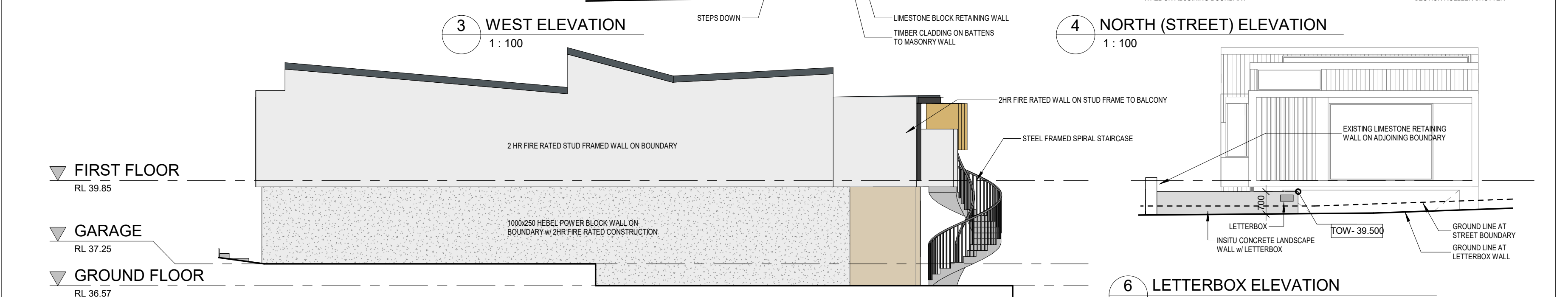
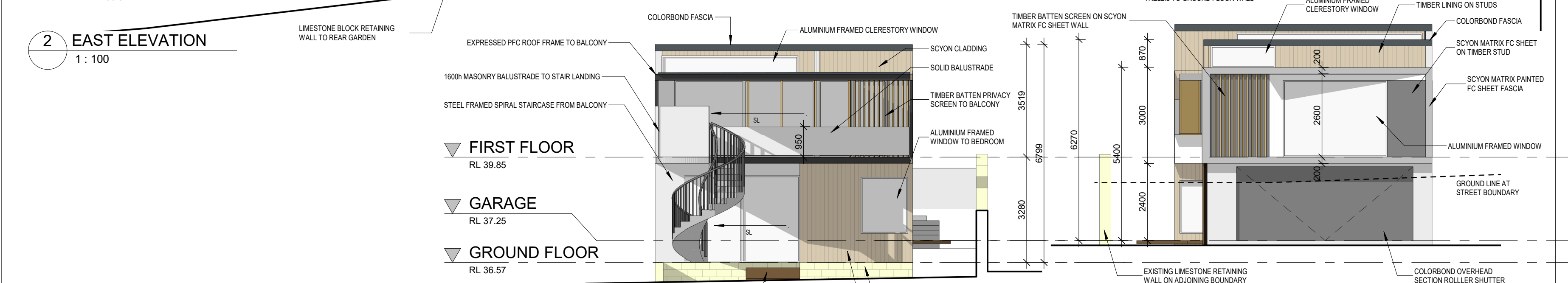
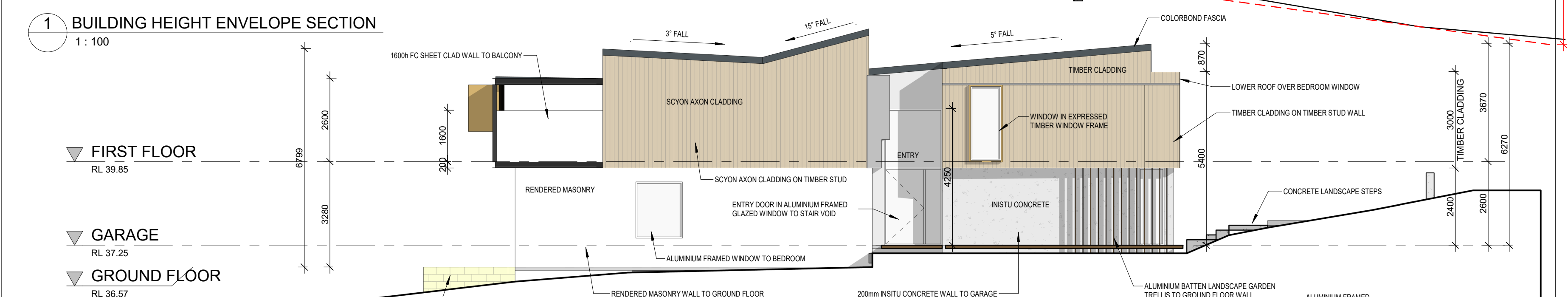
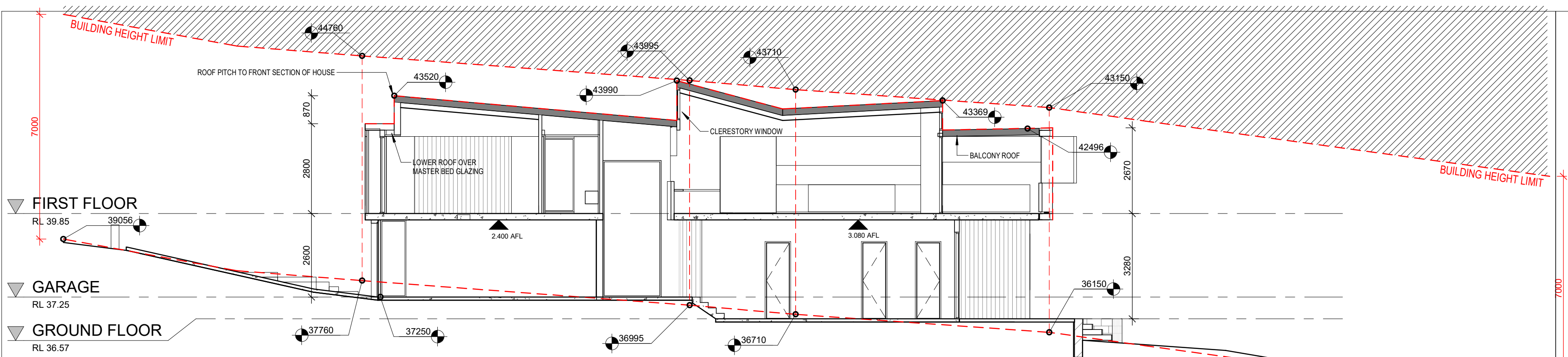
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drawn WT

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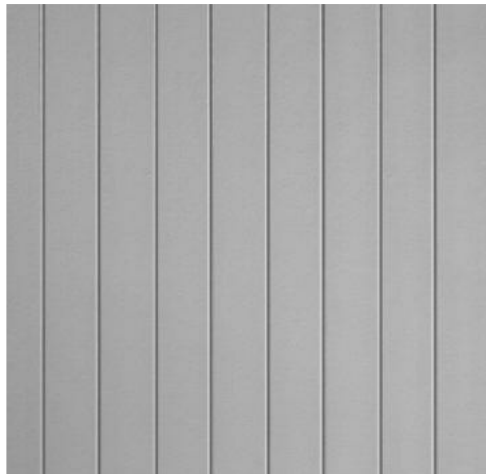
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A.300 REV D

drawing **ELEVATIONS**
scale **1 : 100**
project **71B PIER STREET**
client **BEN AND EMMA**
drawn **WT**
date **JAN 2020**

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SCYON AXON FC SHEET CLADDING:
PAINT FINISH



ADOBO VULCAN TIMBER CLADDING:
NATURAL FINISH



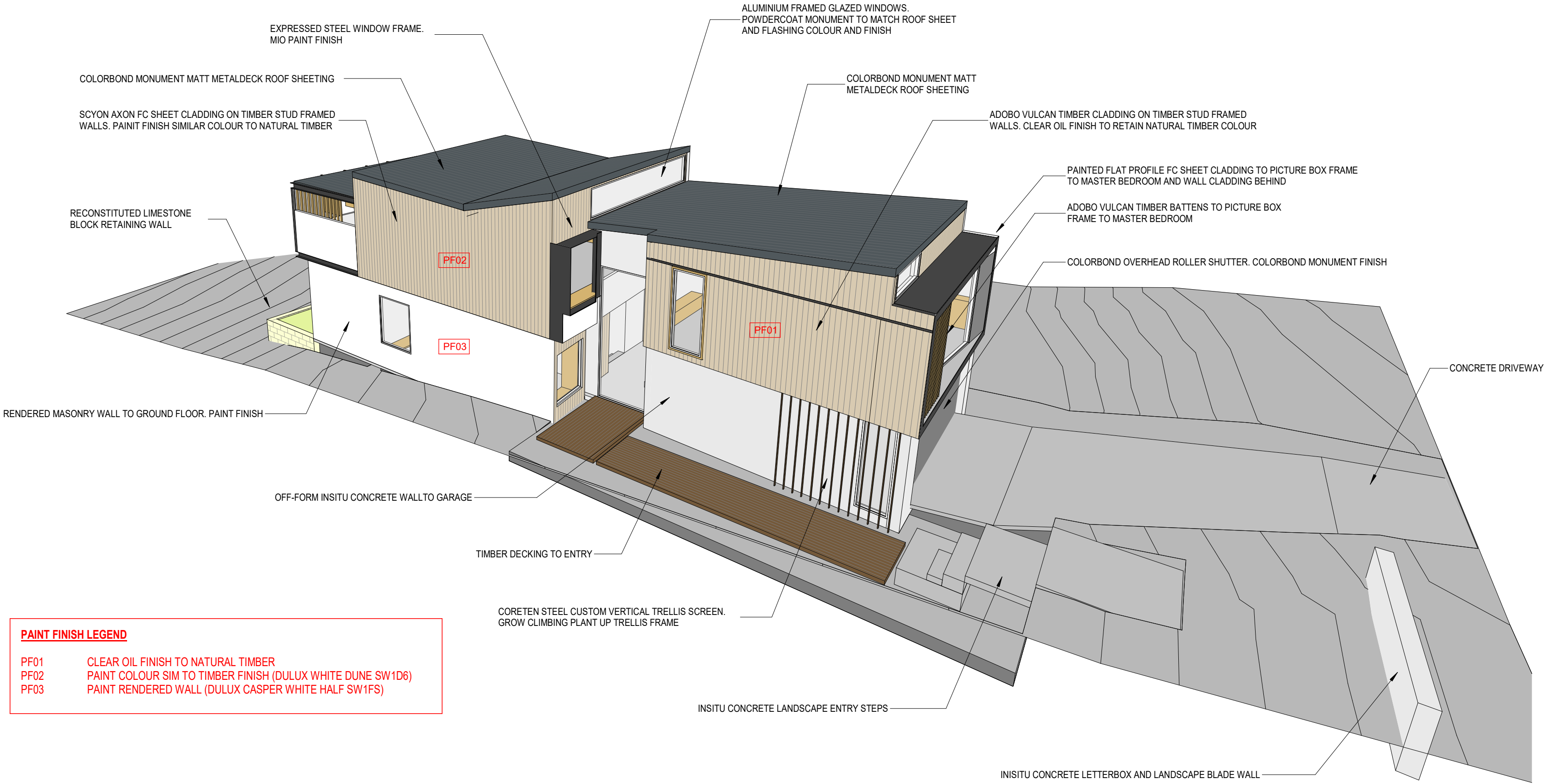
ADOBO VULCAN TIMBER BATTENS:
NATURAL FINISH



INISITU CONCRETE WALL:
OFF-FORM FINISH



COLORBOND METALDECK ROOF AND FLASHINGS:
MONUMENT COLOUR MATT FINISH
POWDERCOAT ALUMINIUM WINDOW FRAME SAME COLOUR



PAINT FINISH LEGEND	
PF01	CLEAR OIL FINISH TO NATURAL TIMBER
PF02	PAINT COLOUR SIM TO TIMBER FINISH (DULUX WHITE DUNE SW1D6)
PF03	PAINT RENDERED WALL (DULUX CASPER WHITE HALF SW1FS)

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A.301 REV A

drawing MATERIALS BOARD

scale 1 : 2

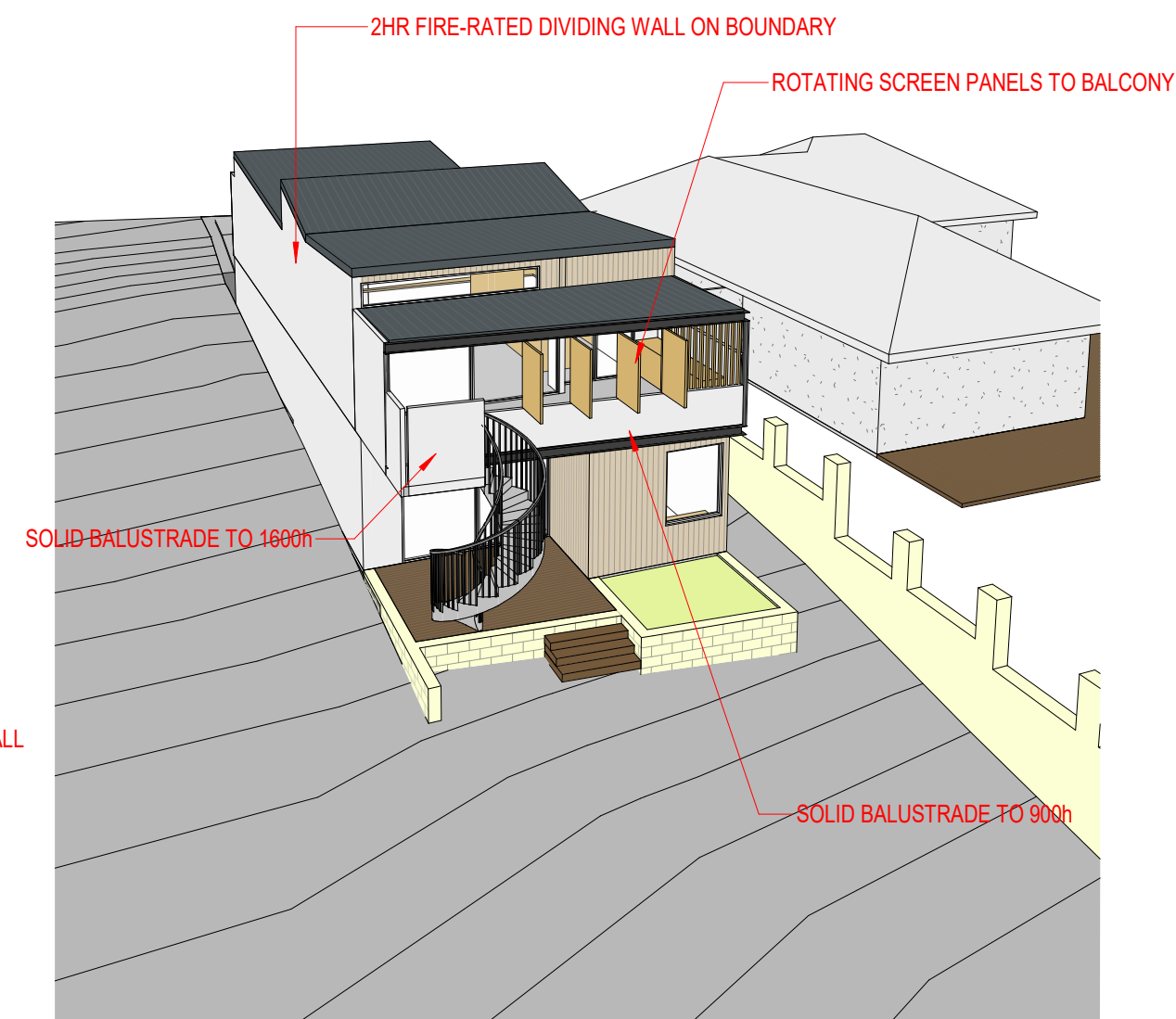
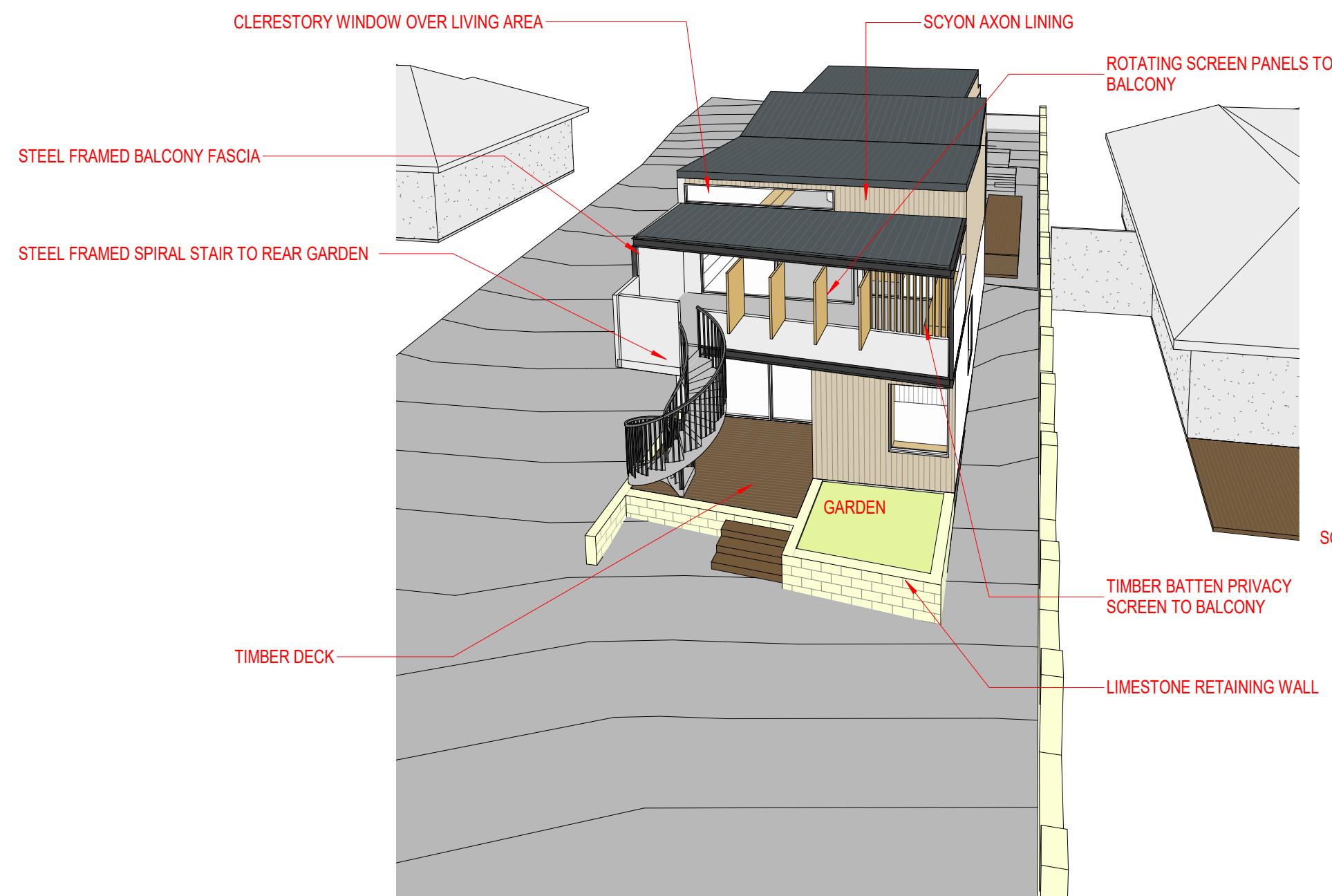
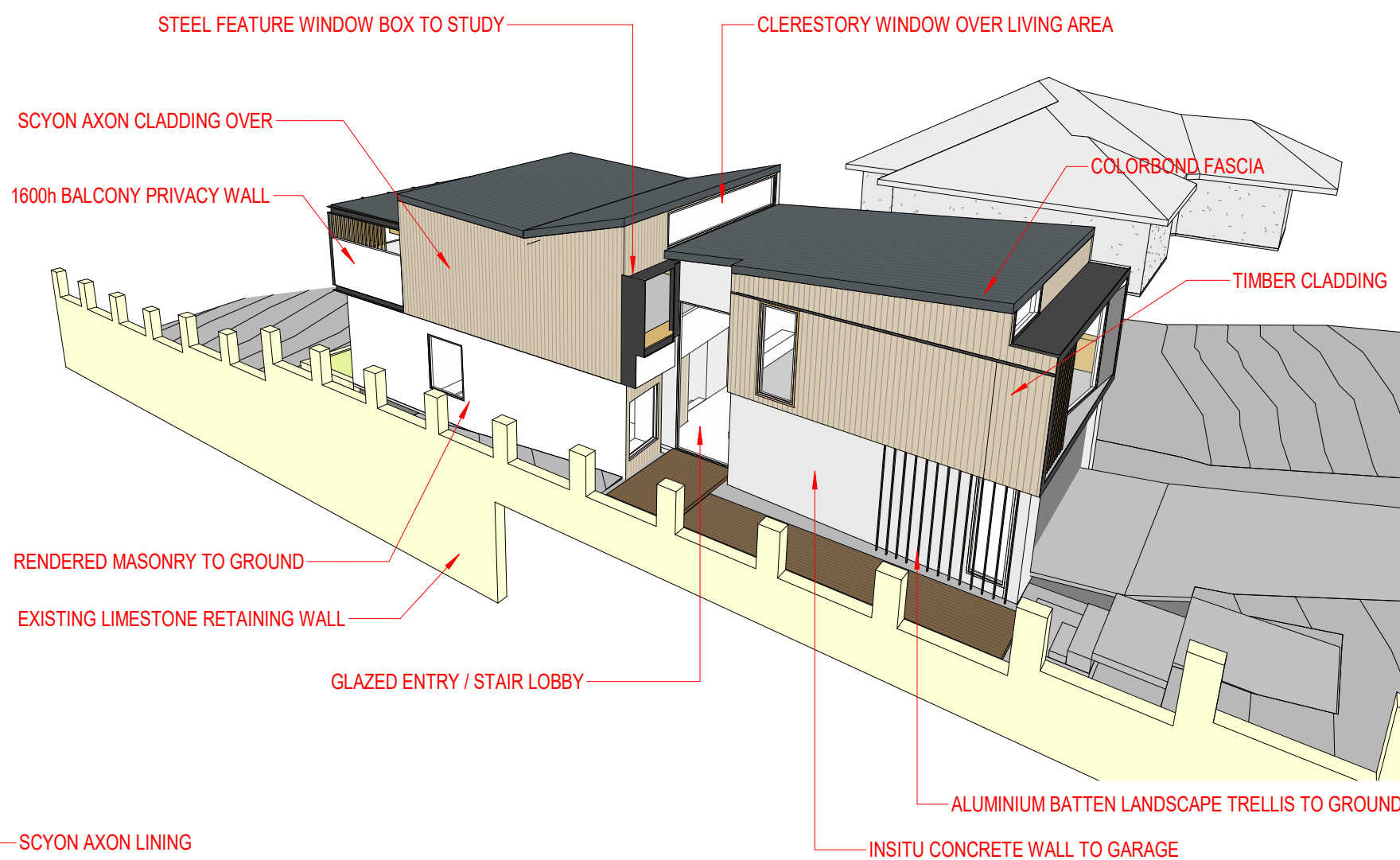
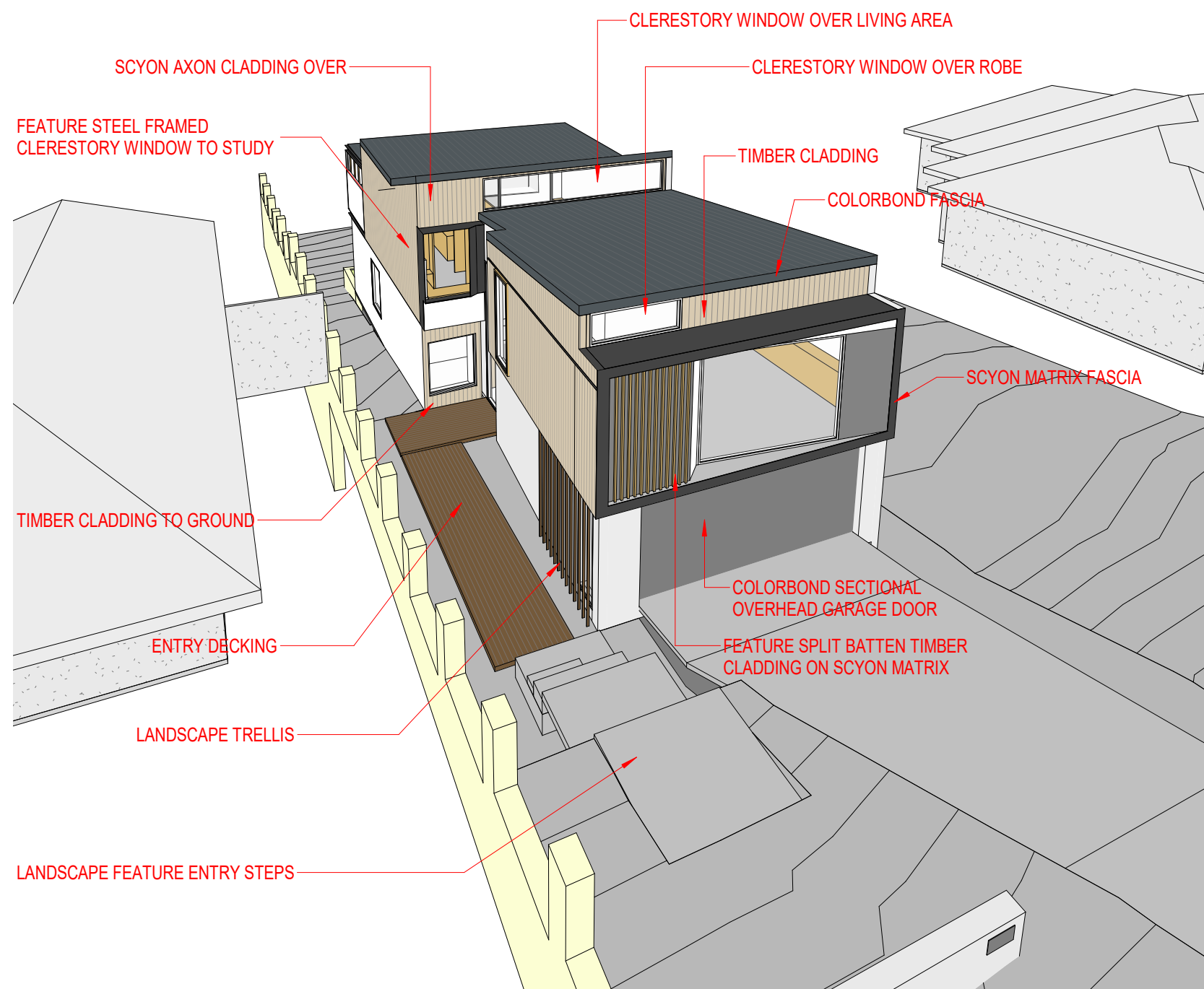
project 71B PIER STREET

client BEN AND EMMA

drawn WT

date JAN 2020

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A.1000 REV D

drawing PERSPECTIVE

scale

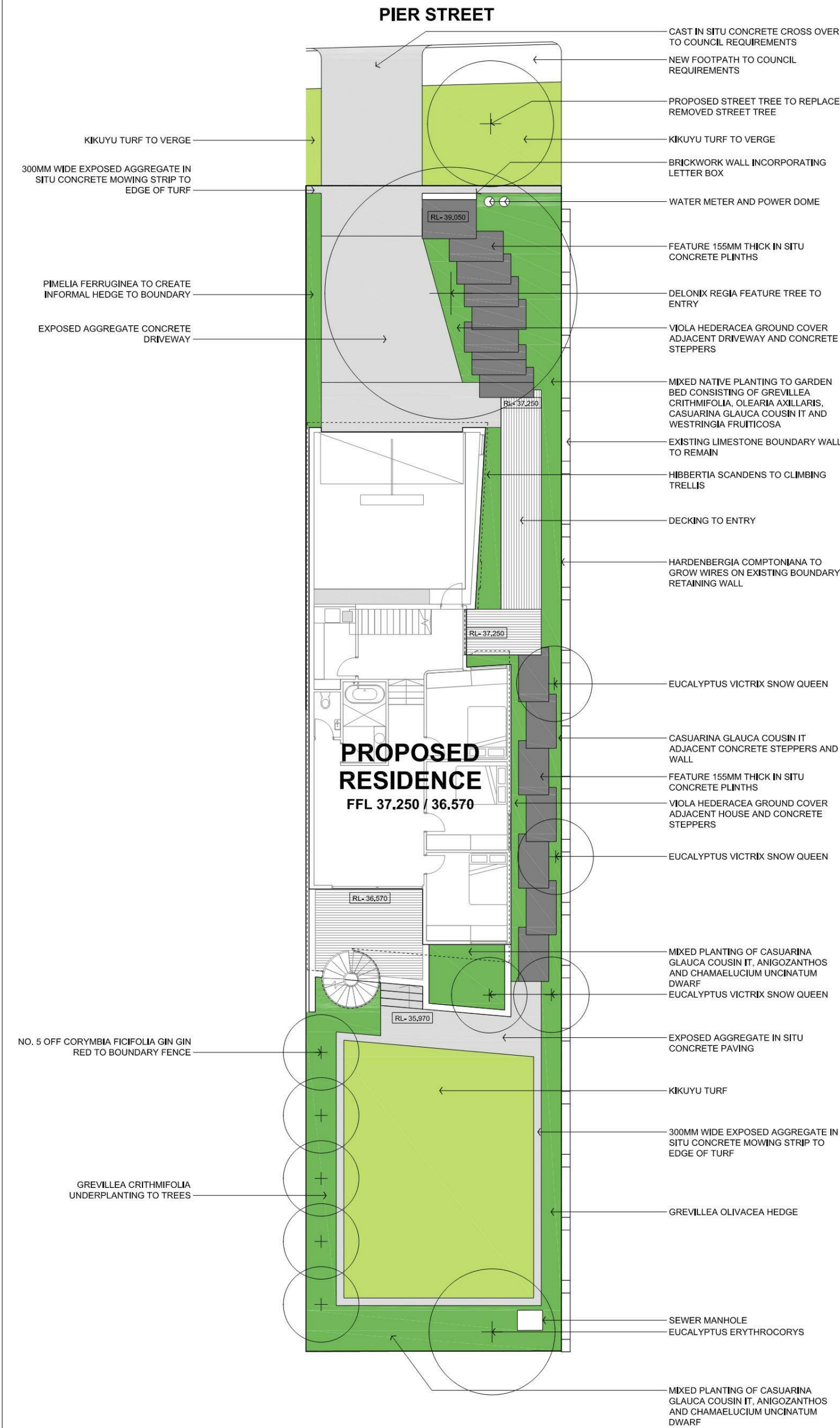
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client BEN AND EMMA

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A	DEVELOPMENT APPLICATION	02.10.20	AT
REV	AMENDMENT	DATE	CHKD

four LANDSCAPE STUDIO

info@fourls.com.au ph:(08) 9286 4900 11/34 Eighth Avenue, Maylands, WA



ANIGOZANTHOS



CHAMAELUCIUM UNCINATUM



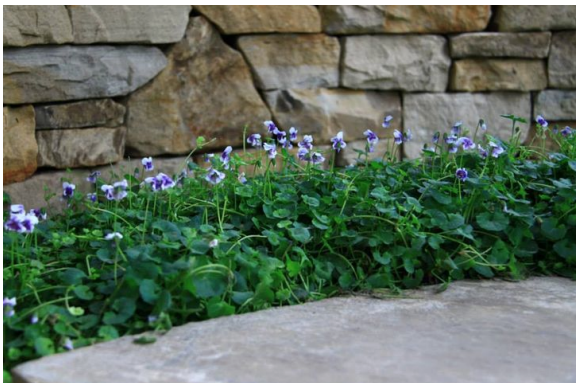
CASUARINA GLAUCA COUSIN IT



OLEARIA AXILLARIS



GREVILLEA OLIVACEA



VIOLA HEDERACEA



EUCALYPTUS VICTRIX SNOW QUEEN



HARDENBERGIA COMPTONIANA



GREVILLEA CRITHMIFOLIA



HIBERTIA SCANDENS



DELONIX REGIA

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L.01 REV A

drawing LANDSCAPE PLAN

scale 1 : 200

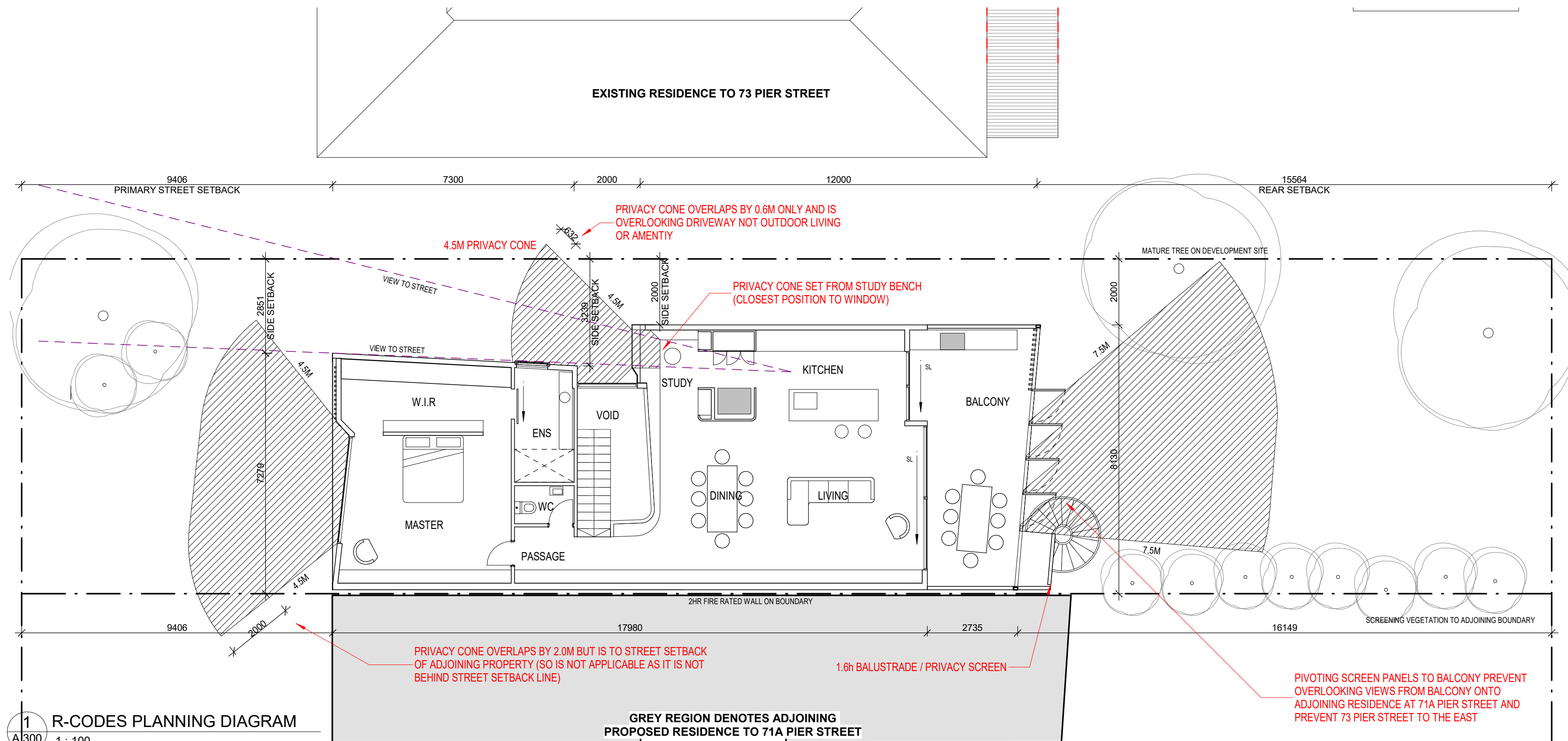
project 71B PIER STREET

client BEN AND EMMA

drawn WT

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1 R-CODES PLANNING DIAGRAM
A1300 1 : 100

GENERAL NOTES RELATIVE TO THE DEVELOPMENT AND THE R-CODES

THE PLANNING OF THE HOUSE IS COMPLIANT W/ THE PROVISIONS OF THE R-CODES AND THE TOWN OF EAST FREMANTLE TOWN PLANNING SCHEMES NO 3 AND THE TOWN OF EAST FREMANTLE RESIDENTIAL DESIGN GUIDELINES (RDG) WITH SOME MINOR DISCREPANCIES REQUIRING APPROVAL.

THE DEVELOPMENT SITE IS WITHIN THE RICHMOND HILL PRECINCT. KEY PLANNING CONSIDERATIONS HAVE BEEN IDENTIFIED BELOW AND NOTED IF COMPLIANT OR NON-COMPLIANT AND JUSTIFIED ACCORDINGLY:

HEIGHT ABOVE GROUND LEVEL AND BUILDING ENVELOPE
AS PER RDG 3.7.4.3 (A2.2) THE GROUND FLOOR SLAB LEVEL HAS BEEN DETERMINED TO MINIMISE CUT AND FILL AND TO ENSURE BUILDING BULK AND SCALE IS SYMPATHETIC TO THE EXISTING STREETScape.

THE BUILDING ENVELOPE HAS BEEN DETERMINED BASED ON NATURAL GROUND LEVELS ON THE BOUNDARY AND THE BUILDING HEIGHT ENVELOPE IS SHOWN ON ELEVATION A.300.

AS PER RDG 3.7.17.4.1.3 (A1.3) MAXIMUM BUILDING R-CODE CATEGORY 'B' HAS BEEN APPLIED AND OUR DEVELOPMENT IS CONSISTENT WITH THESE REQUIREMENTS. THE SITE HAS NO SIGNIFICANT WATER VIEWS FROM ADJOINING RESIDENCES, COMPLIES WITH ELEMENT 8 AND 9 OF THE R-CODES AND IS NOT A BATTLEAXE BLOCK SO MEETS A1.3 (I), (II), (III)

THE HEIGHT OF BUILDING ENVELOPE HAS BEEN DETERMINED AS 7.0M ABOVE NGL BASED ON THE MAXIMUM HEIGHT TO TOP OF WALL AS PER R-CODES CATEGORY 'B' AND AS PER BUILDING HEIGHT ENVELOPE SECTION ON A.300 THE DEVELOPMENT IS ENTIRELY CONTAINED WITHIN THIS 7.0M ENVELOPE (INCLUDING ALL ROOF).

SETBACK AND BUILDING HEIGHT
PRIMARY STREET SETBACK IS THE AVERAGE OF THE 2 ADJOINING RESIDENCES AS FOLLOWS:
69 PIER STREET (WEST OF DEVELOPMENT SITE) 7.8M + 73 PIER STREET (EAST OF DEVELOPMENT SITE) 7.38: 7.8+7.38 / 2=7.59M
PROPOSED STREET SET-BACK 9.4M THEREFORE CONSIDERABLY GREATER THAN THE MINIMUM

OVERALL BUILDING HEIGHT COMPLIES W/ THE PROVISIONS OF THE **R-CODES 5.1.6** (CATEGORY 'B') AND WITH THE ENTIRE DEVELOPMENT STEPPING DOWN THE SITE WITHIN A 7.0M HIGH DEVELOPMENT ENVELOPE AS SHOWN ON **A.300**

THE PROPOSED REAR SETBACK IS 15.56M WHICH IS GREATER THAN THE MINIMUM 6.0M REQUIRED
THE PROPOSED SIDE SETBACK TO THE EASTERN BOUNDARY VARIES TO THE FRONT AND REAR PORTIONS OF THE HOUSE (AS SHOWN ON PLAN ABOVE) AND IS FULLY COMPLIANT WITH TABLE 2A OF THE R-CODES FOR A WALL <7.0M IN HEIGHT WITH NO MAJOR OPENINGS.

THE FRONT PORTION OF THE HOUSE IS <7.0M AND <9.0M LENGTH REQUIRING ONLY 1.2M SETBACK (WE HAVE BETWEEN 2.85 - 3.23M SETBACK AS PER PLAN).
THE REAR PORTION OF THE HOUSE IS <7.0M AND <12.0M LENGTH INCL BALCONY REQUIRING 1.6M SETBACK (WE HAVE 2.0M)

THE PROPOSED DIVIDING WALL ON BOUNDARY IS BUILT WITHIN 50MM OF THE STRATA LOT BOUNDARY AND IS PROPOSED TO BE BUILT-UP TO THE BOUNDARY WITH A SIMILAR DEVELOPMENT SCALE ONTO STRATA LOT 2 BOUNDARY IN ACCORDANCE WITH C3.2 (I) OF THE R-CODES. REFER TO A.2 AND A.3 FOR CURRENT CONCEPT DESIGN OF 71A PIER STREET DEMONSTRATING ADJOINING PLANNING, HEIGHT AND SCALE.

ROOF FORMS
AS PER 3.7.8.2 (II) WE HAVE PROPOSED A CONTEMPORARY ROOF FORM IN ACCORDANCE WITH THE POLICY OBJECTIVE FOR RICHMOND HILL

FOOTPATHS AND CROSSOVERS
OUR DEVELOPMENT PROPOSAL COMPLIES WITH THE PROVISIONS OF 3.7.14.3 A2.2 WHICH REQUIRES A MAX CROSSOVER OF 3.0M FOR A LOT OF <12.0M WIDTH.

GARAGES
AS PER 3.7.15.3.2 THE PROPOSAL DOES INCORPORATE THE GARAGE INTO THE DESIGN OF THE DWELLING WITH THE GARAGE BEING ENTIRELY SITUATED UNDER THE FIRST FLOOR MASTER BEDROOM ON THE STREET ELEVATION. THIS SIMILAR DESIGN APPROACH HAS BEEN APPLIED DIRECTLY ADJACENT THE DEVELOPMENT SITE AT 58 PIER STREET TO THE NORTHERN SIDE OF THE STREET.

GARAGE WIDTH AS PER 5.2.2 OF THE R-CODES IS TO BE <50% WIDTH OF LOT UNLESS A BALCONY IS CONSTRUCTED OVER WHICH CAN INCREASE THE WIDTH TO 60%. GIVEN THE REDUCED WIDTH OF OUR DEVELOPMENT SITE (10.13M) THE WIDTH OF A DOUBLE CAR GARAGE CAN NEVER BE 50% OF THE WIDTH OF THE LOT AS THE MINIMUM DIMENSIONS OF A DOUBLE CAR GARAGE IS 6.0M TYPICALLY. OUR DEVELOPMENT HAS INTEGRATED THE GARAGE INTO THE DESIGN OF THE DWELLING AND THUS HAS MINIMISED ITS VISUAL IMPACT. WE FEEL FOR THIS REASON THAT WE MEET THE INTENT OF THE R-CODE POLICY WHICH IS TO NOT DOMINATE THE STREET SCAPe WITH A GARAGE.

FURTHER TO THIS, OUR GARAGE IS AT RL37250 WHICH IS OVER 1.8M LOWER THAN THE STREET BOUNDARY LEVEL WHICH FURTHER REDUCES THE IMPACT OF THE GARAGE AS THE MAIN VISUAL ELEMENT OF THE RESIDENCE FROM THE STREETScape WILL BE THE FIRST FLOOR MASTER BEDROOM ELEVATION OVER.

THE ACTUAL GARAGE DOOR WIDTH IS 5.6M WHICH IS WITHIN THE RANGE OF 50-60% OF FRONTAGE AS PER 5.2.2 AND THIS SHOULD ALSO BE CONSIDERED AS AN APPROPRIATE RESPONSE TO THE VISUAL IMPACT AND WIDTH OF THE GARAGE TO THE DEVELOPMENT SITE. A SIMILAR ARCHITECTURAL ARTICULATION HAS BEEN DEVELOPED DIRECTLY OPPOSITE AT 58 PIER STREET WITH 2 RESIDENCES BUILT OVER GARAGES BUT IN THIS INSTANCE THESE DEVELOPMENTS ARE ELEVATED CONSIDERABLY ABOVE STREET LEVEL DUE TO THE TOPOGRAPHY, AS OPPOSED TO OUR DEVELOPMENT IN WHICH THE GARAGE WILL BE SIGNIFICANTLY LOWER THAN STREET LEVEL AND THUS LESSEN THE VISUAL IMPACT.

OPEN SPACE AND PLOT RATIO
THE DEVELOPMENT SITE IS 465M2 AND THE TOTAL COVERED AREA PROPOSED IS 155M2 WHICH EQUATES TO 33% OF THE SITE AREA. THUS OPEN SPACE IS 67% OF SITE AREA WHICH IS CONSIDERABLY GREATER THAN THE MIN 55% OPEN SPACE REQUIRED FOR AN R12.5 LOT

PLOT RATIO REQUIRED IS 0.4 AS PER THE AREA TABLE THIS SHEET. WE HAVE ACHIEVED A PLOT RATIO OF 0.42 WHICH IS SLIGHTLY OVER THE PROVISIONS OF TPS3. PLOT RATIO OF 0.4 IS 186M2. OUR PLOT RATIO AREA IS 199M2. THIS EQUATES TO A 13M2 ADDITIONAL PLOT RATIO AREA ONLY.

WE REQUEST AN EXEMPTION FOR THIS MINOR PLOT-RATIO DISCREPANCY.

VISUAL PRIVACY
REFER VISUAL PRIVACY DIAGRAM ABOVE.

THE MASTER BEDROOM IS COMPLIANT AS THE OVERLOOKING IS TO THE PRIMARY STREET SETBACK AND THUS NOT APPLICABLE.

THE STUDY LOOKS ONTO THE ADJOINING NEIGHBORS DRIVEWAY AREA ONLY (BY 0.6M). WE REQUEST EXEMPTION AS THIS IS NOT OVERLOOKING ONTO AN OUTDOOR AMENITY

THE BALCONY IS PROPOSED TO BE PROVIDED WITH PIVOTING PANELS INCORPORATED INTO THE BALUSTRADE WHICH PREVENT ANY VIEW CONE OVERLAPPING EITHER BOUNDARY. THESE PANELS PIVOT BETWEEN THE CLOSED POSITION AND OPEN POSITION BEING FIXED AT 90° PAST THE BALCONY EDGE TO PROVIDE PRIVACY. THEY WILL BE SIZED AND SET-OUT TO ENSURE NO VIEWING ANGLE IS PROVIDED (AS DEMONSTRATED INTO THE VISUAL PRIVACY DIAGRAM ON THIS SHEET)

OVERSHADOWING
THE DEVELOPMENT SITE FACES DUE WEST AND THERE IS NIL (0M2) OVERSHADOWING ONTO ANY ADJOINING LOTS AT 12PM 21 JUNE AT ALL.

AREA SCHEDULE

GROUND FLOOR FOOTPRINT	94m2
GARAGE FOOTPRINT	46m2
FIRST FLOOR FOOTPRINT	105m2
FIRST FLOOR BALCONY	26m2

GF PLOT RATIO AREA	94m2
FF PLOT RATIO AREA	105m2
TOTAL PLOT RATIO AREA	199m2
SITE AREA	465m2
PLOT RATIO	0.42

TOTAL GF HOUSE AREA	140m2
SITE AREA	465m2
OPEN SPACE AREA (465 - 140)	325m2
OPEN SPACE AREA = 69.9%	

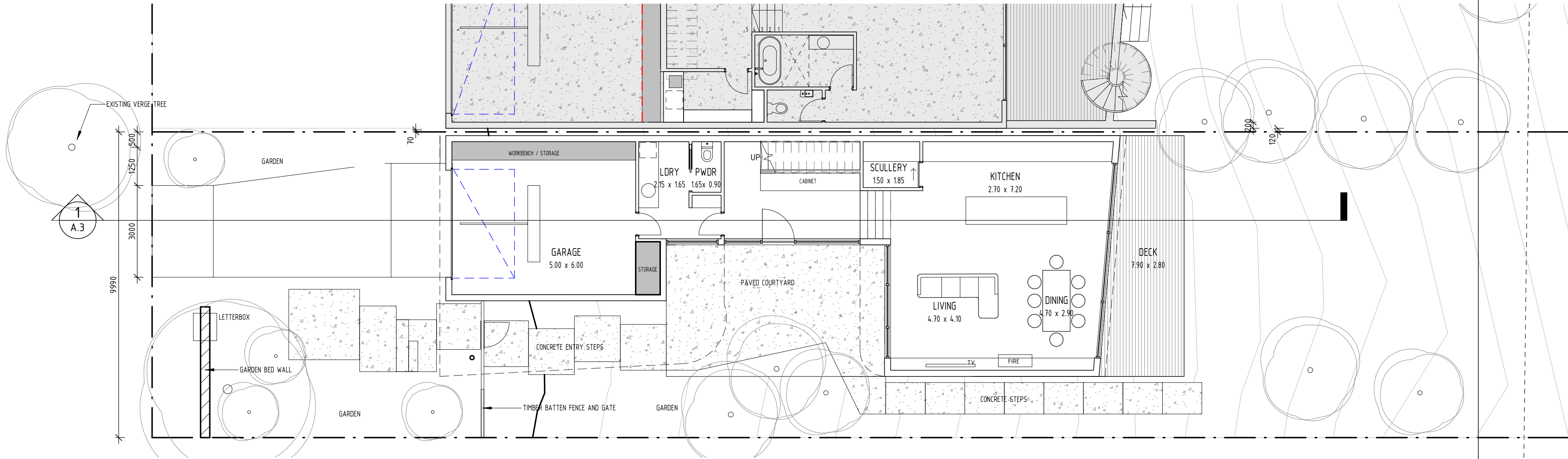
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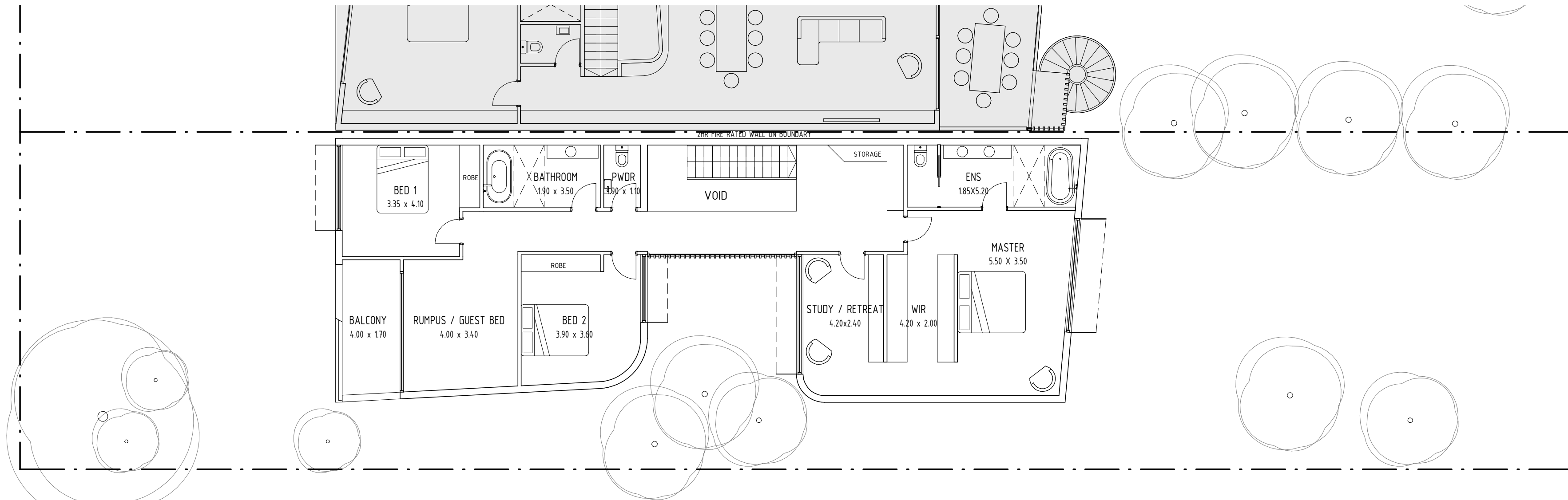
A.1 REV B

drawing RCODES JUSTIFICATION
scale 1 : 100
project 71B PIER STREET
client BEN AND EMMA
drawn WT
date JAN 2020

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1 GROUND FLOOR PLAN
A.3 1 : 100



2 FIRST FLOOR PLAN
A.3 1 : 100

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A.2 REV A

drawing 71A PROPOSED CONCEPT PLAN

scale 1 : 100

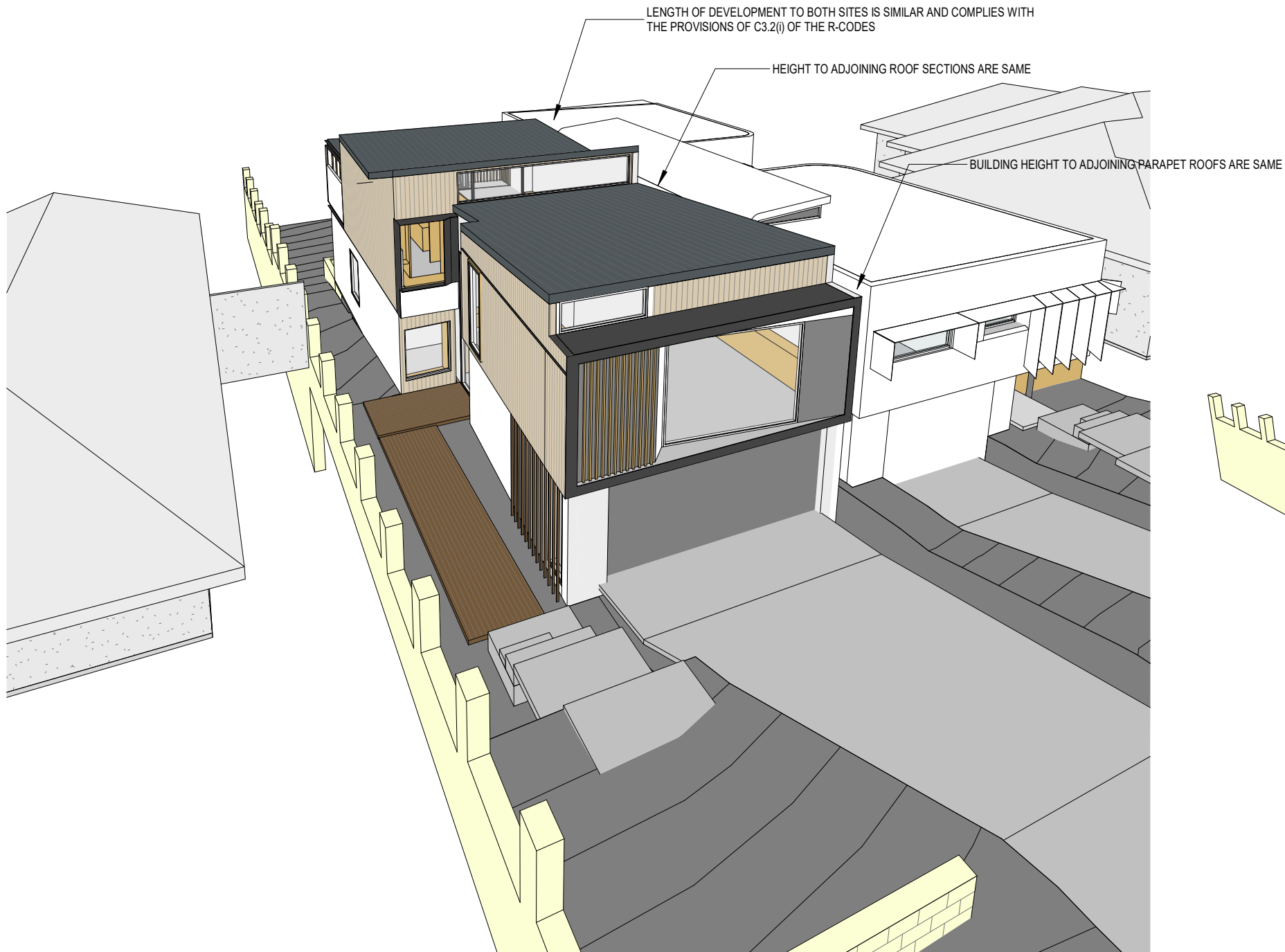
project 71B PIER STREET

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BUILDING HEIGHT, BULK AND SCALE TO 71A IS PROPOSED TO BE TO THE SAME HEIGHT AND SCALE AS 71B.
MAXIMUM BUILDING HEIGHT WILL BE WITHIN 7.0M ABOVE GROUND TO SAME AS 71B.
LENGTH OF 71A DEVELOPMENT ON BOUNDARY TO BE TO SAME LENGTH AS 71B

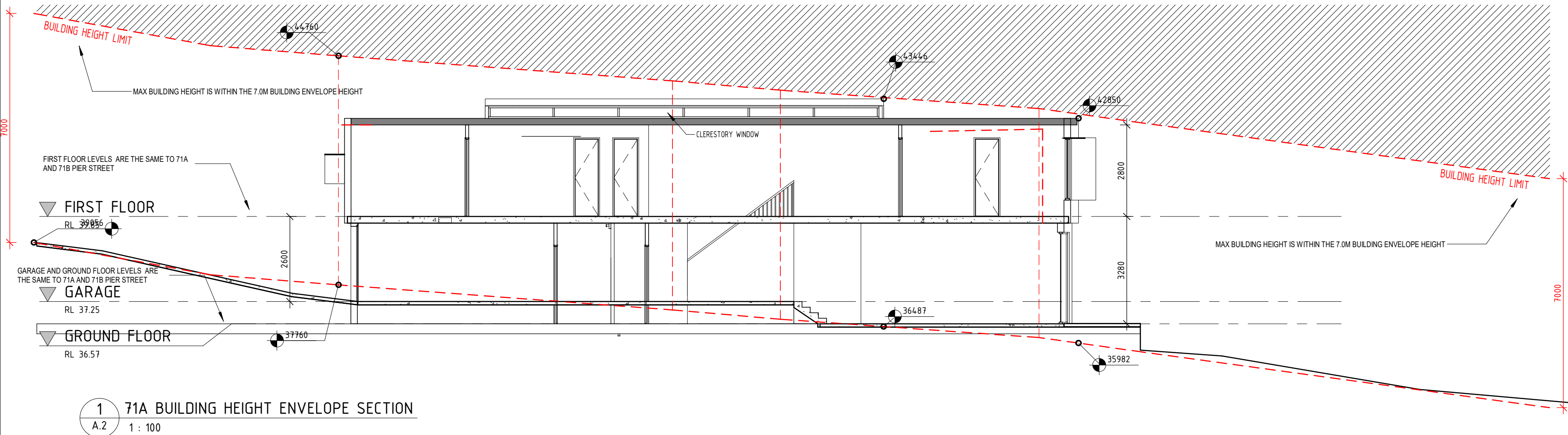
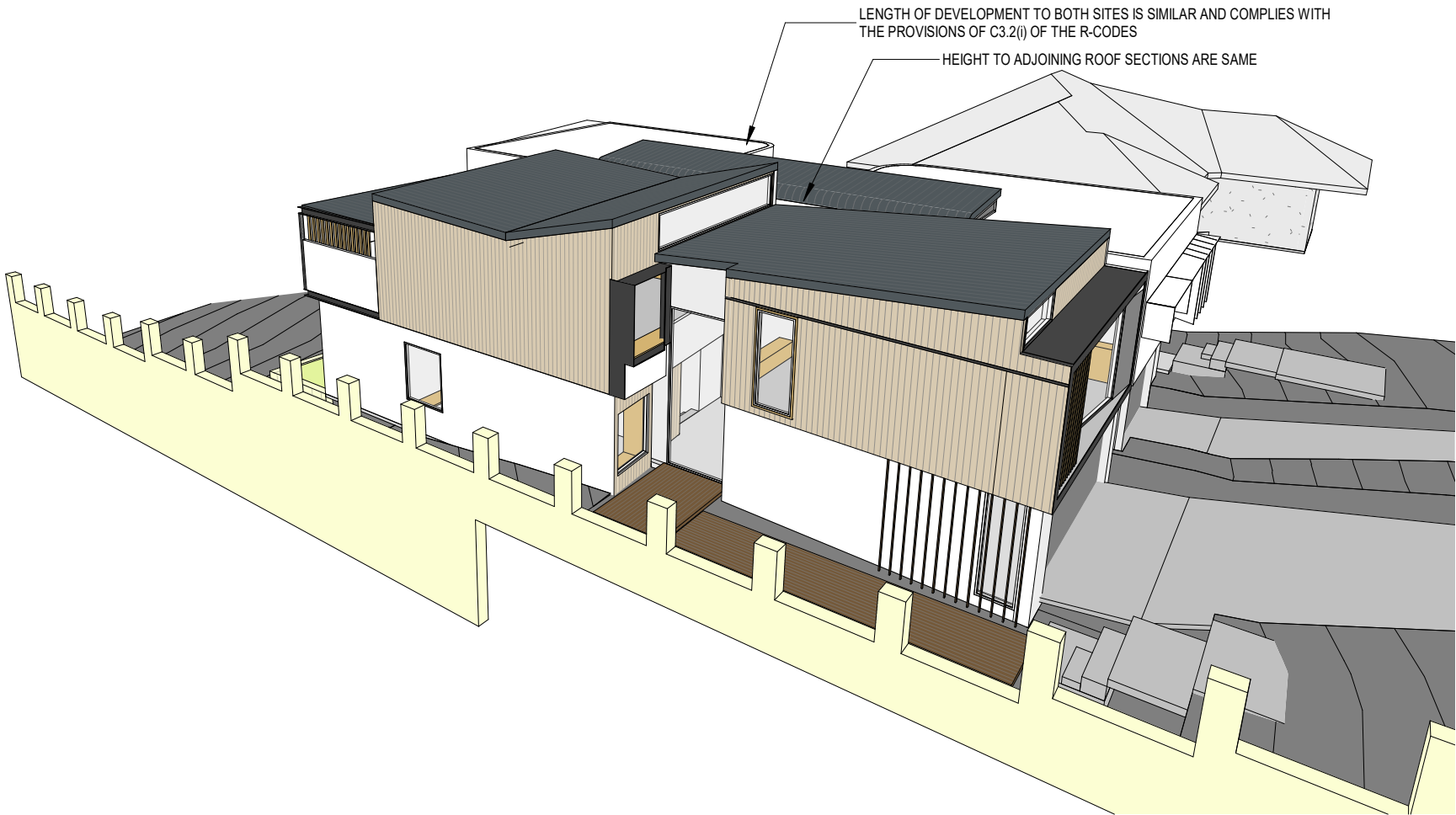
THE PROPOSED IS COMPLIANT w/ C3.2 (i) AND (iv) OF THE R-CODES WHICH STATES:

WALLS MAY BE BUILT UP TO A LOT BOUNDARY BEHIND THE STREET SETBACK AND IN ACCORDANCE w/ CLAUSE 5.1.2 AND 5.2.2) WITHIN THE FOLLING LIMITS AND SUBJECT TO THE OVERSHADOWING PROVISIONS OF CLAUSE 5.4.2;

(i) WHERE THE WALL ABUTS AN EXISTING OR SIMULTANEOUSLY CONSTRUCTED WALL OF SIMILAR OR GREATER DIMENSIONS
(iv) WHERE BOTH THE SUBJECT SITE AND THE AFFECTED ADJOINING SITE ARE CREATED IN A PLAN OF SUBDIVISION SUBMITTED CONCURRENTLY WITH THE DEVELOPMENT APPLICATION

THE PROPOSED DEVELOPMENT FOR 71B PIER STREET IS PART OF A PROPOSED SUBDIVISION TO CREATE SURVEY STRATA LOTS 1 (71B PIER) AND 2 (71A PIER) AND THUS COMPLIES WITH C3.2(iv) OF THE R-CODES

THE PROPOSED DEVELOPMENT OF 71B AND THE CONCEPT DESIGN FOR 71A PROPOSE A DEVELOPMENT ON SURVEY STRATA LOTS 1 AND 2 WHICH WILL CREATE WALLS OF SIMILAR OR GREATER DIMENSIONS ONTO THE ADJOINING LOTS AT THE SAME BOUNDARY AND THUS COMPLIES WITH THE PROVISIONS OF C3.2(i) OF THE R-CODES



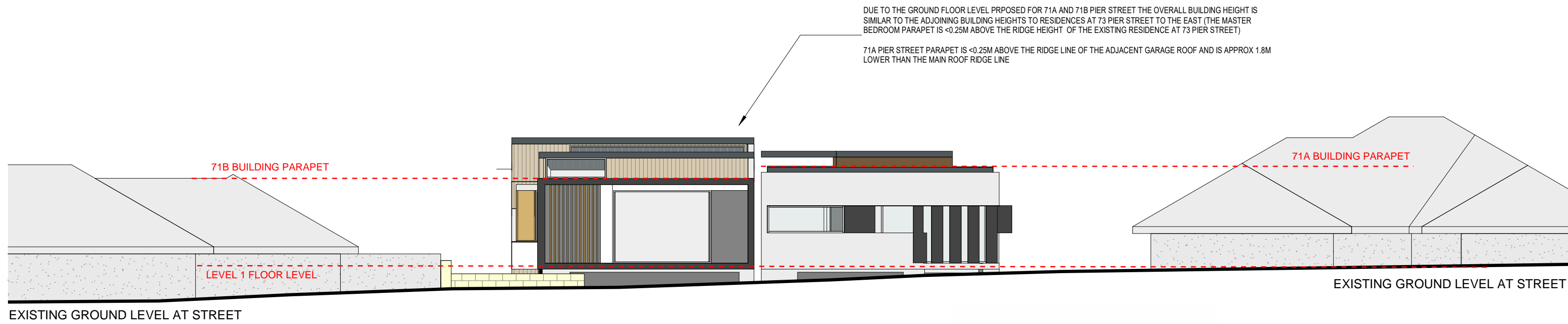
A 03.10.20 REVISED ISSUE FOR DA

wilt design
e_wiltdesign@live.com.au m_0406 752 478 ABN_26 197 110 283

A.3 REV A

drawing 71A/71B MASSING CONCEPT
scale 1 : 100
project 71B PIER STREET
client BEN AND EMMA
drawn WT
date JAN 2020

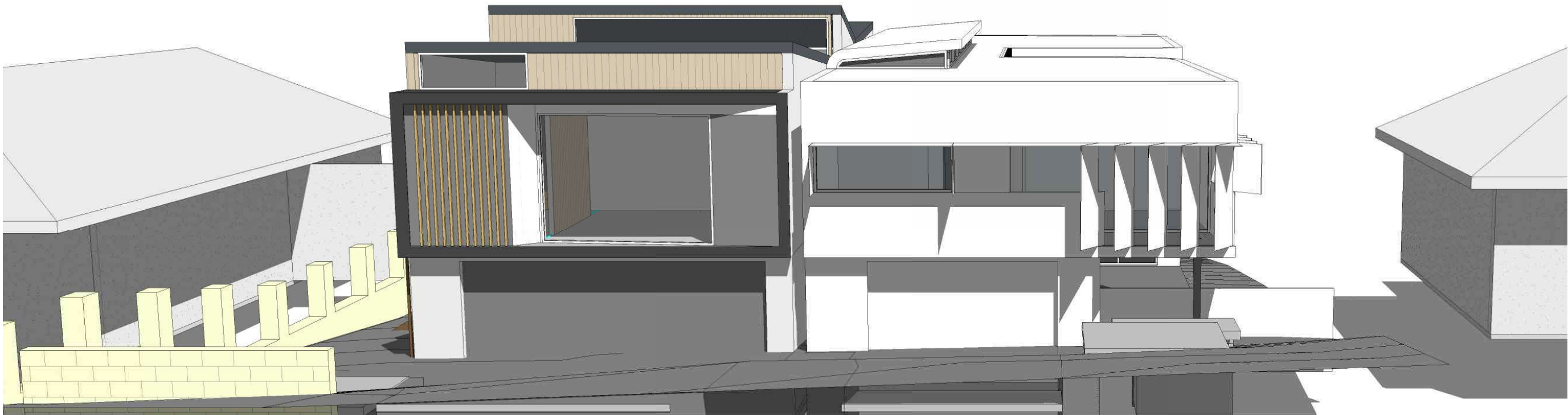
Builder to verify all dimensions prior to commencement of work.
All work to be dimensioned off those annotated.
No dimensions are to be measured off the drawings
Work remains copyright of the author



PIER STREET MONTAGE



EXISTING STREET PHOTO MONTAGE



71A / 71B STREETSCAPE PERSPECTIVE

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A.4 REV A

drawing PIER STREET MONTAGE

scale

project 71B PIER STREET

client BEN AND EMMA

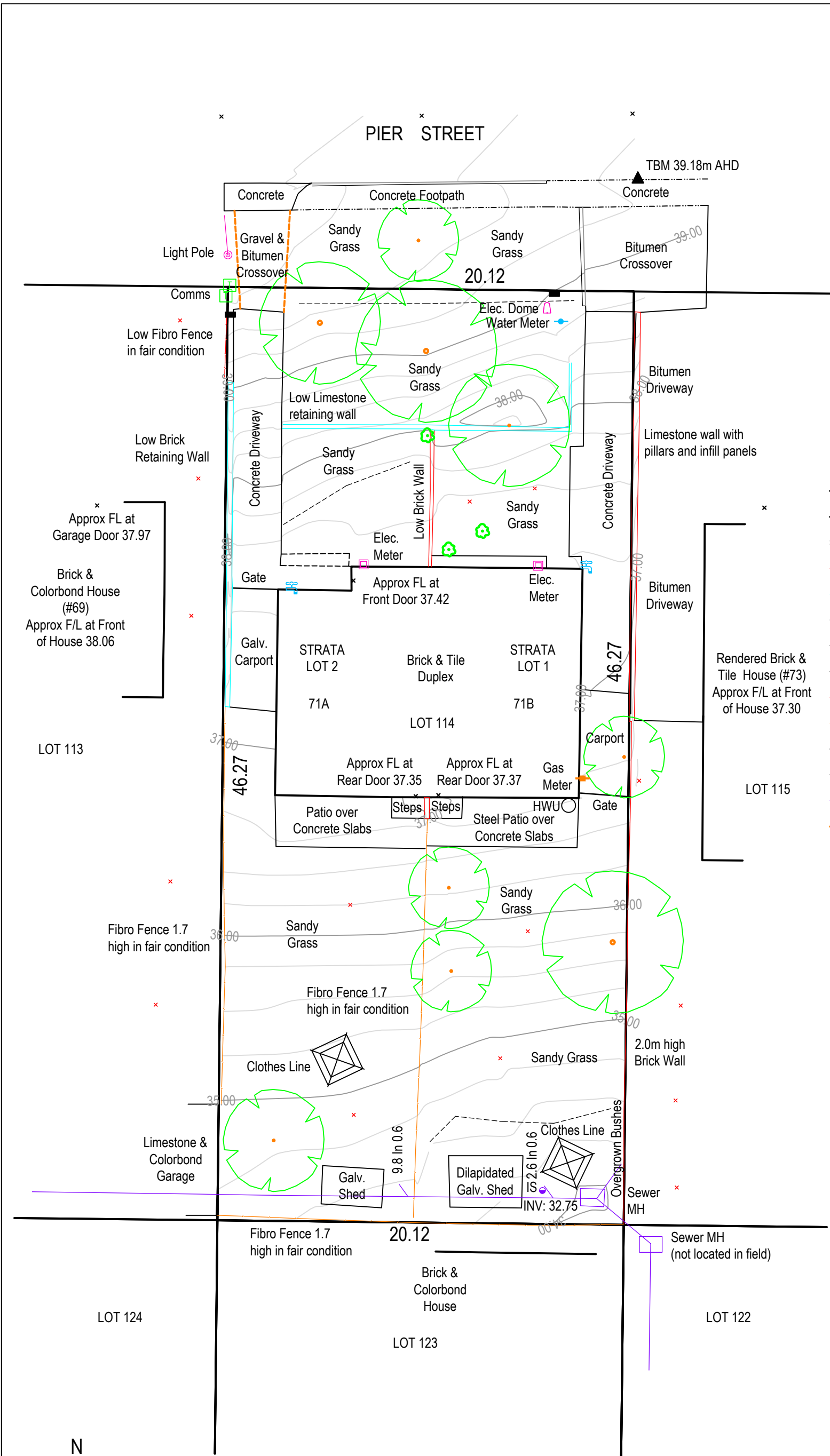
drawn WT

date JAN 2020


Builder to verify all dimensions prior to commencement of work.
All work to be dimensioned off those annotated.
No dimensions are to be measured off the drawings
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LEGEND OF FEATURES

- WATER METER
- TAP
- SMALL TREE
- MEDIUM TREE
- BUSH
- NATURAL SURFACE
- COMM MANHOLE
- LOCAL BENCHMARK
- FLOOR LEVEL
- SEWER MANHOLE
- SEWER IS
- ON ROAD
- MAIL BOX
- GAS METER
- LIGHT POLE (ONLY)
- POWER METER BOX
- ELECTRIC CABLE DOME
- CADASTRAL BOUNDARY
- BUILDING
- KERB
- WALL
- RETAINING WALL
- CHANGE OF GRADE
- EDGE OF CONCRETE
- EDGE OF DRIVEWAY
- FENCE LOW
- FENCE HIGH
- CONCRETE FOOTPATH
- CONCRETE SLAB PATH
- SEWER LINE (FROM ESInet)
- EDGE OF TRACK



- NOTES:
- CADASTRAL BOUNDARIES SHOWN ARE SUBJECT TO SURVEY. ALL CADASTRAL INFORMATION HAS BEEN PROVIDED BY LANDGATE APRIL 2016. THE ACCURACY OF BOUNDARY DEFINITION IS TO THE ASSOCIATED ACCURACY STATEMENTS PROVIDED BY LANDGATE.
 - CONTOUR INTERVAL = 0.25m
 - SEWER INFORMATION IS PROVIDED BY THE WATER CORPORATION FROM ESInet AND IS INDICATIVE ONLY. SERVICES MUST BE LOCATED AND VERIFIED ON SITE. FOR MORE INFORMATION CONTACT DIAL BEFORE YOU DIG ON 1100 OR WWW.1100.COM.AU

0	ISSUED FOR INFORMATION	KSJ*	NS*	NS*	20.04.16
No.	Revision	Drawn	Checked	Approved	Date
Drawing Revisions					
Note: * indicates signatures on original issue of drawing or last revision of drawing					
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Client BLUEFATHOM PTY. LTD.					
Project 71 PIER STREET EAST FREMANTLE					
Title FEATURE & LEVEL SURVEY					
DO NOT SCALE					
Drawn KSJ 20.04.16		Scale 1 : 200 @ A3			
Drafting Check NS		Surveyor KH			
Datum AHD		Field Book *			
Grid PCG 94		Level Book *			
Approved N. SMITH		This Drawing must not be used for Construction unless signed as Approved			
Date 20.04.16					
Drawing No.				Original Size	
61-2965201-V01				A3	
				Rev. 0	

